

AGENDA



PLANNING AND ZONING COMMISSION MEETING
CITY HALL, 385 SOUTH GOLIAD, ROCKWALL, TEXAS
MARCH 14, 2023 IN THE CITY COUNCIL CHAMBERS AT 6:00 PM

NOTES: [1] ADDITIONAL CASE INFORMATION CAN BE FOUND AT [HTTPS://SITES.GOOGLE.COM/SITE/ROCKWALLPLANNING/DEVELOPMENT/DEVELOPMENT-CASES](https://sites.google.com/site/rockwallplanning/development/development-cases), AND [2] TO PROVIDE INPUT ON A ZONING OR SPECIFIC USE PERMIT CASE PLEASE [CLICK HERE](#) OR CLICK ON THE LINK ABOVE AND USE THE ZONING AND SPECIFIC USE PERMIT INPUT FORM ON THE CITY'S WEBSITE.

(I) CALL TO ORDER

(II) APPOINTMENTS

- (1) Appointment with the Architectural Review Board (ARB) Chairman to receive the Architectural Review Board's recommendations and comments for items on the agenda requiring architectural review.

(III) OPEN FORUM

This is a time for anyone to address the Planning and Zoning Commission on any topic that is not already listed on the agenda for a public hearing. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Planning and Zoning Commission is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(IV) CONSENT AGENDA

These agenda items are administrative in nature or include cases that meet all of the technical requirements stipulated by the Unified Development Code (UDC) and Chapter 38, Subdivisions, of the Municipal Code of Ordinances, and do not involve discretionary approvals.

(2) **SP2023-005 (HENRY LEE)**

Discuss and consider a request by Dub Douphrate of Douphrate and Associates on behalf of Joanne Vockovic of the Pregnancy Resource Center for the approval of an Amended Site Plan for an *office building* on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road, and take any action necessary.

(V) PUBLIC HEARING ITEMS

This is a time for anyone to speak concerning their issues with a public hearing case. If you would like to speak regarding an item listed in this section, please submit a Request to Address the Planning and Zoning Commission (i.e. the yellow forms available at the podium or from staff). The Planning and Zoning Commission Chairman will call upon you to come forward at the proper time or will ask if anyone in the audience would like to speak. Please limit all comments to three (3) minutes out of respect for the time of other citizens.

(3) **Z2023-008 (RYAN MILLER)**

Hold a public hearing to discuss and consider a request by Brad Helmer on behalf of Heritage Christian Academy for the approval of a Specific Use Permit (SUP) allowing existing temporary educational buildings on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street [SH-205], situated within the SH-205 Overlay (SH-205 OV) District, and take any action necessary.

(4) **Z2023-009 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Jeff and Ginger Brock-Jones for the approval of a Specific Use Permit (SUP) to allow a Guest Quarters/Detached Garage on a 0.4170-acre parcel of land identified as all of Lot 1 and a portion of Lot 2, Block 2, Leonard and Adams Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 504 Nash Street, and take any action necessary.

(5) **Z2023-010 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Duane Piercy of Redeemer Church for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.17-acre tract of land identified as Tract 2-01 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

(6) **Z2023-011 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC on behalf of Ruben Fragoso of RSR Capital LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.24-acre parcel of land identified as Lot 5, Block 1, L & W Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 104 Glenn Avenue, and take any action necessary.

(7) **Z2023-012 (HENRY LEE)**

Hold a public hearing to discuss and consider a request by Timothy S. and Susan M. Mack for the approval of a Specific Use Permit (SUP) to allow a *Detached Garage* on a one (1) acre parcel of land identified as all of Lot 9, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2333 Saddlebrook Lane, and take any action necessary.

(8) **Z2023-013 (BETHANY ROSS)**

Hold a public hearing to discuss and consider a request by Kevin Osornio of MBA Custom Homes for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 837A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 118 Blanche Drive, and take any action necessary.

(VI) **ACTION ITEMS**

These items are not advertised public hearings and deal with discretionary approvals for the Planning and Zoning Commission related to variances and special exceptions to the technical requirements of the Unified Development Code (UDC) or Chapter 38, Subdivisions, of the Municipal Code of Ordinances.

(9) **SP2023-006 (HENRY LEE)**

Discuss and consider a request by Dylan Adame of Kimley-Horn and Associates, Inc. on behalf of Grayson Hughes of Stream 1515 Corporate Crossing, LP for the approval of an Amended Site Plan for a *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

(10) **SP2023-007 (HENRY LEE)**

Discuss and consider a request by Dan Whalen II of BradStone Design Group on behalf of John McKinney and Michael Daul of M & J Ranch Trail Holdings, LLC for the approval of a Site Plan for an *office building* on a 1.798-acre parcel of land identified as a portion of Lot 18 & 19 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of County Line Road and Ranch Trail, and take any action necessary.

(11) **SP2023-008 (HENRY LEE)**

Discuss and consider a request by Asher Hamilton on behalf of RIV Properties, Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, and Kathy Moton for the approval of a Site Plan for a 176-unit *condominium building* on a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

(12) **SP2023-009 (HENRY LEE)**

Discuss and consider a request by T. J. McDonald of Halff and Associations on behalf of Carolina Molina of Alvaplast US Development, LLC for the approval of an Amended Site Plan for a *warehouse/manufacturing facility* on a 42.6034-acre parcel of land identified as a portion of Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 501 Industrial Boulevard, and take any action necessary.

(VII) **DISCUSSION ITEMS**

(13) Director's Report of post City Council meeting outcomes for development cases (**RYAN MILLER**).

- P2023-002: Final Plat for the Quail Hollow Subdivision (**APPROVED**)

(VIII) **ADJOURNMENT**

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Local Government Code §55.071 (Consultation with City Attorney) or any other exception allowed under Chapter 551 of the Texas Local Government Code.

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Ryan Miller, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on March 10, 2023 at 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

MARCH 14, 2023 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = *RED*

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION ITEMS

(1) **SP2023-008 (HENRY LEE)**

Discuss and consider a request by Asher Hamilton on behalf of RIV Properties, Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, and Kathy Moton for the approval of a Site Plan for a 176-unit *condominium building* on a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

(2) **SP2023-009 (HENRY LEE)**

Discuss and consider a request by T. J. McDonald of Halff and Associates on behalf of Carolina Molina of Alvaplast US Development, LLC for the approval of an Amended Site Plan for a *warehouse/manufacturing facility* on a 42.6034-acre parcel of land identified as a portion of Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 501 Industrial Boulevard, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

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I, Ryan Miller, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on March 10, 2023 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 14, 2023
APPLICANT: Dub Douphrate; *Douphrate and Associates*
CASE NUMBER: SP2023-005; *Amended Site Plan for the Pregnancy Resource Center*

SUMMARY

Consider a request by Dub Douphrate of Douphrate and Associates on behalf of Joanne Vockovic of the Pregnancy Resource Center for the approval of an Amended Site Plan for an *office building* on a 0.32-acre parcel of land identified as Lot 1, Block A, Pregnancy Resource Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 53 (PD-53) for Residential-Office (RO) District land uses, situated within the Scenic Overlay (SOV) District, addressed as 1010 Ridge Road, and take any action necessary.

BACKGROUND

On July 28, 1952, a final plat was recorded with Rockwall County establishing the subject property as Lot 3 of the R. S. Lofland Subdivision. The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02* [Case No. A1959-002]. At the time of annexation, the subject property was zoned Agricultural (AG) District. According to the January 3, 1972 historic zoning map, at some point after annexation the subject property was rezoned from Agricultural (AG) District to Single Family 2 (SF-2) District. According to the May 16, 1983 historic zoning map, at some point between January 3, 1972 and May 16, 1983 the subject property was rezoned from Single Family 2 (SF-2) District to Single Family 10 (SF-10) District. On July 1, 2003, the City Council approved to rezone the subject property from Single Family 10 (SF-10) District to Planned Development District 53 (PD-53) for Residential Office (RO) District land uses. On June 9, 2015, the Planning and Zoning Commission approved a site plan case [Case No. SP2015-014] to allow the conversion of the single-family home into a commercial property. On August 17, 2015, the City Council approved a replat [Case No. P2015-034] that establish the subject property as Lot 1, Block A, Pregnancy Resource Center.

PURPOSE

On February 14, 2023, the applicant -- *Dub Douphrate of Douphrate and Associates* -- requested the approval of an amended site plan to allow a 1,070 SF addition to the 1,200 SF existing *Office Building*.

ADJACENT LAND USES AND ACCESS

The subject property is located at 1010 Ridge Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 0.31-acre parcel of land (*i.e. Lot 1, Block A, Goodman Addition*) developed with an *office building*. Beyond this is a 0.304-acre parcel of land (*i.e. Lot 1, Block A, R. S. Lofland Addition*) developed with an *office building*. Both properties are zoned Planned Development District 53 (PD-53) for Residential Office (RO) District land uses. Following this is Summit Ridge Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a vacant 0.651-acre parcel of land (*i.e. Lots 3, Block A, Lee Rhodes Subdivision*) zoned Planned Development District 53 (PD-53) for Residential Office (RO) District land uses.

South: Directly south of the subject property are six (6) parcels of land (*i.e. Lot 1, Block 1, Gussio Addition; Lots 2 & 3, Block A, Rock Ridge Office Plaza Addition; Lots 2 & 3, Block A, Walker Addition; Lot 1, Block A, Gamez Addition*) developed with commercial land uses that make up the remainder of Planned Development District 53 (PD-53).

East: Directly east of the subject property is Ridge Road, which is classified as a M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 2.00-acre parcel of land (*i.e. Eastridge Center Addition*) developed with an *office building* zoned Planned Development District 1 (PD-1) for General Retail (GR) District land uses. Following this is S. Goliad Street, which is classified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Ridge Road Village residential subdivision, which consists of 185 single-family homes and is zoned Single Family 16 (SF-16) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building* is a permitted *by-right* land use in a Residential Office (RO) District. The submitted site plan and building elevations conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Residential Office (RO) District. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	13,939.20 SF; <i>In Conformance</i>
<i>Minimum Lot Frontage</i>	60-Feet	69.77-Feet; <i>In Conformance</i>
<i>Minimum Lot Depth</i>	100-Feet	197.14-Feet; <i>In Conformance</i>
<i>Minimum Front Yard Setback</i>	25-Feet	>25-Feet; <i>In Conformance</i>
<i>Minimum Rear Yard Setback</i>	10-Feet	>10-Feet; <i>In Conformance</i>
<i>Minimum Side Yard Setback</i>	10-Feet	>10-Feet; <i>In Conformance</i>
<i>Maximum Building Height</i>	60-Feet	15-Feet; <i>In Conformance</i>
<i>Max Building/Lot Coverage</i>	60%	16.44%; <i>In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	8 (1 Space per 300 SF)	8; <i>In Conformance</i>
<i>Minimum Landscaping Percentage</i>	20%	X=33.18%; <i>In Conformance</i>
<i>Maximum Impervious Coverage</i>	85-90%	66.82%; <i>In Conformance</i>

TREESCAPE PLAN

The *Treescape Plan* provided by the applicant indicates that 24 caliper inches of trees will be removed from the property as a result of the development. As part of the proposed development the applicant’s landscape plan shows that 32-caliper inch Oak Tree is being preserved and twelve (12) caliper inches of canopy trees are being planted. This brings the mitigation balance down to 7.2 caliper inches. According to Section 05(F), *Mitigation Balance*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), tree preservation credits may be purchased at \$100.00 per inch for up to 20.00% of the mitigation total. In this case, the applicant has 7.2 caliper inches remaining, which is greater than 20.00% of the mitigation total. Given this, the applicant is requesting an *Alternative Tree Mitigation Settlement Agreement*. This must be acted upon by the City Council following a recommendation from the Planning and Zoning Commission.

CONFORMANCE WITH THE CITY’S CODES

According to Subsection 02.02(D)(2), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC) an *Office Building* is defined as “(a) facility that provides executive, management, administrative, or professional services... but not involving the sale of merchandise except as incidental to a permitted use.” In this case, the applicant is requesting to expand an *Office Building*, which is permitted *by-right* according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC). The proposed site plan also conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC).

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates the subject property is designated for Live/Work land uses and is located within the Scenic District which "...is significantly developed and has residential land uses that range from medium to high density." The area adjacent to Ridge Road represents mixed-use district and includes one of the City's larger mixed residential/office developments..." The primary land uses in the Live/Work designated areas include professional offices, boutiques, art/music studios, and antique and collectable shops. In this case, the applicant is requesting approval of an amended site plan for an existing *Office Building less than 5,000 SF*. Based on this, the applicant's request appears to conform to the goals and policies of the OURHometown Vision 2040 Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB):

This property, being in the Scenic Overlay (SOV) District, requires the review of the Architecture Review Board. On February 28, 2023, the Architecture Review Board (ARB) reviewed the proposed building elevations and made a motion to recommend approval of the site plan by a vote of 6-0, with Board Member Miller absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's request for an amended site plan for an existing *office building*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1010 Ridge Rd

SUBDIVISION R.S. Lofland Subd. LOT 1 BLOCK A

GENERAL LOCATION Ridge Rd south of Summit Ridge

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING RO CURRENT USE OFFICE

PROPOSED ZONING RO PROPOSED USE OFFICE

ACREAGE .32 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>Pregnancy Resource Center</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Dub Doughrate w/</u>
CONTACT PERSON	<u>Jocanne Vuckovic</u>	CONTACT PERSON	<u>Doughrate & Assoc. Inc.</u>
ADDRESS	<u>1010</u>	ADDRESS	<u>2235 Ridge Rd</u>
CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>	CITY, STATE & ZIP	<u>Rockwall, TX 75087</u>
PHONE	<u>972 772 8292</u>	PHONE	<u>972 742 2210</u>
E-MAIL		E-MAIL	<u>wldoughrate@doughrate.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

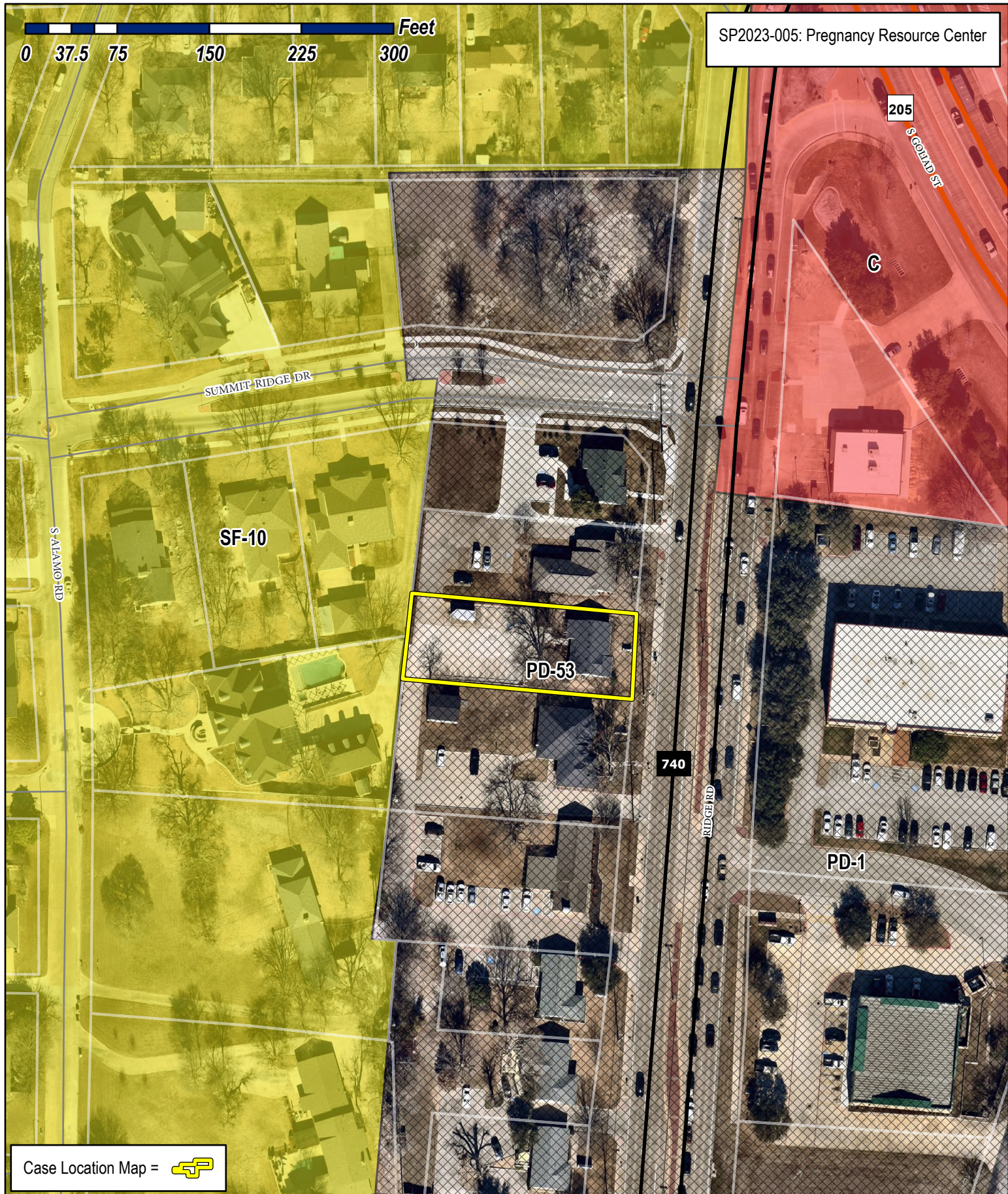
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE _____ DAY OF _____, 20____.

OWNER'S SIGNATURE _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS _____

MY COMMISSION EXPIRES _____



Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



February 28, 2023

Henry Lee
Planner
Planning and Zoning Dept
City of Rockwall

Re: Proposed Building Materials for PRC Expansion

Dear Henry,

The building materials proposed for the PRC expansion will be identical to the existing structure. The proposed color for the expansion will also match the existing structure's color. Should you have any questions regarding this matter please let me know.

Thanks

W. L. Douphrate II

March 2, 2023

Henry Lee
Planner
Planning and Zoning Dept
City of Rockwall

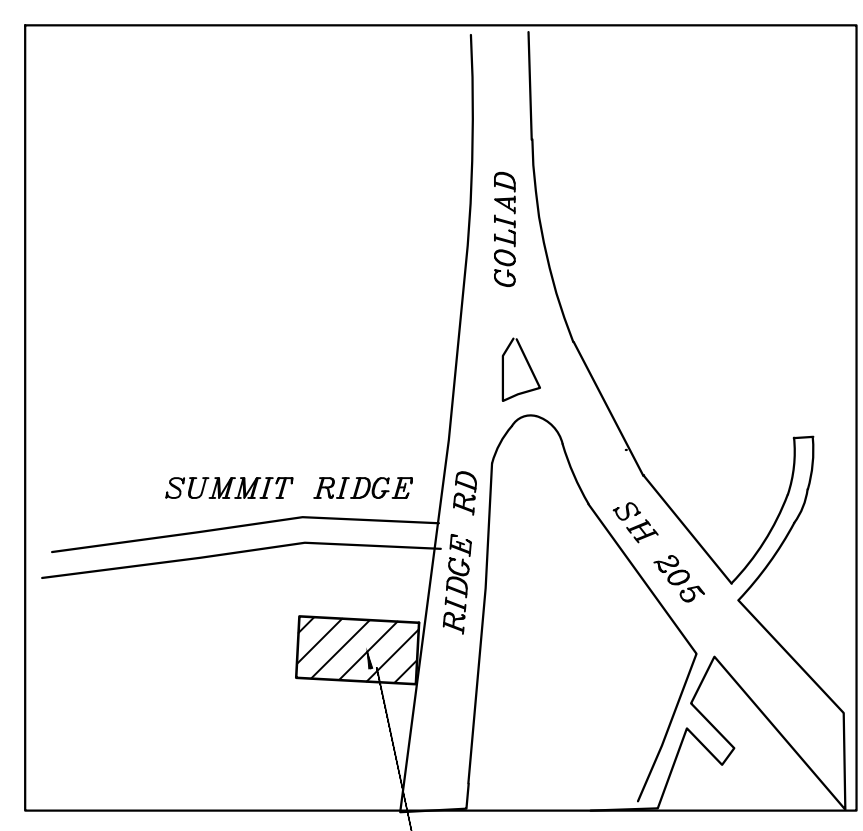
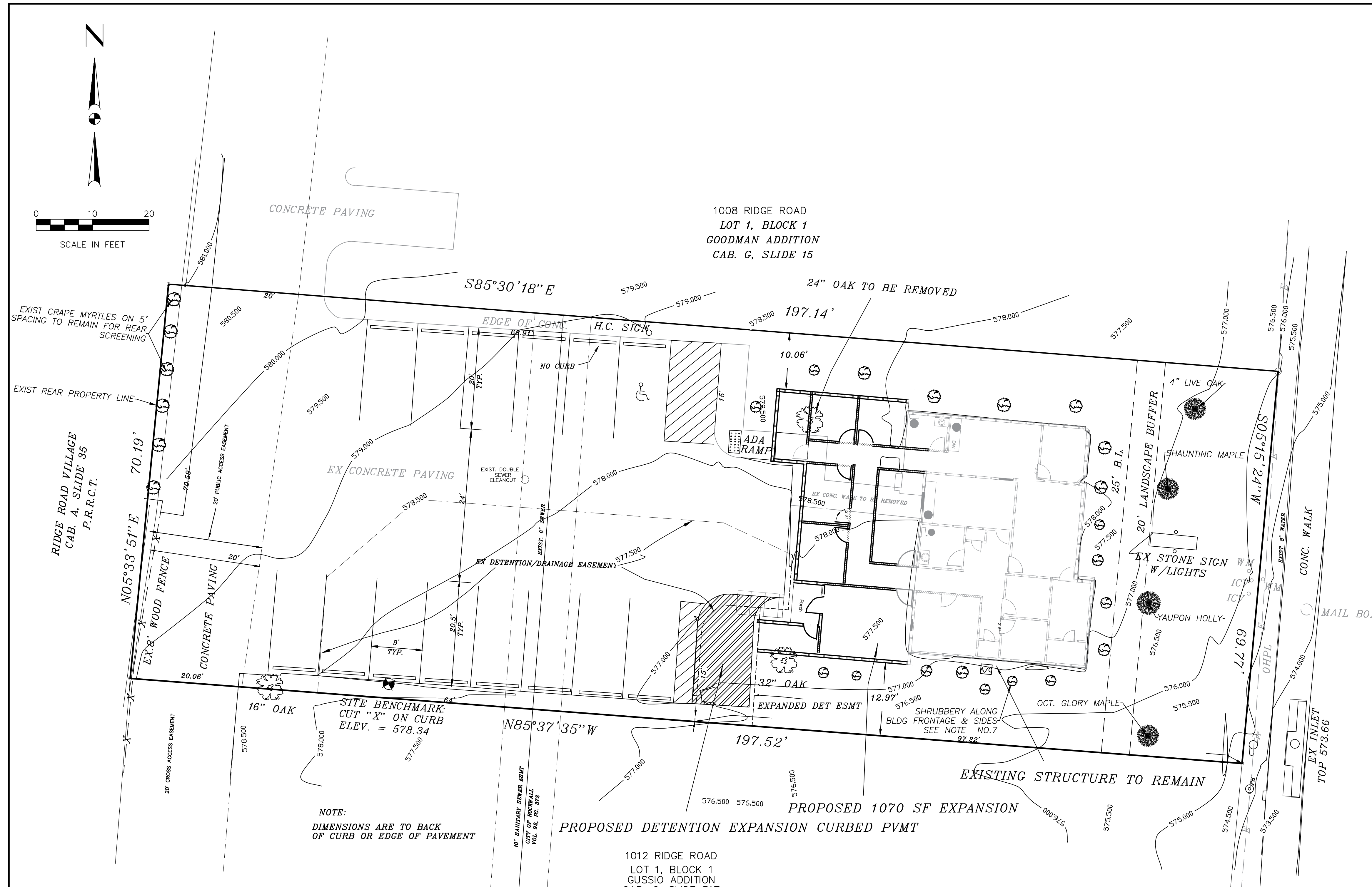
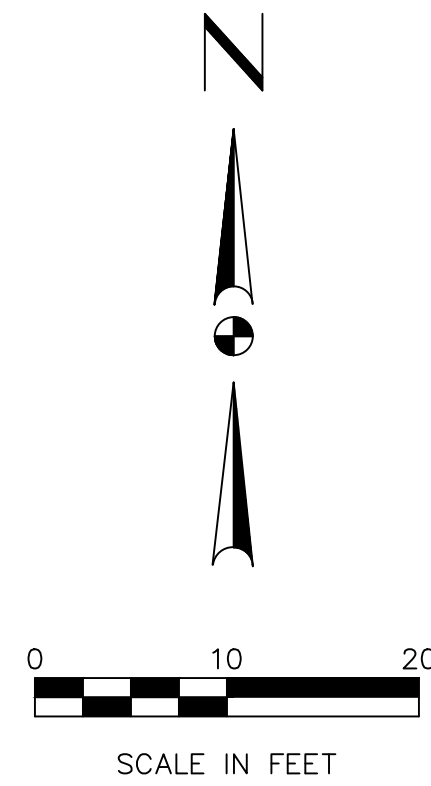
Re: PRC Tree Mitigation Agreement

Dear Henry,

Due to the restricted space we have along the Ridge Road frontage we are asking to enter into a tree mitigation agreement with the City since we are not able to meet the requirements of the tree planting. If we planted all the trees required we are fearful the sign (in time) would be covered up therefore we are in agreement to pay the City for the offset cost of the tree planting.

Thanks

W. L. Douphrate II



PROJECT LOCATION
LOCATION MAP
NTS

RIDGE ROAD
F.M. HWY. 740
VARIABLE WIDTH R.O.W.

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN
FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED
BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL
ON THE _____ DAY OF _____
WITNESS OUR HANDS, THIS _____ DAY OF _____

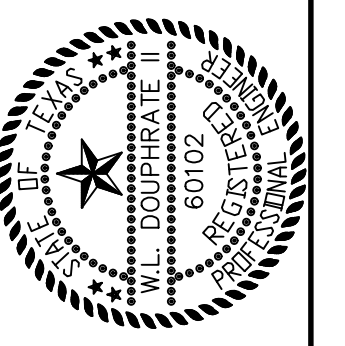
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING
CASE NO. SP2020-009

OWNER
PREGNANCY RESOURCE CENTER
1010 RIDGE RD
ROCKWALL, TX 75087
972-722-8292

- NOTES:
1. PARKING SPACES ARE 9'X20'
 2. ALL GROUND MOUNTED HVAC TO BE SCREENED WITH 3-5 GAL TEXAS SAGE BUSHES
 3. THE EXISTING CRAPE MYRTLES LOCATED ALONG THE WEST PROPERTY LINE ARE TO BE PRESERVED FOR RESIDENT SCREENING
 4. SCREEN PARKING FRONTAGE WITH A MIXTURE OF 3-7 GAL TEXAS SAGE DESPERADO & 3-5 GAL WAX LEAF LICUSTRUM BUSHES
 5. LANDSCAPE BLDG FRONTAGE & SIDES WITH 16-5 GAL TEXAS RED YUCCA PLANTS
 6. ALL MUTUAL ACCESS EASEMENTS TO BE PAVED PER CITY OF ROCKWALL STANDARDS OF DESIGN
 7. ALL SHRUBS SHALL BE A 5 GAL MINIMUM IN SIZE.
 8. 2 CANOPY TREES TO BE PLANTED WITHIN THE 20' LANDSCAPE BUFFER
1-4" LIVE OAK, 1-4" OCTOBER GLORY MAPLE
 9. 2 ACCENT TREES TO BE PLANTD WITHIN THE 20' LANDSCAPE BUFFER
1-SHAUNTING MAPLE & 1- YAUPON HOLLY

SITE DATA SUMMARY:
NAME OF FINAL PLAT: PREGNANCY RESOURCE CENTER LOT 1 BLOCK A BEING A REPLAT OF LOT 3 R.S. LOFLAND SUBD
ZONING: RO (RESIDENTIAL OFFICE DISTRICT) PD-53
PROPOSED USE: BUSINESS OFFICE
EXIST BUILDING SQUARE FOOTAGE: 1200 SF
PROPOSED BUILDING EXPANSION SQUARE FOOTAGE 1070 SF
TOTAL BUILDING FOOTPRINT: 2270 SF
BUILDING HEIGHT: 28 FT
LOT COVERAGE: 16.44%
PARKING SPACES REQUIRED: 1 SPACE/300 SF= 8
HANDICAP PARKING REQUIRED: 1
TOTAL PARKING SPACES PROVIDED: 14
HANDICAP PARKING PROVIDED: 1
INTERIOR LANDSCAPING REQUIRED: 30%
INTERIOR LANDSCAPING PROVIDED: 30% 4150 SF
TOTAL SQUARE FOOTAGE OF IMPERVIOUS SURFACE=9314 SF

1012 RIDGE ROAD
LOT 1, BLOCK 1
GUSSIO ADDITION
CAB. G, SLIDE 317



THE SEAL APPEARING ON THIS DOCUMENT IS AUTHORIZED BY THE BOARD OF PROFESSIONAL ENGINEERS, STATE OF TEXAS, P.L.E. NO. 60102, F-686, ON DATE: FEBRUARY 15, 2023

DOUPHRATE & ASSOCIATES, INC.
ENGINEERING • PROJECT MANAGEMENT • SURVEYING
2235 RIDGE RD., # 200 ROCKWALL, TEXAS 75087
PHONE: (972)771-9004 FAX: (972)771-9005

SITE PLAN BUILDING EXPANSION & LANDSCAPING
PREGNANCY RESOURCE CENTER
1010 RIDGE ROAD
CITY OF ROCKWALL
ROCKWALL COUNTY, TEXAS

REVISION	WLD.
CHECKED	
DRAWN	GCW.
SCALE	1"=10' H 1"=10' V
DATE	JUNE 16, 2015
PROJECT	22029
	1









CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: March 14, 2023

APPLICANT: Brad Helmer; *Heritage Christian Academy*

CASE NUMBER: Z2023-008; *Specific Use Permit (SUP) for a Temporary Education Buildings for Heritage Christian Academy (HCA)*

SUMMARY

Hold a public hearing to discuss and consider a request by Brad Helmer on behalf of Heritage Christian Academy for the approval of a Specific Use Permit (SUP) allowing existing temporary educational buildings on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street [SH-205], situated within the SH-205 Overlay (SH-205 OV) District, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the *Historic Zoning Maps*, at some point between annexation and January 3, 1972 the subject property was rezoned from an Agricultural (AG) District to a Multi-Family 1 (MF-1) District. According to the Rockwall Central Appraisal District (RCAD) currently situated on the subject property is a 28,486 SF building (*unknown construction date*), 8,682 SF building (*unknown construction date*), 4,000 SF building (*unknown construction date*), 19,908 SF building (*constructed in 2003*), two (2) 384 SF covered porches (*constructed in 2003*), and a 22,431 SF Gymnasium (*currently under construction*).

In 1999, the City Council approved a Conditional Use Permit (CUP) to allow one (1) *Temporary Educational Building* on the subject property for a period of five (5) years. The CUP stipulated that after a period of three (3) years, the City Council could review the CUP to determine if permanent buildings were planned to replace the *Temporary Educational Building*. In 2003, the City Council approved a Conditional Use Permit (CUP) to allow an additional *Temporary Educational Building* on the subject property for a period of five (5) years.

In 2009, the City Council approved a Specific Use Permit (SUP) to allow three (3) *Temporary Educational Buildings* on the subject property. At that time, the Specific Use Permit (SUP) ordinance stipulated that it shall be valid for a period of one (1) year, at which time the City Council shall review the Specific Use Permit (SUP) to determine if an extension is warranted. On September 20, 2010, the City Council reviewed the Specific Use Permit (SUP) and approved an extension for three (3) years (*i.e. ending September 7, 2013*). In November, 2013, the City Council approved a five (5) year extension (*i.e. ending November 4, 2018*). On January 7, 2019, the City Council adopted *Ordinance No. 19-02*, which granted an extension of six (6) months for the three (3) *Temporary Educational Buildings*; however, the ordinance allowed the City Council the ability to grant an additional two (2) year extension of the request. The



FIGURE 1: LOCATION OF THE EXISTING THREE (3) PORTABLE BUILDINGS ON THE SUBJECT PROPERTY ARE INDICATED BY THE RED ARROWS.

applicant -- *Brad Helmer* -- made this request on July 15, 2019, and the City Council approved a motion to extend the Specific Use Permit (SUP) for 90 days by a vote of 5-1 (*with Council Member Macalik dissenting and then Mayor Pruitt absent*). Following this extension, a representative of the applicant -- *Brian McKinney* -- returned to the City Council on August 19, 2019 and requested that the Specific Use Permit (SUP) be review and extended every six (6) months moving forward. The City Council ultimately approved the applicant's request by a vote of 6-0 (*with Councilman Trowbridge absent*). Mr. McKinney returned on February 18, 2020 by appointment; however, the City Council took no action on the request. Currently, *Ordinance No. 19-02* has expired and no valid Specific Use Permit (SUP) exists on the subject property. Staff should note that while there is no valid Specific Use Permit (SUP) ordinance, the applicant has been working with City staff and the City Council to work through the enrollment and development issues on the subject property.

PURPOSE

On February 7, 2023, the applicant -- *Brad Helmer* -- sent an email requesting an appointment with the City Council for the purpose of requesting an additional one (1) year extension to allow the existing three (3) *Temporary Educational Buildings* to remain on the subject property; however, since *Ordinance No. 19-02* had expired, staff advised the applicant that a new Specific Use Permit (SUP) would need to be requested. The applicant submitted a development application on February 17, 2023 making this request.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1408 S. Goliad Street [*SH-205*]. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Damascus Road, which is classified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a cemetery, which is zoned Cemetery (CEM) District. Beyond this is S. Goliad Street [*SH-205*], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is a *House of Worship (i.e. Our Lady of the Lake Catholic Church)* that is zoned Multi-Family 14 (MF-14) District. Beyond this is the Waterstone Estates Subdivision, which consists of 123 residential lots on 48.03-acres. This subdivision was established on November 30, 1994 and is zoned Single-Family 7 (SF-7) District.

East: Directly east of the subject property is an apartment complex (*i.e. Pebblebrook Apartments*). This property is zoned Multi-Family 14 (MF-14) District and Planned Development District 39 (PD-39) for Multi-Family 15 (MF-15) District land uses. Beyond this is W. Yellow Jacket Lane, which is identified as a M4D (*i.e. minor arterial, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained within the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 6.626-acre vacant tract of land, zoned Planned Development District 27 (PD-27) for Multi-Family 14 (MF-14) District land uses. West of this property is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad (M. K. & T. Railroad)*. Beyond this is a shopping center (*i.e. Eastridge Shopping Center*), which is zoned Planned Development District 1 (PD-1) for General Retail (GR) District and Multi-Family 14 (MF-14) District land uses.

CONTINUED ON NEXT PAGE ...

“(a)pplications of *Temporary Educational Buildings* will require a Specific Use Permit (SUP) that shall be approved by the Planning and Zoning Commission and City Council, and that shall include the following operational conditions:

- (1) The buildings shall be screened from the view of adjacent properties, public right-of-way, and parks and open space by the primary structure or landscape screening that incorporates three (3) tiered screening (*i.e. small to mid-sized shrubs, large shrubs or accent trees, and canopy trees*).
- (2) The applicant shall provide a plan indicating the expected phasing-out of all temporary structures.
- (3) The Specific Use Permit (SUP) shall be valid for a period not to exceed five (5) years.”

STAFF ANALYSIS

In this case, *Temporary Educational Buildings* have been in existence on the subject property since the original Conditional Use Permit (CUP) was adopted in 1999. This was before the screening requirements stated above were contained in the City’s codes; however, -- *as was stated previously* -- these buildings have virtually no visibility from or effect on any of the adjacent properties. Staff should also note that the applicant did plant additional trees with the addition of the Gymnasium and that this has further impaired visibility of these structures from public right-of-way. While the applicant’s letter does not include a phase out plan, the applicant does limit the request to a period of one (1) year. Based on this the applicant’s request does not appear to be unreasonable; however, this is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. Staff should note that in order to provide the City Council and the applicant flexibility, an operational condition allowing the applicant to request an additional one (1) year period from the City Council was incorporated into the proposed Specific Use Permit (SUP) ordinance. This will allow the applicant to request this directly from the City Council without having to go back through the zoning process.

NOTIFICATIONS

On February 21, 2023, staff mailed 39 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Waterstone Estates Homeowner’s Association (HOA), which is the only Homeowners’ Association (HOAs) and/or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received four (4) responses from one (1) property owner (*i.e. the applicant*) in favor of the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant’s request for a Specific Use Permit (SUP) for three (3) *Temporary Education Buildings*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the *Operational Conditions* contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (A) The *Temporary Educational Buildings* shall generally conform to the building elevations and site plan depicted in *Exhibit ‘B’* of the Specific Use Permit (SUP) ordinance.
 - (B) The *Subject Property* shall not have more than three (3) *Temporary Educational Buildings*.
 - (C) The Specific Use Permit (SUP) shall be valid for a period of one (1) year from the date of approval. At which time the City Council shall review the Specific Use Permit (SUP) to determine if a one (1) year extension is warranted.
 - (D) The *Temporary Educational Buildings* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 1408 S. Goliad St.

SUBDIVISION: Heritage Christian Academy Addition LOT: 1 BLOCK: A

GENERAL LOCATION: Hwy 205 & Damascus Rd.

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: MF 14 CURRENT USE: Education

PROPOSED ZONING: MF 14 PROPOSED USE: Education

ACREAGE: 6.64 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>Brad Helmer</u>	<input checked="" type="checkbox"/> APPLICANT	<u>Same</u>
CONTACT PERSON	<u>Brad Helmer</u>	CONTACT PERSON	
ADDRESS	<u>1408 S. Goliad St.</u>	ADDRESS	
CITY, STATE & ZIP	<u>Rockwall TX 75087</u>	CITY, STATE & ZIP	
PHONE	<u>214 789 1600</u>	PHONE	
E-MAIL	<u>bhelmer@hcarockwall.org</u>	E-MAIL	

NOTARY VERIFICATION [REQUIRED]

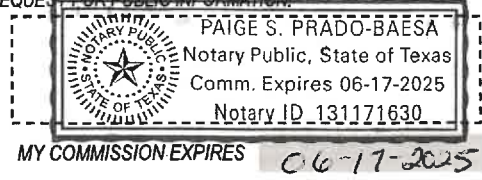
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Brad Helmer [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

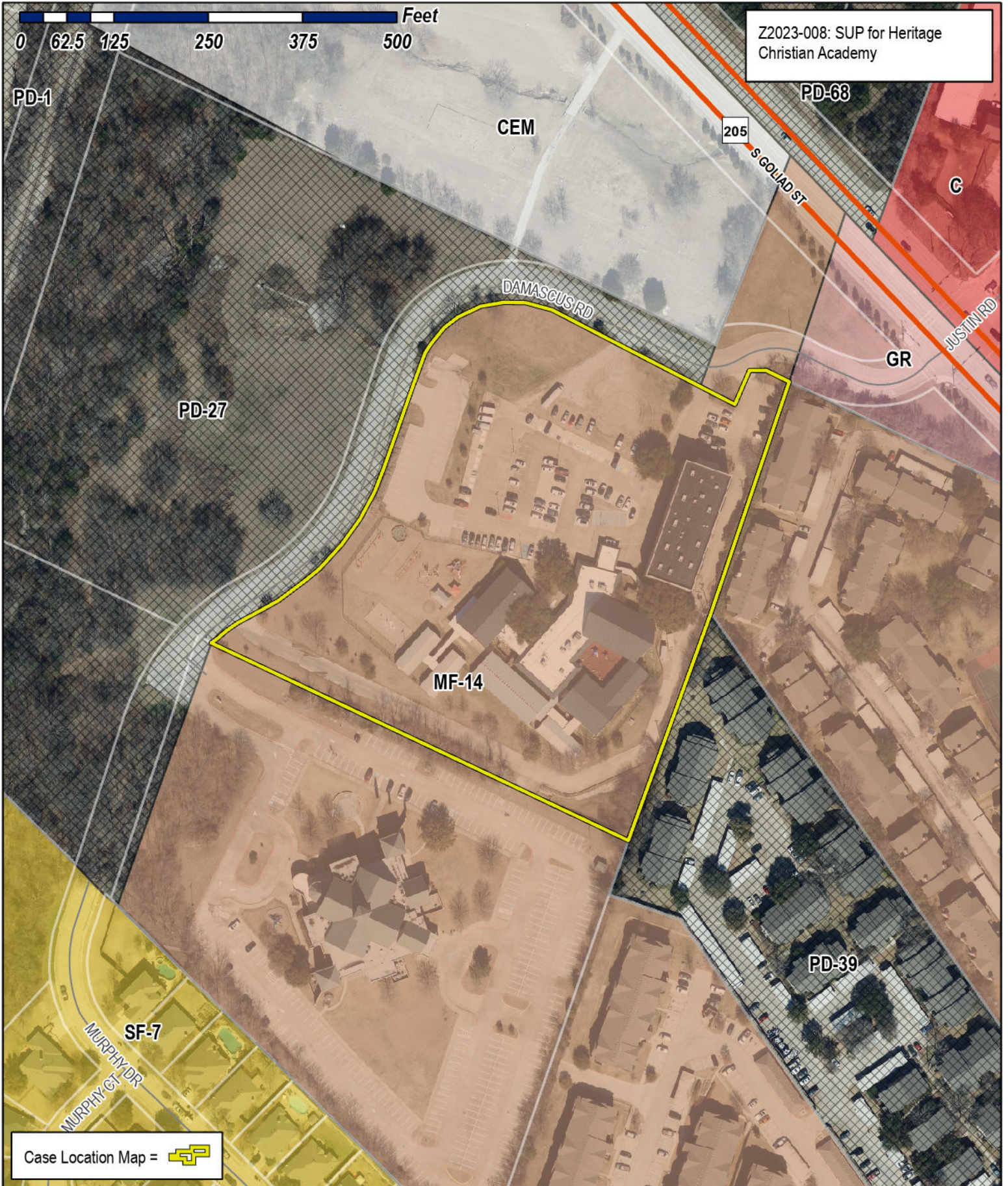
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 299.60 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 8TH DAY OF FEBRUARY, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 8TH DAY OF FEBRUARY, 2023

OWNER'S SIGNATURE: [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: [Signature]






Z2023-008: SUP for Heritage Christian Academy

0 62.5 125 250 375 500 Feet

PD-1 CEM PD-68 205 S GOLIAD ST JUSTIN RD G GR PD-27 MF-14 PD-39 SF-7 MURPHY DR MURPHY CT

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

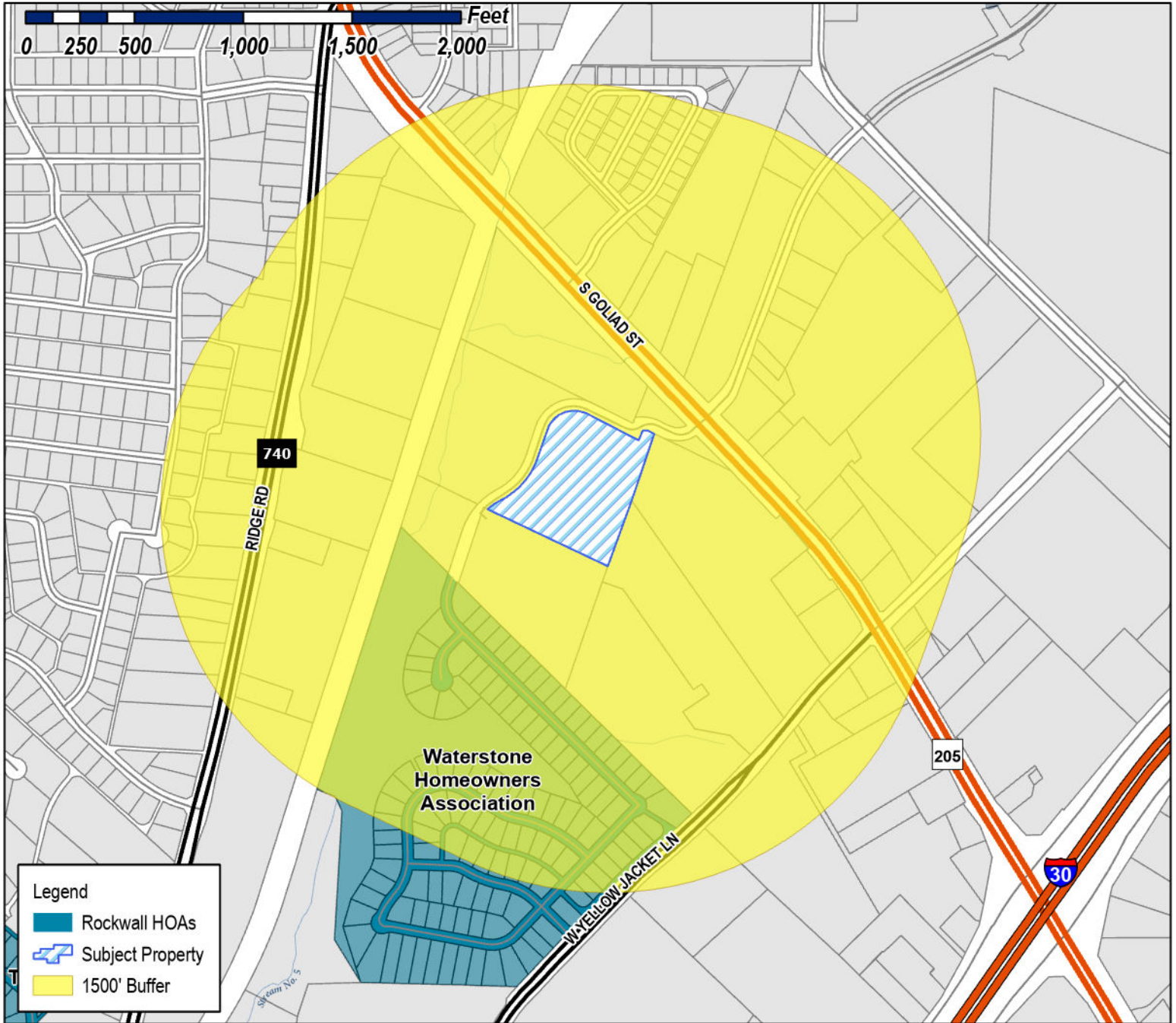




City of Rockwall

Planning & Zoning Department
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Case Number: Z2023-008
Case Name: SUP for Heritage Christian Academy
Case Type: Zoning
Zoning: Multi-Family 14 (MF-14) District
Case Address: 1408 S Goliad Street

Date Saved: 2/16/2023
 For Questions on this Case Call (972) 771-7745



From: [Lee, Henry](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-008]
Date: Friday, February 17, 2023 4:36:45 PM
Attachments: [HOA Map \(02.16.2023\).pdf](#)
[Public Notice \(02.17.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on February 24, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, March 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 20, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-008: SUP for HCA

Hold a public hearing to discuss and consider a request by Brad Helmer on behalf of Heritage Christian Academy for the approval of a Specific Use Permit (SUP) allowing existing temporary educational buildings on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street [SH-205], situated within the SH-205 Overlay (SH-205 OV) District, and take any action necessary.

Thank you,



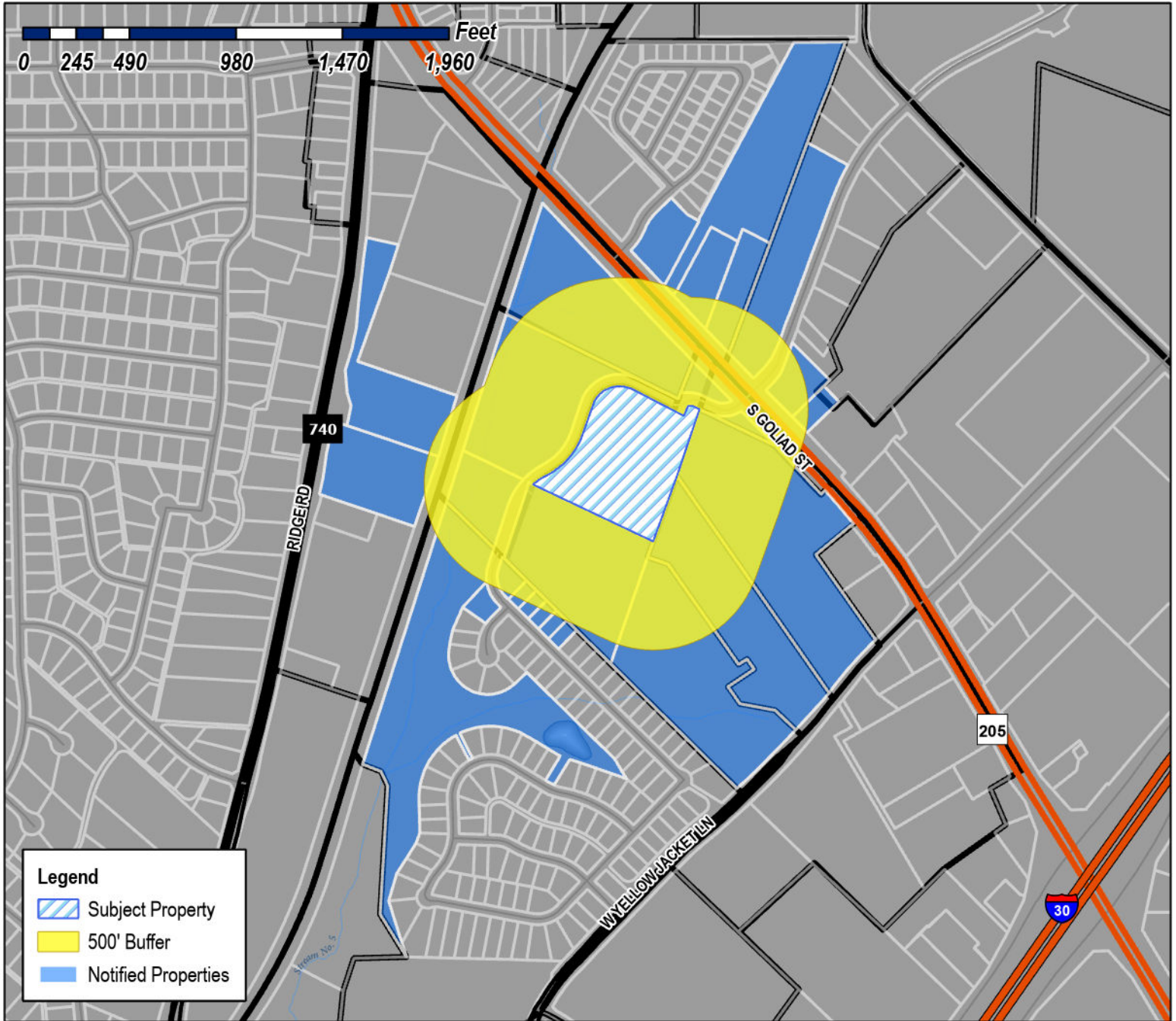
Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
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Case Number: Z2023-008
Case Name: SUP for Heritage Christian Academy
Case Type: Zoning
Zoning: Multi-Family 14 (MF-14) District
Case Address: 1408 S Goliad Street

Date Saved: 2/16/2023
 For Questions on this Case Call (972) 771-7745



LOY CYNTHIA
1431 MURPHY DR
ROCKWALL, TX 75087

OCCUPANT
1407 S GOLIAD
ROCKWALL, TX 75087

LEGACY 316 BJJ HOLDINGS LLC
519 E INTERSTATE 30
#605
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

GOODY SHARON LYNN AND SHARON KAY
BROCK
1419 MURPHY DR
ROCKWALL, TX 75087

OCCUPANT
1415 MURPHY DR
ROCKWALL, TX 75087

ISSAC PARAMPOTTIL T & LEELAMMA
4215 EDMONDSON AVENUE
HIGHLAND PARK, TX 75205

OCCUPANT
651 JUSTIN RD
ROCKWALL, TX 75087

AUTO ZONE INC DEPARTMENT #8088
PO BOX 2198
MEMPHIS, TN 38101

EAST SHORE J/V
5499 GLEN LAKES DR
STE 110
DALLAS, TX 75231

OCCUPANT
1325 S GOLIAD
ROCKWALL, TX 75087

ROCKWALL SENIOR COMMUNITY LPC/O LIFENET
COMMUNITY BEHAVIORAL HEALTHCARE
5605 N MACARTHUR BLVD, SUITE 580
IRVING, TX 75038

EAST SHORE J/V
5499 GLEN LAKES DR
STE 110
DALLAS, TX 75231

OCCUPANT
660 JUSTIN RD
ROCKWALL, TX 75087

PS LPT PROPERTIES INVESTORS DEPT-PT-TX-
26644
PO BOX 25025
GLENDALE, CA 91201

BLOCK DAVID V II
188 MURPHY CT
ROCKWALL, TX 75087

NIX ROGER
1427 MURPHY DR
ROCKWALL, TX 75087

OCCUPANT
1423 MURPHY DR
ROCKWALL, TX 75087

OLLACP-RC OUR LADY OF THE LAKE CATHOLIC
PARISH
1305 DAMASCUS ROAD
ROCKWALL, TX 75087

OCCUPANT
970 W YELLOW JACKET LN
ROCKWALL, TX 75087

SONOMA COURT LTD
1603 LBJ FWY
SUITE 800
DALLAS, TX 75234

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
1000 YELLOW JACKET LN
ROCKWALL, TX 75087

WDOP SUB I LP C/O THE MILESTONE GROUP LLC
8333 DOUGLAS AVE
SUITE 1600
DALLAS, TX 75225

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
1410 S GOLIAD
ROCKWALL, TX 75087

WDC PEBBLEBROOK APARTMENTS LLC ATTN:
MLG FUND ACCOUNTING
19000 W. BLUEMOUND ROAD
BROOKEFIELD, WI 53045

CAMERON LAND HOLDINGS LLC
PO BOX 163521
AUSTIN, TX 78716

OCCUPANT
1300 S GOLIAD
ROCKWALL, TX 75087

CITY OF ROCKWALL ATTN;MARY SMITH
385 S GOLIAD ST
ROCKWALL, TX 75087

OLLACP-RC OUR LADY OF THE LAKE CATHOLIC
PARISH
1305 DAMASCUS RD
ROCKWALL, TX 75087

OCCUPANT
1405 MURPHY DR
ROCKWALL, TX 75087

OUR LADY OF THE LAKE CATHOLIC PARISH
1305 DAMASCUS ROAD
ROCKWALL, TX 75087

HERITAGE CHRISTIAN ACADEMY
1408 S GOLIAD ST
ROCKWALL, TX 75087

KEVIN J FARRELL, DD BISHOP, ROMAN CATHOLIC
DIOCESE OF DALLAS
3725 BLACKBURN STREET
DALLAS, TX 75219

OCCUPANT
1301 S GOLIAD ST
ROCKWALL, TX 75087

EAST SHORE J/V
5499 GLEN LAKES DR
STE 110
DALLAS, TX 75231

OCCUPANT
1301 RIDGE RD
ROCKWALL, TX 75087

T ROCKWALL PHASE 2 LLC
16600 DALLAS PKWY
SUITE 300
DALLAS, TX 75248

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-008: Specific Use Permit (SUP) for Heritage Christian Academy

Hold a public hearing to discuss and consider a request by Brad Helmer on behalf of Heritage Christian Academy for the approval of a Specific Use Permit (SUP) allowing existing temporary educational buildings on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1408 S. Goliad Street [SH-205], situated within the SH-205 Overlay (SH-205 OV) District, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 20, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Ryan Miller
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 20, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-008: Specific Use Permit (SUP) for Heritage Christian Academy

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-008: Specific Use Permit (SUP) for Heritage Christian Academy

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name:

HERITAGE CHRISTIAN ACADEMY
1408 S Goliad St
Rockwall, TX 75087

Paige Baesa
Business Manager

Address:

Tex. Loc. Gov. Code Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

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Case No. Z2023-008: Specific Use Permit (SUP) for Heritage Christian Academy

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name: **HERITAGE CHRISTIAN ACADEMY**
1408 S Goliad St
Address: **Rockwall, TX 75087**

Paige Baesa
Business Manager

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-008: Specific Use Permit (SUP) for Heritage Christian Academy

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.



Name:

Heritage Christian Academy

Faize Barsa

Address:

1408 S. Goliad St Rockwall, TX 75087

Business Manager

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-008: Specific Use Permit (SUP) for Heritage Christian Academy

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

[Redacted area]

Name:

HERITAGE CHRISTIAN ACADEMY

*Paige Bansa
Business Manager*

Address:

**1408 S Goliad St
Rockwall, TX 75087**

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



February 8, 2023

To: Rockwall City Council

Ryan Lewis, AICP, Director of Planning

From: Brad Helmer, Head of School

Heritage Christian Academy

Mr. Lewis and Council Members,

First let me say on behalf of the HCA community how grateful we are that you worked with us to bring our gymnasium and classroom building to fruition. We are looking at a May completion date and could not be more excited. Your willingness to allow us to keep our portables during the building process despite the track record does not go unnoticed!

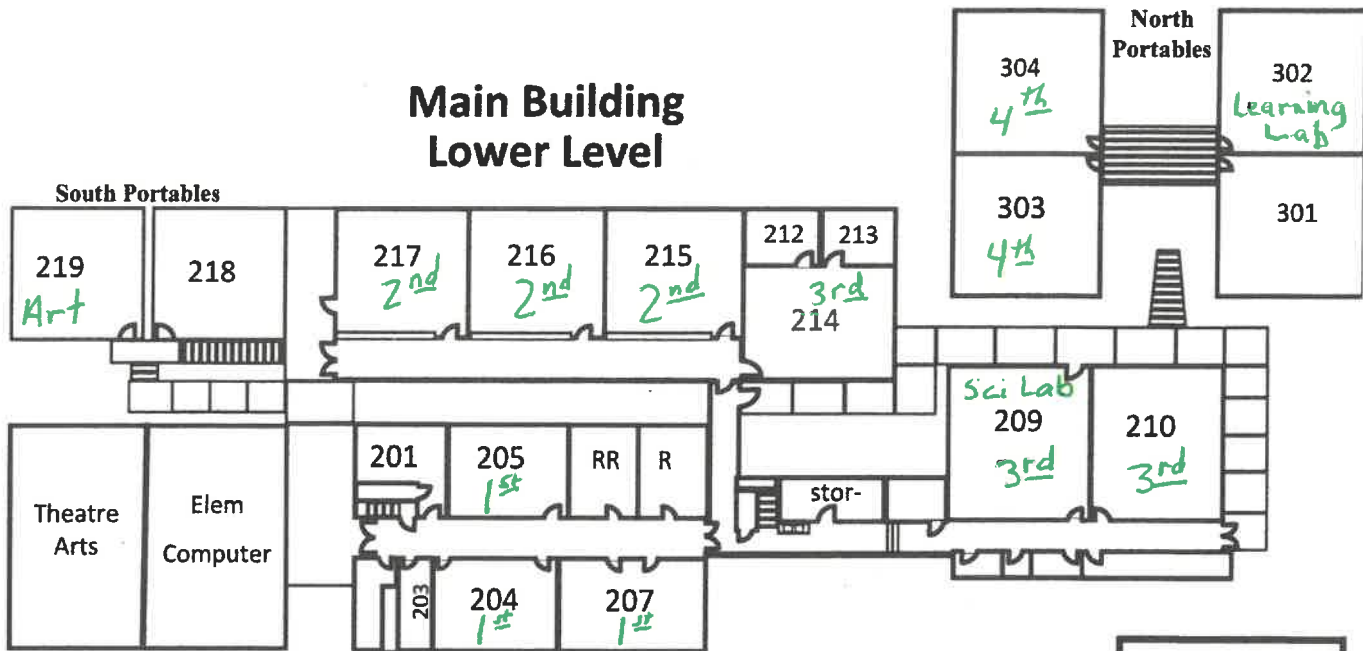
Please know that while the intent of this letter is to respectfully request one additional year with our portable classrooms, we will fulfill our commitment to you and remove the portable buildings this summer should you choose to deny this request. That said, I would like to present the following information as you consider the application for the SUP.

Current enrollment is 424 students: 264 elementary and 160 secondary students. This is the **largest** number of enrolled students in HCA's 28-year history. In January of each year, we re-enroll current families for the next school year. After accounting for the 20 seniors who will graduate, we have re-enrolled 378 students, which is a 93% retention rate.

Open enrollment for new students begins in February of each year for the next school year (23-24). We have already enrolled 17 new students. We have 20 students who are in varying stages of enrollment, and 20 students who have shown interest in moving forward with enrollment. Yesterday alone, we had 18 families attend an Open House to learn about the school. All this to say, we are only in February, and we are about to match, for 23-24, our current enrollment number. Historically, the bulk of our enrollment of new students happens between April and August, so there is no telling how many students we may have the opportunity to enroll before the 23-24 school year begins in August.

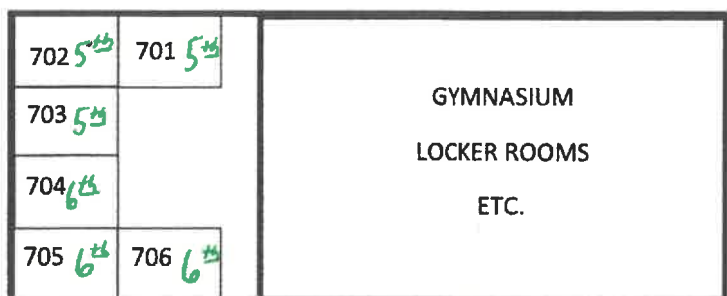
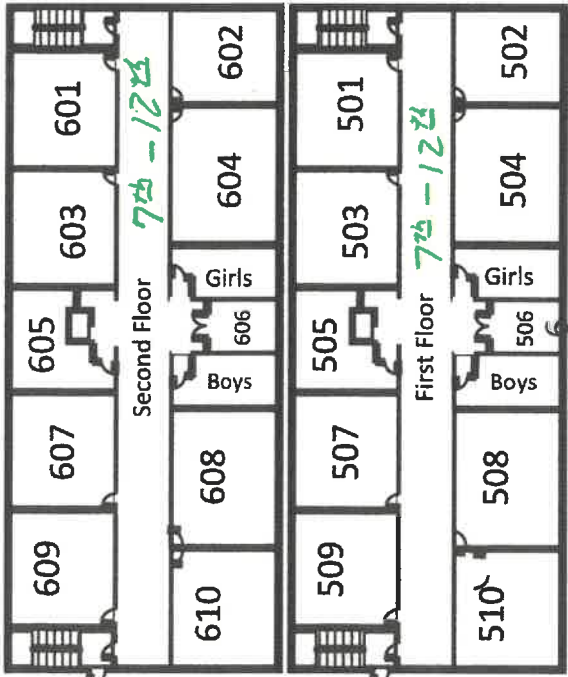
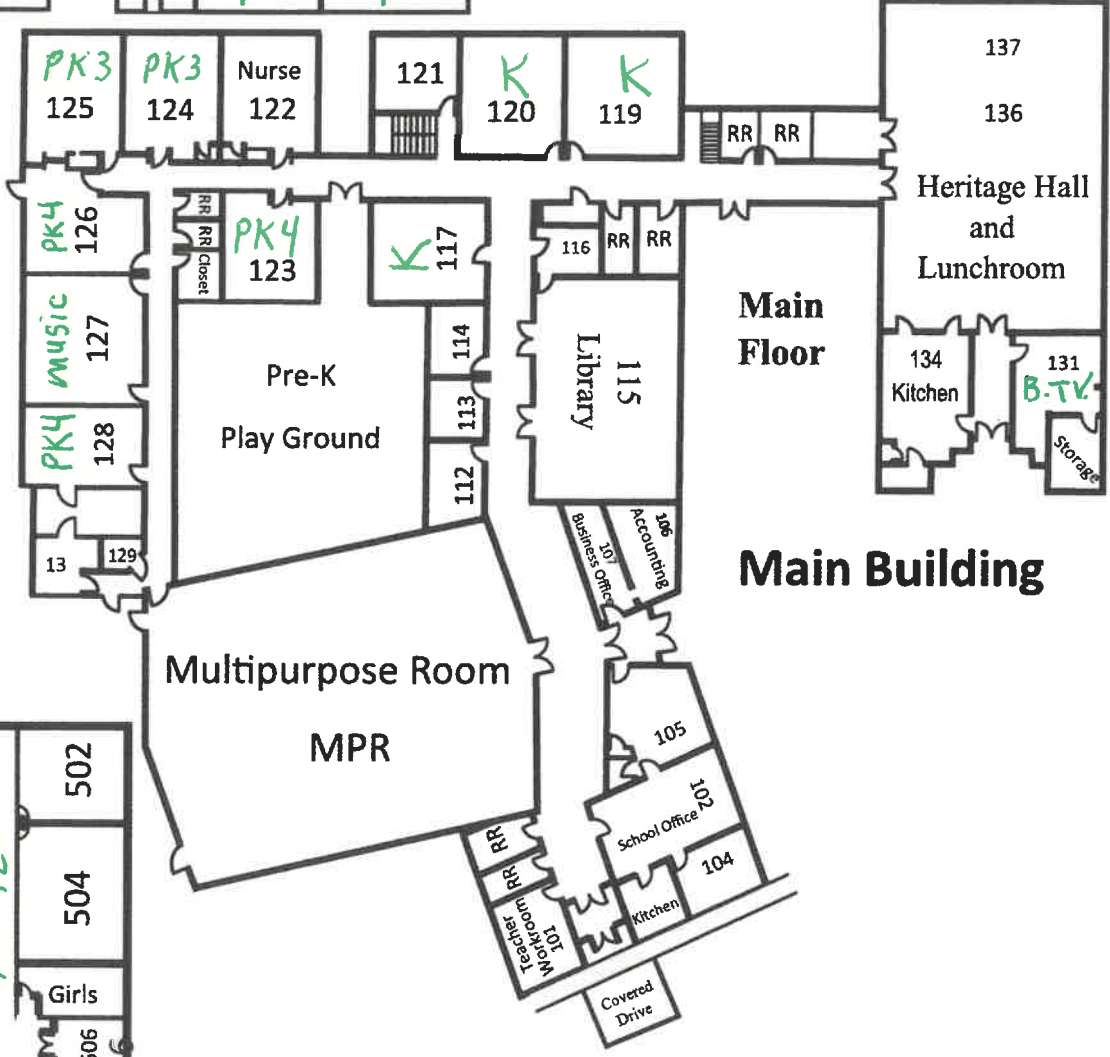
This is where I need to share with you my logistical concerns. It does not matter how many new students wish to attend HCA if we do not have space to accommodate them. When my portables, which represents 6 classrooms, are gone, I will move those students to the six new classrooms in our gym building. The net increase, however, is zero. Currently, including the portables, I have 37 classrooms available. So, in planning for next year, when my portables go away - even though I have 6 new classrooms - I have no additional room for the number of students we could potentially enroll.

Main Building Lower Level



Heritage Christian Academy
 1408 S. Gollad St.
 Rockwall, Texas 75087
 (972) 772-3003

Taylor Building (Secondary)



Elementary	22-23	23-24	23-24 @ Capacity
PreK 3	10	10	10
PreK 3		9	10
PreK 4	10	10	10
PreK 4	10	10	10
PreK 4	10	7	10
K	15	16	16
K	15	16	16
K	11	12	16
1	15	16	16
1	15	16	16
1	10	10	16
2	17	16	18
2		16	18
2		4	18
3	15	18	18
3	14	1	18
4	16	18	18
4	17	13	18
5	18	18	18
5	18	18	18
5		1	18
6	18	18	18
6	8	18	18
6		1	18
Total	262	292	380

	Secondary	22-23	23-24	23-24 If Max Of 3 Sections
7th	34	27	50-54	
8th	27	32	50-54	
9th	40	25	50-54	
10th	18	44	50-54	
11th	22	17	50-54	
12th	20	23	50-54	
Total	161	168	300-324	

CITY OF ROCKWALL

ORDINANCE NO. 19-02

SPECIFIC USE PERMIT NO. S-200

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [*ORDINANCE NO. 04-38*] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW THREE (3) TEMPORARY EDUCATIONAL BUILDINGS ON A 6.64-ACRE PARCEL OF LAND ZONED MULTI-FAMILY 14 (MF-14) DISTRICT AND IDENTIFIED AS LOT 1, BLOCK A, HERITAGE CHRISTIAN ACADEMY ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Brad Helmer on behalf of Heritage Christian Academy (HCA) for the approval of a Specific Use Permit (SUP) allowing existing temporary educational buildings, situated on a 6.64-acre tract of land, zoned Multi-Family 14 (MF-14) District, and being identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, addressed 1408 S. Goliad Street [SH-205], and being more specifically depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 04-38*] and Specific Use Permit (SUP) No. S-114 [*Ordinance No. 13-44*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in Ordinance No. 13-44; and

SECTION 2. That the Unified Development Code (UDC) [*Ordinance No. 04-38*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing existing temporary educational buildings in a Multi-Family 14 (MF-14) District as stipulated by Article IV, *Permissible Uses*, and Article V, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 04-38*] on the *Subject Property*; and

SECTION 3. That the *Subject Property* shall be used only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Section 3.9, *Multi-Family 14 (MF-14) District*, of Article V, *District Development Standards*, of the Unified

Development Code (UDC) [Ordinance No. 04-38] of the City of Rockwall as heretofore amended, as amended herein by the granting of this zoning change, and as may be amended in the future, and shall be subject to the additional following conditions:

3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of a temporary educational building on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The temporary educational buildings shall generally conform to the building elevations and site plan depicted in *Exhibit 'B'* of this ordinance.
- 2) The subject property shall not have more than three (3) temporary educational buildings;
- 3) The Specific Use Permit (SUP) shall be valid for a period of six (6) months from the date of approval. At which time the City Council shall review the Specific Use Permit to determine if a two (2) year extension is warranted in accordance with *Exhibits 'C' and 'D'* of this ordinance.
- 4) The temporary educational buildings are subject to administrative review in the event that the *Subject Property* is sold, conveyed or altered in any manner.

3.2 COMPLIANCE

Approval of this ordinance in accordance with Section 8.3, *Council Approval or Denial*, of Article II, *Authority and Administrative Procedures*, of the Unified Development Code (UDC) [Ordinance No. 04-38] will require compliance to the following:

- 1) Should the subject property fail to meet the minimum operational requirements set forth herein and outline in the Unified Development Code (UDC) [Ordinance No. 04-38], the City Council may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Section 4.4.(3) of Article IV, *Permissible Uses*, of the Unified Development Code (UDC) [Ordinance No. 04-38].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 7TH DAY OF JANUARY, 2019.



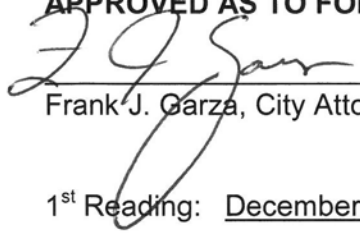
Jim Pruitt, Mayor

ATTEST:



Kristy Cole, City Secretary

APPROVED AS TO FORM:



Frank J. Garza, City Attorney



1st Reading: December 17, 2018

2nd Reading: January 7, 2019

Exhibit 'A': Plat

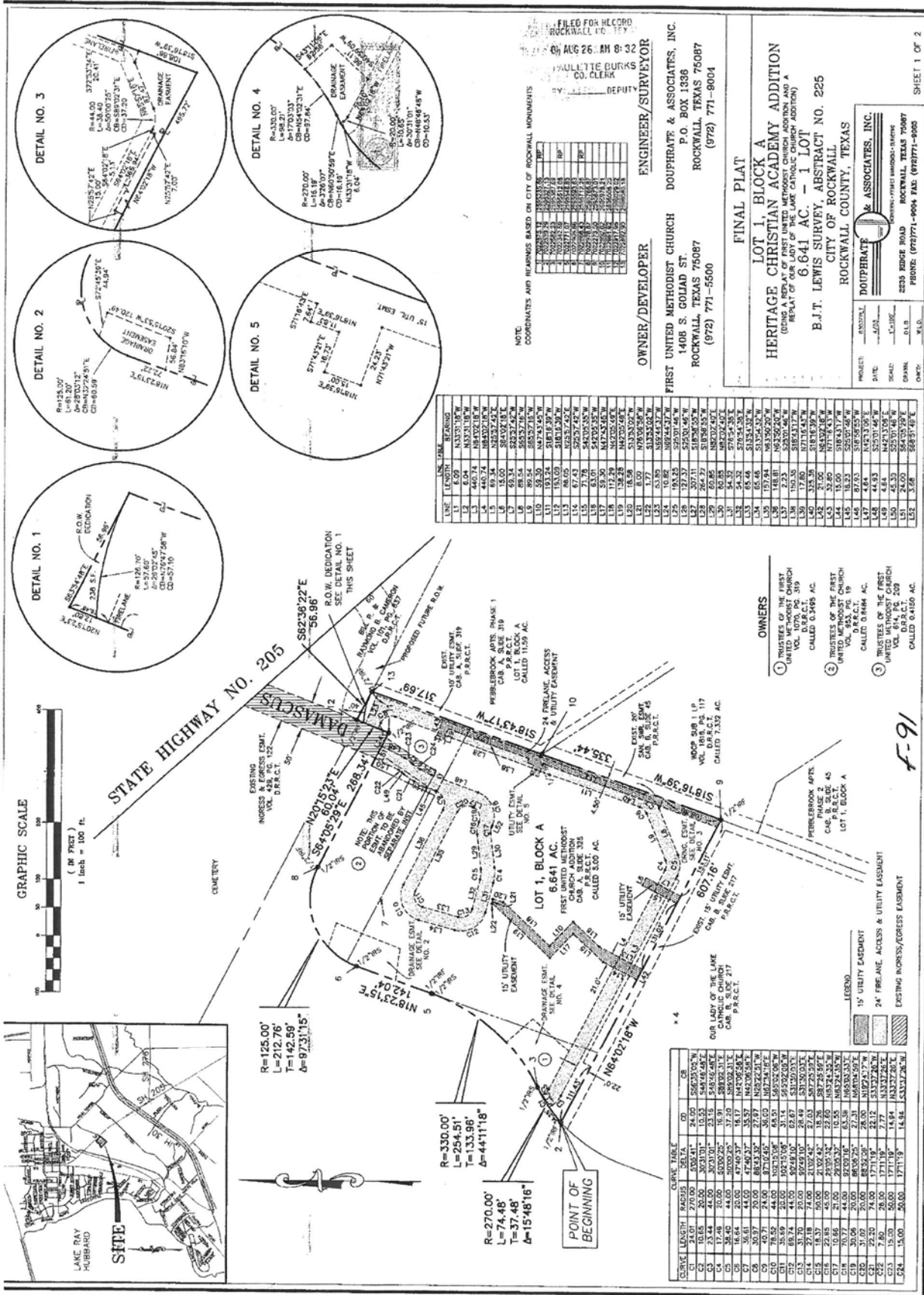


Exhibit 'B':
Site Plan



Exhibit 'C':
Applicant's Letter

December 11, 2018

To: Rockwall City Council

By: Brad Helmer, Heritage Christian Academy

Re: Temporary Classroom Buildings Phase Out Schedule Narrative

Please accept the following narrative in conjunction with the provided timeline (schedule) as Heritage Christian Academy's board-approved plan to phase out the 3 temporary classroom buildings located on our property at 1408 S. Goliad. We appreciate the Council's willingness to work with us as we commit to this plan. Additionally, as a 501(c)(3) nonprofit corporation, we must fundraise to support any and all initiatives. As tuition covers typically 80-85% of our operations budget, charitable giving is requisite and vital to our mission. Given this, undertaking a monumental task such as these infrastructure improvements, requires an immense amount of work and faith. We acknowledge and embrace this for our students' sake.

For the past 2 years, we have been in the process of developing and undertaking a capital campaign to build a gymnasium on our property. As the leadership of HCA, we feel that having this building will serve to increase enrollment and allow us to continue becoming even more excellent in fulfilling our mission. We retained the services of Mission Advancement (MAP), a capital campaign consultant company, to guide us through this process. The following timeline was developed in partnership with MAP to guide our efforts.

February, 2017 – December, 2017:

- Campaign Organization
- Leadership Enlistment
- Case Development
- Resource Mapping
- Logic Narrative
- Site maps, renderings and other marketing artifacts finalized

January, 2018 – December, 2018

- Large Donor Relationship Meetings (Top 10% discovered during Resource Mapping)
- Board Commitments
- Large Donor Request for Donation Meeting (Top 10%)

January, 2019 – December, 2019

- Continue Work with Top 10%
- Begin Next 20% Donor Meetings with Requests for Donation
- Possible Public Appeal (After 80% of goal reached)

After January, 2020

- Continue Working Donor Base
- Begin Construction

In early October, 2018, it was brought to our attention that the plan and priority we are currently invested in was not in line with the priority expectation of the City regarding the Temporary Classroom Buildings on our property. We immediately met to begin discussions of how to continue working toward our vision of a

Exhibit 'C':
Applicant's Letter

gymnasium and also satisfy a commitment that was made to the City Council by former administration. As evidenced in the provided schedule, the Board has developed a plan that will accomplish both.

We have begun reengaging our architect and general contractor to reevaluate the property to determine the most cost-efficient, and best use of space for adding classrooms into the plan along with a slightly modified gymnasium. As you might expect, while we are not starting completely over, we must duplicate some work that has already been done and paid for to date. Our general contractor feels that we will be able to complete the following items in no more than 180 days, with the goal of presenting to the City Council no later than June, 2019.

The following will need to be accomplished during the 180 days:

- Meetings with architect, engineers, contractors, etc. to share our needs and desires
- Architect finalizes preliminary site plan, floor plan and elevations
- Discussions with City of Rockwall for feasibility of plan
- GC to send out preliminary RFPs to determine new cost of construction
- Garner Board support and approval of new plan
- Prepare for presentation of new plan and more specific timeline to City Council


I, and the HCA Board, commit to offering quarterly updates to the City Council according to the dates on the attached schedule. God willing, donors will share our vision and support this process financially. Thank you in advance for understanding the challenges associated with having to fundraise for initiatives such as this.

The leadership of HCA still remains committed to building a gymnasium on our property. We are also committed, however, to honesty and transparency. Our commitment to the City Council of making classrooms the priority of our plan, and still staying true to our vision of having our own gymnasium will be a testament to this.

Sincerely,

Brad Helmer, Ed.D.
Head of School

**Exhibit 'D':
Phase-Out Schedule**

Temporary Classroom Buildings Phase-Out Schedule			
Date Proposed	Activity	Date Complete	Outcome
11/27/18	HCA Board Meeting to discuss plan for phase-out of temporary classroom buildings.	11/27/2018	Preliminary information presented to Board regarding planning and zoning committee concerns and city council concerns. Began discussions about slightly altering direction of capital campaign to include classrooms sooner.
11/29/18	HCA building committee meeting with architect and builder	11/29/2018	Began discussions about adding classrooms sooner into the plan we have already vetted. Subsequent meetings were discussed and the first will be set for 2nd week in January.
12/04/18	Board work session to narrow down phase-out plan	12/4/2018	Invited our General Contractor to have conversation with the Board regarding some options to maintain our focus on a gymnasium, but adding classrooms sooner. Consensus is to have architect and GC look at using the current plan's footprint to add classrooms.
12/10/18	Board meeting to finalize phase-out plan for presentation to Rockwall City Council on 12/17/18	12/10/2018	A brief history of HCA's capital initiatives was discussed and agreement was reached on a plan that is unanimously backed by the Board. <i>(See attached narrative)</i>
12/11/18	Submit plan to Corey Brooks, Sr. Planner, for subsequent presentation of plan to the Rockwall City Council prior to the 12/17/18 CC Meeting	12/11/2018	Documents submitted to Mr. Brooks for Council consideration.
12/11/18	With HCA Board approval, begin to speak with currently committed donors to update them on the revised plan and give opportunity to withdraw their donation, or give permission to use their donation toward the revised plan.		Conversations to take place this week 12/11-12/14.
12/17/18	Present phase-out schedule to Rockwall City Council	12/17/2018	
01/2019	2nd meeting with GC and architect to begin the feasibility study, redraw site plan, floor plans and elevation renderings. Meet with donors who have expressed interest in in-kind donations such as roofing, landscaping, etc., as part of determining a new dollar amount for the capital campaign. HCA anticipates no more than 180 days to finalize for presentation to the City Council.	1/19 - 6/19	
6/3/2019	Update to City Council		
06/2019	Begin meeting with donors to show plans and accept commitments. Begin construction as soon as capital campaign commitments allow and with Board and City of Rockwall permit approval.		
9/2/2019	Quarterly Update to City Council		
12/2/2019	Quarterly Update to City Council		
3/2/2020	Quarterly Update to City Council		
6/8/2020	Quarterly Update to City Council		
9/7/2020	Quarterly Update to City Council		
12/7/2020	Quarterly Update to City Council		
3/8/2021	Quarterly Update to City Council		
6/7/2021	Quarterly Update to City Council		
9/6/2021	Quarterly Update to City Council		
12/6/2021	Quarterly Update to City Council		
3/7/2022	Quarterly Update to City Council		
6/6/2022	Quarterly Update to City Council		
9/5/2022	Quarterly Update to City Council		
12/5/2022	Quarterly Update to City Council		
	Immediate removal of temporary classrooms targeted for occupancy date of new classroom portion of the revised plan, possibly between 1/1/2023 and 6/1/2023 and dependent on approval from the City of Rockwall.		

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-XXX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) TO ALLOW THREE (3) TEMPORARY EDUCATIONAL BUILDINGS ON A 6.64-ACRE PARCEL OF LAND ZONED MULTI-FAMILY 14 (MF-14) DISTRICT IDENTIFIED AS LOT 1, BLOCK A, HERITAGE CHRISTIAN ACADEMY ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OR FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, a request has been made by Brad Helmer on behalf of Heritage Christian Academy (HCA) for the approval of a Specific Use Permit (SUP) allowing *Existing Temporary Education Buildings* to remain on a 6.64-acre parcel of land identified as Lot 1, Block A, Heritage Christian Academy Addition, City of Rockwall, Rockwall County, Texas, zoned Multi-Family 14 (MF-14) District, addressed as 1408 S. Goliad Street [SH-205], and being more specifically described in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the approval of this ordinance shall supersede all requirements stipulated in *Ordinance No. 19-02*; and

SECTION 2. That the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) allowing *Existing Temporary Educational Buildings* to remain on the *Subject Property* as stipulated by Article 04, *Permissible Uses*, of the Unified Development Code [Ordinance No. 20-02]; and

SECTION 3. That the *Subject Property* shall be used and developed only in the manner and for the purposes described in this Specific Use Permit (SUP) ordinance and as specifically set forth in Subsection 01.01, *Land Use Schedule*, of Article 04, *Permissible Uses*, and Subsection 03.12, *Multi-Family 14 (MF-14) District*; Subsection 04.01, *General Commercial District Standards*; and

Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code [Ordinance No. 20-02] of the City of Rockwall -- as heretofore amended and may be amended in the future -- and with the following conditions:

3.1 OPERATIONAL CONDITIONS

The following conditions pertain to the operation of *Existing Temporary Educational Buildings* on the *Subject Property* and conformance to these requirements is necessary for continued operations:

- 1) The *Temporary Educational Buildings* shall generally conform to the building elevations and site plan depicted in *Exhibit 'B'* of this ordinance.
- 2) The *Subject Property* shall not have more than three (3) *Temporary Educational Buildings*.
- 3) The Specific Use Permit (SUP) shall be valid for a period of one (1) year from the date of approval. At which time the City Council shall review the Specific Use Permit (SUP) to determine if a one (1) year extension is warranted.
- 4) The *Temporary Educational Buildings* are subject to administrative review in the event that the *Subject Property* is sold, conveyed, or altered in any manner.

3.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Should *Subject Property* fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) [Ordinance No. 20-02].

SECTION 4. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 5. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 6. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 7. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 8. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF APRIL, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

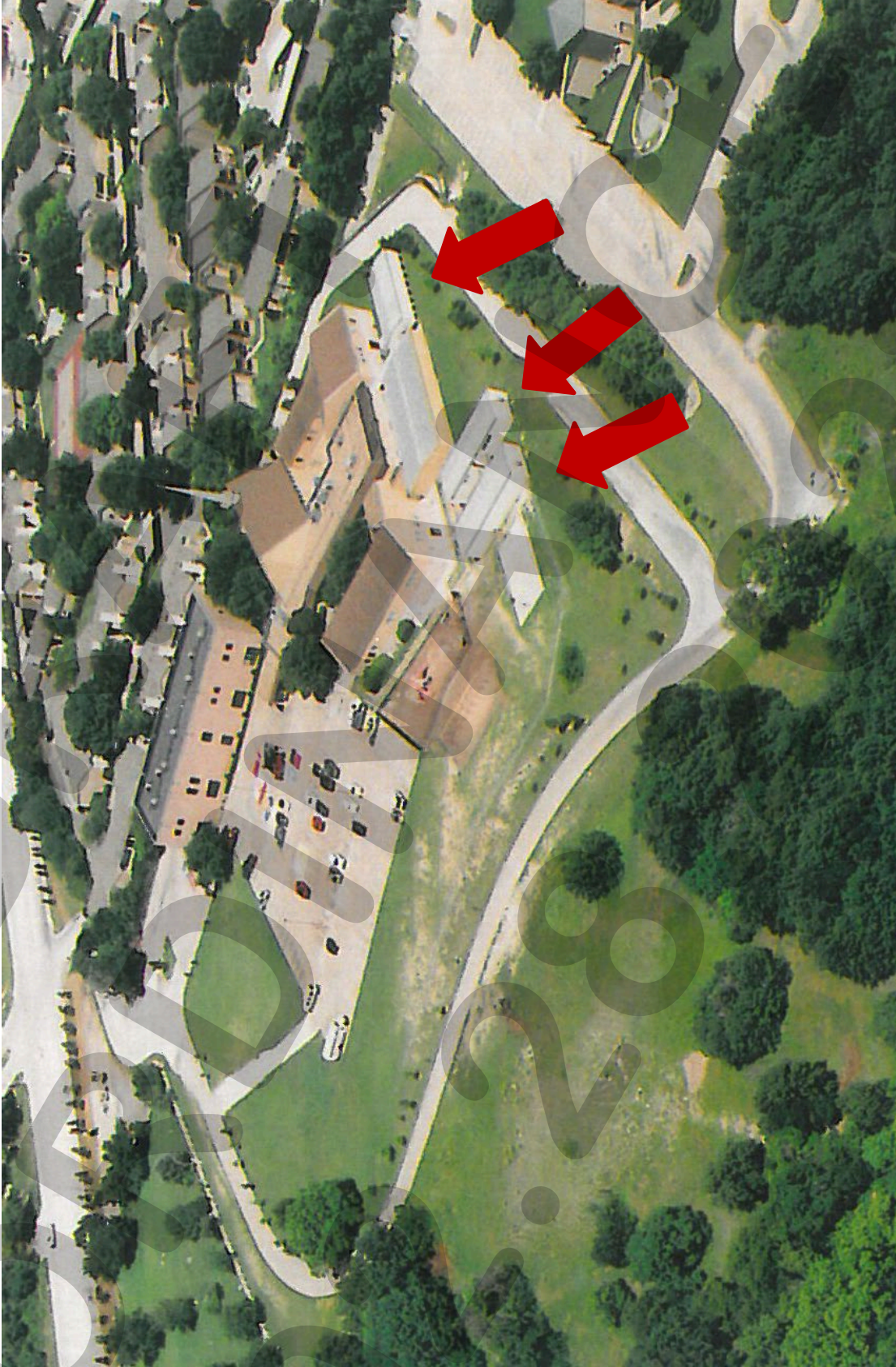
APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 20, 2023

2nd Reading: April 3, 2023

**Exhibit 'B':
Site Plan**



**Exhibit 'C':
Applicant's Letter**



February 8, 2023

To: Rockwall City Council

Ryan Lewis, AICP, Director of Planning

From: Brad Helmer, Head of School

Heritage Christian Academy

Mr. Lewis and Council Members,

First let me say on behalf of the HCA community how grateful we are that you worked with us to bring our gymnasium and classroom building to fruition. We are looking at a May completion date and could not be more excited. Your willingness to allow us to keep our portables during the building process despite the track record does not go unnoticed!

Please know that while the intent of this letter is to respectfully request one additional year with our portable classrooms, we will fulfill our commitment to you and remove the portable buildings this summer should you choose to deny this request. That said, I would like to present the following information as you consider the application for the SUP.

Current enrollment is 424 students: 264 elementary and 160 secondary students. This is the **largest** number of enrolled students in HCA's 28-year history. In January of each year, we re-enroll current families for the next school year. After accounting for the 20 seniors who will graduate, we have re-enrolled 378 students, which is a 93% retention rate.

Open enrollment for new students begins in February of each year for the next school year (23-24). We have already enrolled 17 new students. We have 20 students who are in varying stages of enrollment, and 20 students who have shown interest in moving forward with enrollment. Yesterday alone, we had 18 families attend an Open House to learn about the school. All this to say, we are only in February, and we are about to match, for 23-24, our current enrollment number. Historically, the bulk of our enrollment of new students happens between April and August, so there is no telling how many students we may have the opportunity to enroll before the 23-24 school year begins in August.

This is where I need to share with you my logistical concerns. It does not matter how many new students wish to attend HCA if we do not have space to accommodate them. When my portables, which represents 6 classrooms, are gone, I will move those students to the six new classrooms in our gym building. The net increase, however, is zero. Currently, including the portables, I have 37 classrooms available. So, in planning for next year, when my portables go away - even though I have 6 new classrooms - I have no additional room for the number of students we could potentially enroll.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 14, 2023
APPLICANT: Jeff and Ginger Brock-Jones
CASE NUMBER: Z2023-009; *Specific Use Permit for a Detached Garage/Guest Quarters at 504 Nash Street*

SUMMARY

Hold a public hearing to discuss and consider a request by Jeff and Ginger Brock-Jones for the approval of a *Specific Use Permit (SUP)* to allow a *Guest Quarters/Detached Garage* on a 0.4170-acre parcel of land identified as all of Lot 1 and a portion of Lot 2, Block 2, Leonard and Adams Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 504 Nash Street, and take any action necessary.

BACKGROUND

Based on the City's annexation ordinances the subject property was annexed prior to June 20, 1959, and based on the 1934 Sanborn Maps the subject property was annexed after August 25, 1934. According to the to the City's *Historic Zoning Maps*, the subject property was zoned Single-Family 3 (SF-3) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, this zoning designation was changed to a Single-Family 7 (SF-7) District. According to the Rockwall Central Appraisal District, currently situated on the subject property is a 1,705 SF single-family home and a 360 SF detached garage. Both structures were constructed in 1990.

PURPOSE

The applicants -- *Jeff and Ginger Brock-Jones* -- are requesting the approval of a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* and *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 504 Nash Street. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are two (2) residential lots that make up the Leonard and Adams Addition, which consists of seven (7) residential properties, zoned Single Family 7 (SF-7) District. This subdivision was established on May 6, 1925. North of this are six (6) residential properties that make up the Fondren Addition, which consists of 16 properties that were established on January 1, 1945. North of that is two (2) residential properties that make up the B.F. Boydston Addition, which consists of 137 residential properties on 1.62-acres. Beyond this is Heath Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is Williams Street, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. South of this is a 0.296-acre parcel of land (*i.e. Lot 1, Block 1, Epperson Addition*), zoned Single Family 7 (SF-7) District and addressed as 804 Williams Street. South of this is Nash Street which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 6.21-acre parcel of land (*i.e. Lot 1, Block A, Lakes Assembly Addition*), zoned Single Family 7 (SF-7) District that is developed with a 6,420 SF *Church/House of Worship* (*i.e. The Lakes*

Assembly). Beyond this is Solar Village Addition, which consists of six (6) residential lots that were established on October 2, 2014. Beyond this is SH-66 (i.e. Williams Street), which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is Nash Street, which is identified as a R2U (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that is a 0.365-acre parcel of land (i.e. Lot 1 & 2, Block 1, Leonard and Adams Addition), zoned Single Family 7 (SF-7) District, and addressed as 501 Nash Street. Beyond this is N. Clark Street, which is identified as a R2 (i.e. residential, two [2] lane, undivided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, residential plot plan, floor plan, electrical plan, and building elevations proposing to construct a 28' by 39'-8" (or 1,020 SF building footprint) Detached Garage and Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit on the subject property. The proposed structure will be situated on a 28-foot by 40-foot concrete pad. The concrete pad is set ~7.5-feet from the side yard (i.e. northern) property line, ~10½-feet from the rear yard (i.e. eastern) property line, and ~33-feet from the front yard (i.e. southern) property line. The building elevations submitted by the applicant indicate that the structure will be two (2) stories and have a total square footage of 1,900 SF. The proposed structure will have a pitched roof and stand approximately 29-feet at the peak of the roof. The exterior of the structure will be clad in Hardie Board horizontal lap-siding that will be complementary in color and scale to the white horizontal wood lap-siding of the primary structure. According to the applicant the structure will primarily be used as a detached garage to replace the existing 360 SF detached garage, as well as a guest quarters on the second floor. Based on the floor plan submitted by the applicant, the structure will have a bathroom and kitchenette on the second floor.

CONFORMANCE WITH THE CITY'S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines a *Guest Quarters/Secondary Living Unit* as "(a)n accessory building designed for the temporary occupancy of guests of the primary dwelling for which there is no remuneration and is not rented or otherwise used as separate domicile." According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC) a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* requires a Specific Use Permit (SUP) in a Single-Family 7 (SF-7) District and -- according to Subsection 02.03 -- is subject to the following *Conditional Land Use Standards*: [1] the structure must be ancillary to a single-family home, [2] the square footage of the structure shall not exceed 30% of the square footage of the primary structure, and [3] the structure may not be sold or conveyed separately from the single-family home without meeting the zoning requirements for the district. In addition, to these requirements a *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* is subject to the dimensional requirements contained in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, and the parking requirements of Article 06, *Parking and Loading*, of the Unified Development Code (UDC). A summary of these standards compared to the applicant's proposed *Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit* are as follows:

TABLE 1: COMPLIANCE WITH THE REQUIREMENTS OF THE UDC

ORDINANCE PROVISIONS	REQUIREMENTS	CONFORMANCE TO THE STANDARDS
NUMBER OF ACCESSORY STRUCTURES	A maximum of 2 detached accessory structures are permitted in a Single-Family 7 (SF-7) District.	1; <i>IN CONFORMANCE</i>
MAXIMUM SIZE OR SQUARE FOOTAGE	The structure shall not exceed 30% of the Primary Structure (1,705 SF x 30% = 511.50 SF).	1,900 SF; <i>DISCRETIONARY APPROVAL NEEDED</i>
MINIMUM REAR YARD SETBACK	10-Feet	~10' 4"; <i>IN CONFORMANCE</i>
SIDE YARD SETBACK	6-Feet	~7'6"; <i>IN CONFORMANCE</i>
DISTRANCE BEETWEEN BUILDINGS	10-Feet	~14-Feet; <i>IN CONFORMANCE</i>
MAXIMUM BUILDING HEIGHT ¹	Accessory structures are permitted a maximum of 15-Feet; however, the SF-7 District allows a total height of 32-Feet.	~29"; <i>DISCRETIONARY APPROVAL NEEDED</i>
MINIMUM ON-SITE PARKING	1.5/Unit	<i>IN CONFORMANCE</i>

NOTES:

¹: The accessory structure standards limit the height of accessory buildings to a single-story.

According to Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the Single-Family 7 (SF-7) District allows a total of two (2) accessory buildings each being 144 SF in size or one (1) accessory building at 144 SF in size and one (1) detached garage at 625 SF in size. In addition, detached garages are limited to a maximum height of 15-feet and must meet the same minimum setbacks established for the primary structure. Subsection 07.04 of the code goes on to state, “(a)ccessory buildings and structures shall be architecturally compatible with the primary structure, and be situated behind the front façade of the primary structure ... [and] (a)ccessory buildings and structures not meeting the size requirements stipulated by this section shall require a Specific Use Permit (SUP).”

STAFF ANALYSIS

In this case, the applicant has stated that the accessory structure is primarily intended to be used as a *Detached Garage* to replace the existing *Detached Garage*, which is in disrepair; however, since this structure will incorporate separate sanitary facilities it is better classified as a *Guest Quarters/Secondary Living Unit* as opposed to a simple *Detached Garage*. Additionally, the *Guest Quarters/Secondary Living Unit* allows the applicant to have a larger building (*i.e.* 30% of the primary square footage) compared to the *Detached Garage* standards, which limit the permitted *by-right* square footage to 625 SF. Regardless of classification of the structure (*i.e.* if it is a *Detached Garage* or *Guest Quarters/Secondary Living Unit*) it would require a Specific Use Permit (SUP).

Based on *Table 1* above, the proposed structure does appear to meet all of the requirements for a *Guest Quarters/Secondary Living Unit* with the exception of the maximum size or square footage and maximum building height. *Guest Quarters/Secondary Living Unit* are permitted to be 30.00% of the square footage of the primary structure. In this case, the applicant is permitted by right a 551.50 SF *Guest Quarters/Secondary Living Unit* (*i.e.* 1,705 SF * 30% = 511.5 SF). Staff should also point out that the maximum permissible size of a detached garage is 625 SF. With that being said the applicant is requesting a 1,897 SF *Guest Quarters/Secondary Living Unit*, which exceeds the maximum permitted size of a *Guest Quarters/Secondary Living Unit* by 1,385.5 SF and represents 111% of the primary structure. This structure also exceeds the maximum permitted size of a *Detached Garage* by 1,272 SF. In regards to the height of the structure, staff is obligated to point out that the Unified Development Code (UDC) is somewhat unclear about the standards for a *Guest Quarters/Secondary Dwelling Unit*. These structures are somewhat unique in that they follow both the standards for an *Accessory Building* and the *Residential District Development Standards*. Using the *Accessory Building* standards, the height would be limited to one (1) story at a maximum of 15-feet; however, the *Residential District Development Standards* for a Single-Family 7 (SF-7) District allow a maximum height of 32-feet. The reason this ambiguity exists in the code is because a *Guest Quarters/Secondary Living Unit* can be appropriately incorporated into a property in several different ways depending on the context of the structure. For example, a *Guest Quarters/Secondary Living Unit* can be a standalone structure or incorporated into another structure like a detached garage. With this being said, the Specific Use Permit (SUP) allows the Planning and Zoning Commission and City Council the ability review the context of a request and grants them the discretion to approve or deny the request on a *case-by-case* basis.

Since this property is located in a more established part of town, there are several properties with multiple accessory buildings situated on them. In the block bounded by N. Clark Street, Lillian Street, Parks Avenue, and Williams Street staff has counted three (3) accessory buildings on four (4) properties with the average size of these structures being ~125 SF. The largest of these structures was around 160 SF. Staff should also point out that the applicant's lot -- at 0.36-acres -- is almost twice the size of the surrounding lots. These factors may warrant consideration in this case. After reviewing the location of the proposed structure, it does *not* appear to have a negative effect on the adjacent properties; however, this request does require a Specific Use Permit (SUP), granting the City Council discretion pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On February 21, 2023, staff mailed 69 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Carruth Ridge Estates Homeowner's Association (HOA), which was the only Homeowner's Association (HOA) or Neighborhood Organization within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had received one (1) response from a property owner *within* the 500-foot notification area indicating they were in favor of the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the Subject Property shall generally conform to the Site Plan and Survey as depicted in Exhibit 'B' of the Specific Use Permit (SUP) ordinance.
 - (b) The construction of a Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit on the Subject Property shall generally conform to the Building Elevations depicted in Exhibit 'C' of the Specific Use Permit (SUP) ordinance.
 - (c) The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit shall not exceed a maximum building footprint of 1,020 SF and a maximum size of 1,900 SF.
 - (d) The maximum height of the Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit shall not exceed a total height of 29-feet as measured to highest point of the pitched roof.
 - (e) The Guest Quarters/Secondary Living Unit/Accessory Dwelling Unit shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

BE, RPR, letter

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 504 NASH STREET

SUBDIVISION LEONARD AND ADAMS ADDITION LOT 2+1 BLOCK 2

GENERAL LOCATION NASH STREET & SH 66 (WILLIAMS STREET)

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING A1 CURRENT USE RESIDENTIAL

PROPOSED ZONING SAME PROPOSED USE SAME

ACREAGE 0.4170 LOTS [CURRENT] 1 LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input checked="" type="checkbox"/> OWNER	<u>JEFF & GINGER BROCK-JONES</u>	<input checked="" type="checkbox"/> APPLICANT	<u>JEFF BROCK-JONES</u>
CONTACT PERSON	<u>JEFF BROCK-JONES</u>	CONTACT PERSON	<u>JEFF BROCK-JONES</u>
ADDRESS	<u>504 NASH ST.</u>	ADDRESS	<u>504 NASH ST.</u>
CITY, STATE & ZIP	<u>ROCKWALL, TX 75087</u>	CITY, STATE & ZIP	<u>ROCKWALL, TX 75087</u>
PHONE	<u>(972) 569-7129</u>	PHONE	<u>(972) 569-7129</u>
E-MAIL	<u>jeff_brockjones@yahoo.com</u>	E-MAIL	<u>jeff_brockjones@yahoo.com</u>

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Jeff Brock-Jones [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 215 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 13TH DAY OF February, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF February, 2023

OWNER'S SIGNATURE [Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

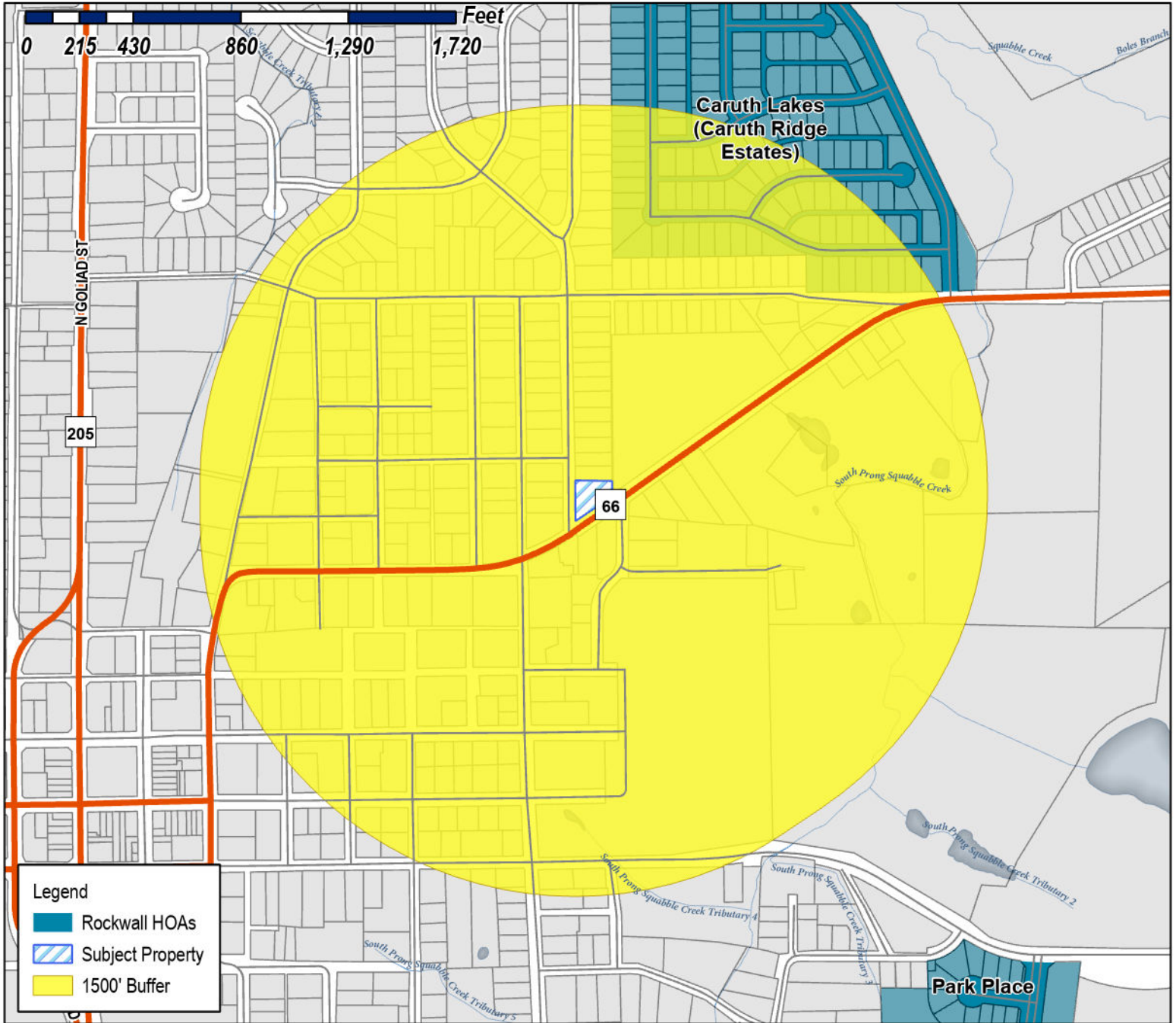




City of Rockwall

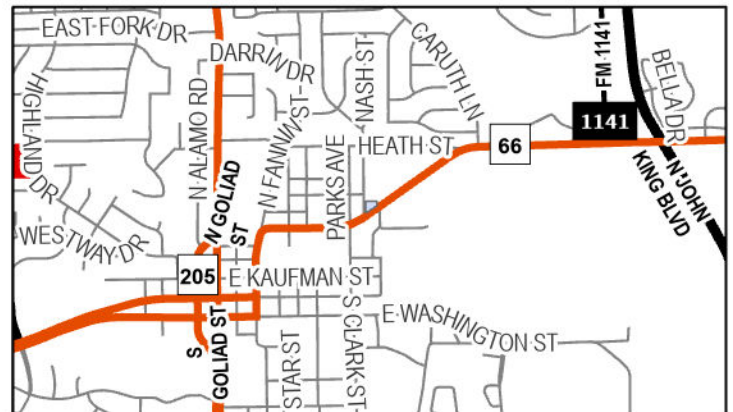
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Case Number: Z2023-009
Case Name: SUP for a Guest Quarters and Detached Garage
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 504 Nash Street

Date Saved: 2/16/2023
 For Questions on this Case Call (972) 771-7745



From: [Lee, Henry](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-009]
Date: Friday, February 17, 2023 4:36:55 PM
Attachments: [HOA Map \(02.13.2023\).pdf](#)
[Public Notice \(02.17.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on February 24, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, March 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 20, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:

<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-009: SUP for a Guest Quarters and Detached Garage at 504 Nash

Hold a public hearing to discuss and consider a request by Jeff and Ginger Brock-Jones for the approval of a Specific Use Permit (SUP) to allow a Guest Quarters/Detached Garage on a 0.4170-acre parcel of land identified as all of Lot 1 and a portion of Lot 2, Block 2, Leonard and Adams Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 504 Nash Street, and take any action necessary.

Thank you,



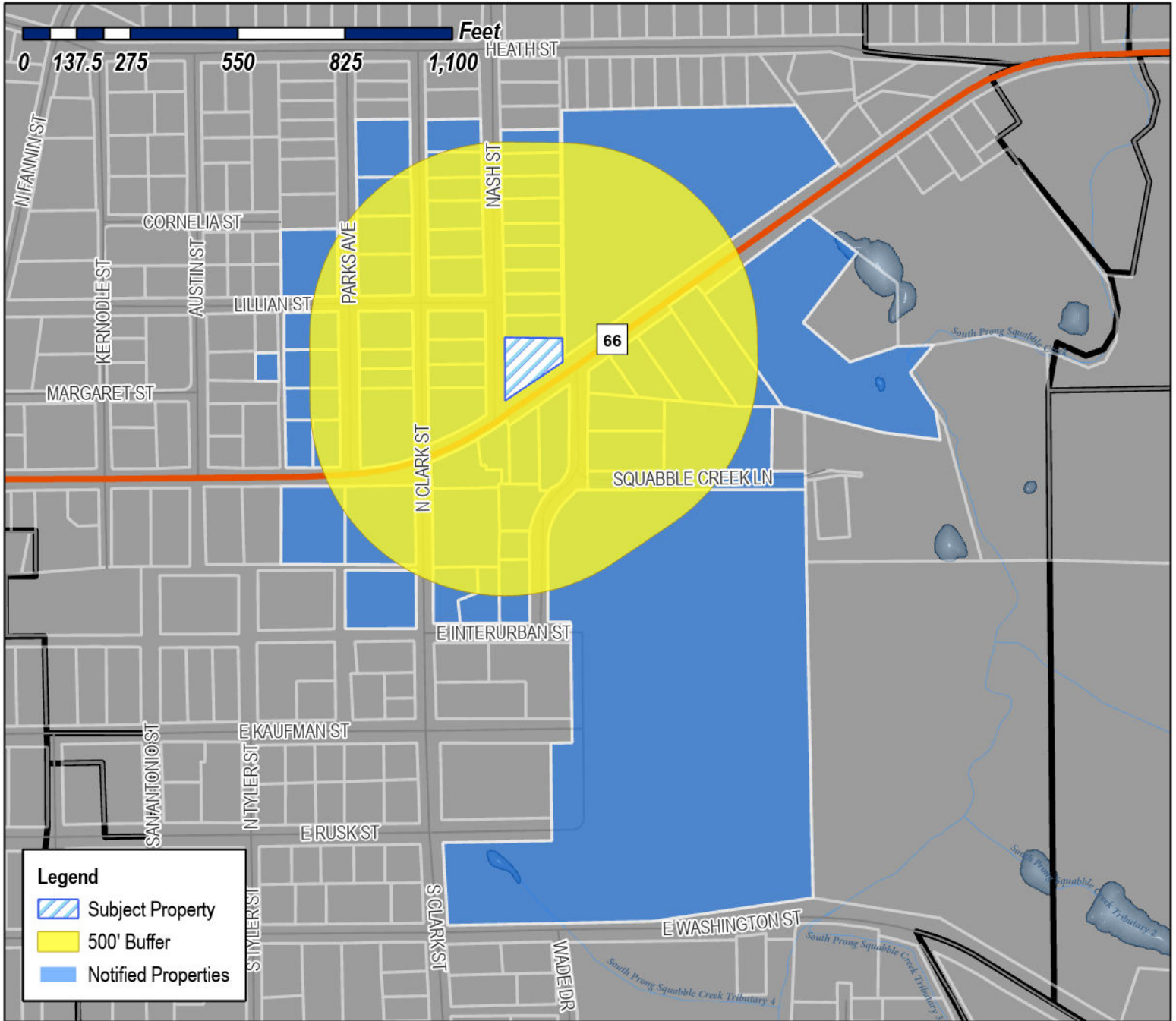
Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



City of Rockwall

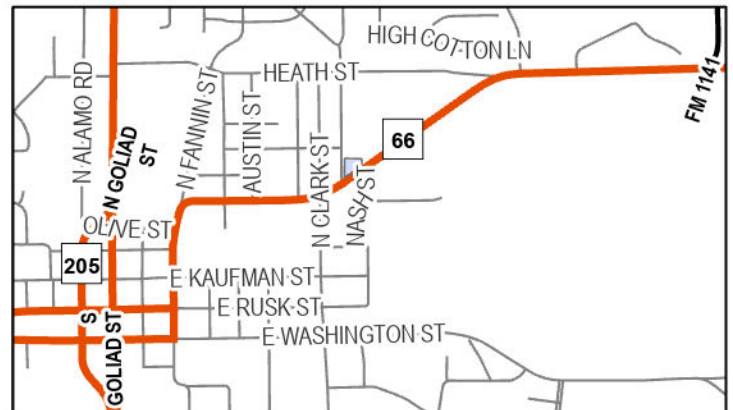
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Case Number: Z2023-009
Case Name: SUP for a Guest Quarters and Detached Garage
Case Type: Zoning
Zoning: Single-Family 7 (SF-7) District
Case Address: 504 Nash Street

Date Saved: 2/16/2023
 For Questions on this Case Call (972) 771-7745



MURPHY MICHAEL
602 PARKS AVE
ROCKWALL, TX 75087

DUNCAN LEONARD AND VICKY
601 WILLIAMS ST
ROCKWALL, TX 75087

WILES KENNETH C & TRINA D
501 NASH ST
ROCKWALL, TX 75087

SHERMAN PATRICIA AND MARK
503 NASH ST
ROCKWALL, TX 75087

DOROTIK DAVID W
509 PARKS AVE
ROCKWALL, TX 75087

LINDSAY WILLIAM & JULIA
605 NASH ST
ROCKWALL, TX 75087

TORRES ROSIE
609 NASH ST
ROCKWALL, TX 75087

OCCUPANT
701 NASH ST
ROCKWALL, TX 75087

RUSTY ENTERPRISES LLC
804 WILLIAMS STREET
ROCKWALL, TX 75087

ELLISTON REBECCA S
703 NASH ST
ROCKWALL, TX 75087

MOSES REX & KERRI
804 WILLIAMS
ROCKWALL, TX 75087

OCCUPANT
606 PARKS AVE
ROCKWALL, TX 75087

SUCH ANNIE ROSE AND RICHARD M FISKE
1022 TEXAN TRAIL
GRAPEVINE, TX 76051

BUTLER JOSEPH DAVID AND ROSE LOUISE
507 NASH ST
ROCKWALL, TX 75087

DAVIS JUDY
505 NASH ST
ROCKWALL, TX 75087

OCCUPANT
506 NASH ST
ROCKWALL, TX 75087

BLESSING RUSSELL BENNETT
1708 OVID ST
HOUSTON, TX 77007

BROCK-JONES JEFFERY MIKEL AND GINGER
504 NASH ST
ROCKWALL, TX 75087

ALLEGRETTO RICHARD JR AND SARAH ANN
510 PARKS AVE
ROCKWALL, TX 75087

EICH CHRIS AND ELENA
601 PARKS AVE
ROCKWALL, TX 75087

THOMISON JEREMY & JULIE JAMES
507 WILLIAMS ST
ROCKWALL, TX 75087

RIDDELL CONNIE L
509 WILLIAMS ST
ROCKWALL, TX 75087

SPILLER OLIVER R & KAREN E
305 NASH ST
ROCKWALL, TX 75087

SPILLMAN PATRICIA C
402 S NASH ST
ROCKWALL, TX 75087

FRASIER MICHAEL H AND HEATHER C
510 WILLIAMS ST
ROCKWALL, TX 75087

JOHNSON REVOCABLE LIVING TRUST
303 N CLARK ST
ROCKWALL, TX 75087

DAVIS SHANN M
306 N CLARK ST
ROCKWALL, TX 75087

PATRICIA EDWARDS REVOCABLE TRUST
602 WILLIAMS ST
ROCKWALL, TX 75087

MELTON PAUL C & RICHARD L MELTON
904 WILLIAMS ST
ROCKWALL, TX 75087

OCCUPANT
906 WILLIAMS ST
ROCKWALL, TX 75087

KHATER CHARLES & PIERETTE
2368 E. FM 552
ROCKWALL, TX 75087

OCCUPANT
301 NASH ST
ROCKWALL, TX 75087

HENISEY CHUCK
PO BOX 250851
PLANO, TX 75025

OCCUPANT
303 NASH ST
ROCKWALL, TX 75087

CULLINS KYM
210 RAINBOW CIR
ROCKWALL, TX 75032

WILCOXSON TIMOTHY P & CYNTHIA
802 WILLIAMS ST
ROCKWALL, TX 75087

RAGSDALE CHRISTOPHER W
706 WILLIAMS ST
ROCKWALL, TX 75087

RAGSDILL SCOTT A & PAMELA ANN
404 NASH ST
ROCKWALL, TX 75087

LATTIG LAUREN
902 WILLIAMS ST
ROCKWALL, TX 75087

LANCE LOGAN & PAIGE
704 WILLIAMS ST
ROCKWALL, TX 75087

OCCUPANT
304 N CLARK ST
ROCKWALL, TX 75087

BRYANT RANDALL E
811 S MAGNOLIA ST
ROCKPORT, TX 78382

OCCUPANT
702 E INTERURBAN ST
ROCKWALL, TX 75087

SOLID ROCK HOLDINGS LLC
904 CAMPTON CT
ROCKWALL, TX 75032

FUQUA MATTHEW
604 PARKS AVE
ROCKWALL, TX 75087

RUSHING BRIAN AND CHANEL KENTOPP
705 NASH ST
ROCKWALL, TX 75087

OCCUPANT
607 NASH ST
ROCKWALL, TX 75087

KINSEY TARI L AND DONALD H
2 MANOR CT
HEATH, TX 75032

FREEMAN WILLIAM B JR
508 PARKS AVE
ROCKWALL, TX 75087

OCCUPANT
506 PARKS AVE
ROCKWALL, TX 75087

CONAWAY SUE ANN
7123 OCONNELL ST
ROCKWALL, TX 75087

HENRY AMANDA A
702 PARKS AVE
ROCKWALL, TX 75087

OCCUPANT
505 PARKS AVE
ROCKWALL, TX 75087

MICHAEL LEE WANAMAKER AND DESTINY
HAYES WANAMAKER- TRUSTEES
708 AVALON DR
HEATH, TX 75032

STOKES WILLIAM M & REBECCA A
908 WILLIAMS ST
ROCKWALL, TX 75087

YOUNG MOLLIE AND JAY CHANCE
507 PARKS AVE
ROCKWALL, TX 75087

SPILLMAN JAMES T JR
940 WILLIAMS ST
ROCKWALL, TX 75087

ROCKWALL I S D
801 E WASHINGTON
ROCKWALL, TX 75087

OCCUPANT
901 WILLIAMS ST
ROCKWALL, TX 75087

ROCKWALL ASSEMBLY OF GOD C/O DAVID
SPIEGEL
PO BOX 33
ROCKWALL, TX 75087

GALASSI TORI D
606 NASH ST
ROCKWALL, TX 75087

HOWARD DEBORAH K
604 NASH ST
ROCKWALL, TX 75087

SIDDALL ANNA AND JAMES
704 NASH ST
ROCKWALL, TX 75087

TEMPLETON LORRAINE BIEGLER
702 NASH ST
ROCKWALL, TX 75087

OCCUPANT
610 NASH ST
ROCKWALL, TX 75087

RICHARD AND JUDY HARRIS- TRUSTEES
210 GLENN AVENUE
ROCKWALL, TX 75087

OGDEN BRANDON & LIDIA
608 NASH ST
ROCKWALL, TX 75087

THARP JAMES DAVIS AND CHELSEA CARAGON
SCHMIDT
602 NASH ST
ROCKWALL, TX 75087

JANSSEN STEVEN D AND CYNTHIA C
508 NASH ST
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-009: Specific Use Permit (SUP) for Guest Quarters/Detached Garage at 504 Nash Street

Hold a public hearing to discuss and consider a request by Jeff and Ginger Brock-Jones for the approval of a Specific Use Permit (SUP) to allow a Guest Quarters/Detached Garage on a 0.4170-acre parcel of land identified as all of Lot 1 and a portion of Lot 2, Block 2, Leonard and Adams Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 7 (SF-7) District, addressed as 504 Nash Street, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 20, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 20, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-009: Specific Use Permit (SUP) for Guest Quarters/Detached Garage at 504 Nash Street

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-009: Specific Use Permit (SUP) for Guest Quarters/Detached Garage at 504 Nash Street

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Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-009: Specific Use Permit (SUP) for Guest Quarters/Detached Garage at 504 Nash Street

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

Name: Lydia Ogden
Address: 608 Nash St. Rockwall Tx 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

February 10, 2023

Jeff & Ginger Brock-Jones
504 Nash St.
Rockwall, TX 75087

Dear Recipient:

By way of introduction, my name is Jeff Brock-Jones and my wife's name is Ginger. We reside at 504 Nash St. here in Rockwall. We are writing you today in order to explain and provide support for some of the details of our SUP application being presented for approval.

We purchased our home in July 2021. The home was built, best we can tell, back in the 1950's. The current garage is unattached and did not adhere to excellent craftsmanship. The current garage requires replacement. This garage is also the only place in which we can park our vehicles. Our previous home was much larger and provided ample space for guests to come for visits. Our current home is too small to have guests and forces use of either a hotel room or long trip day visits. While replacing the current garage we can remedy both shortfalls in the property by building a new garage with a guest quarter above. These are the two main reasons to raze and rebuild our current garage: 1) Old garage needs replacement and is only place to store vehicles. Currently only one vehicle fits in this two-car garage. (GMC 1500 truck is too long) 2) Space needed to comfortably house guests (mostly family visits).

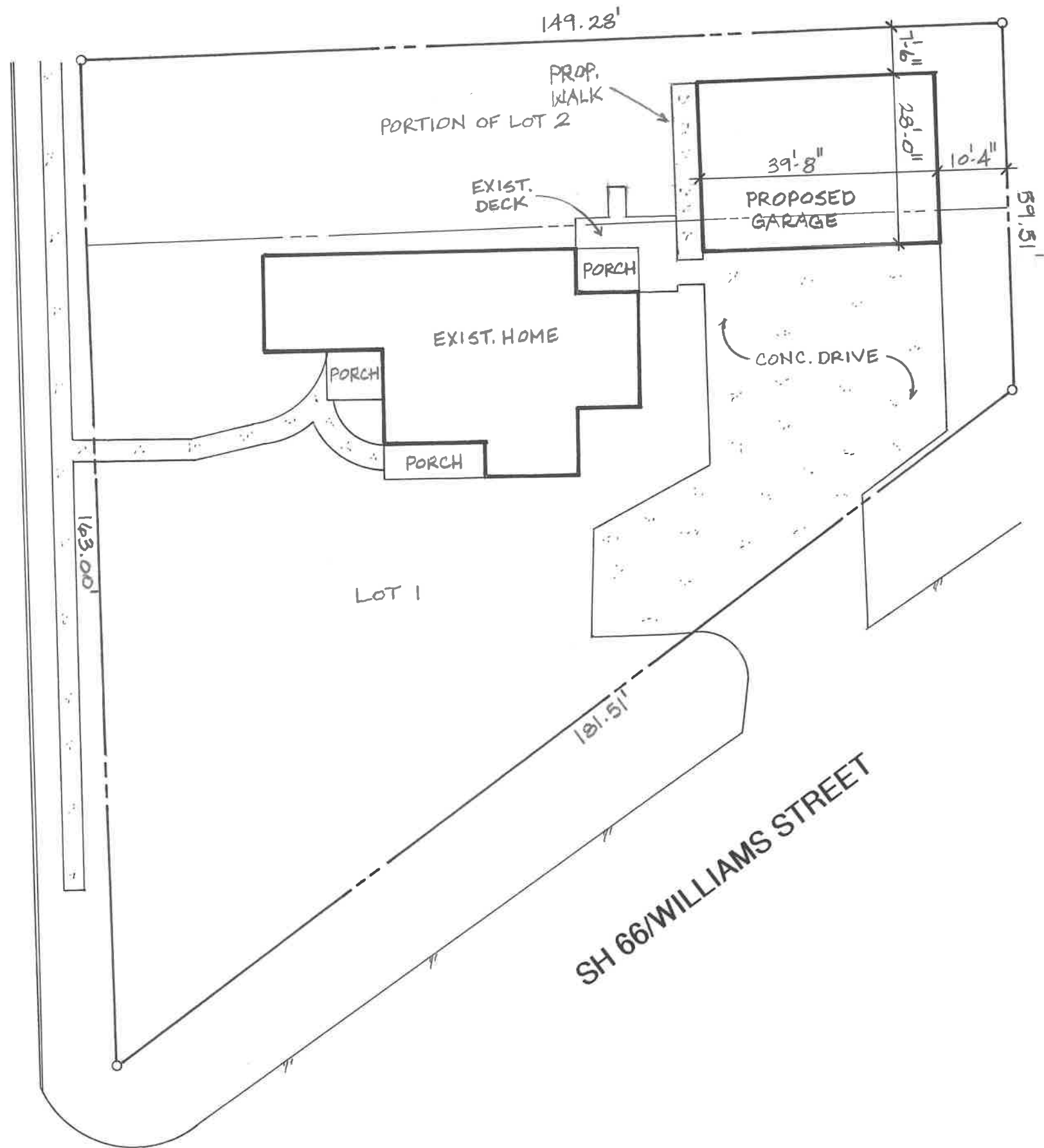
The new garage will maintain the historical feel of the neighborhood/current home and will match the current home aesthetically. Once the garage is built, we will re-finish the outside walls of the current home with the same Hardie-board material/color so that they match completely. Will also attach carriage garage doors consistent with the current garage and many neighbors. Thank you for your consideration.

Sincerely,



Jeff Brock-Jones

504 NASH STREET



PLOT PLAN

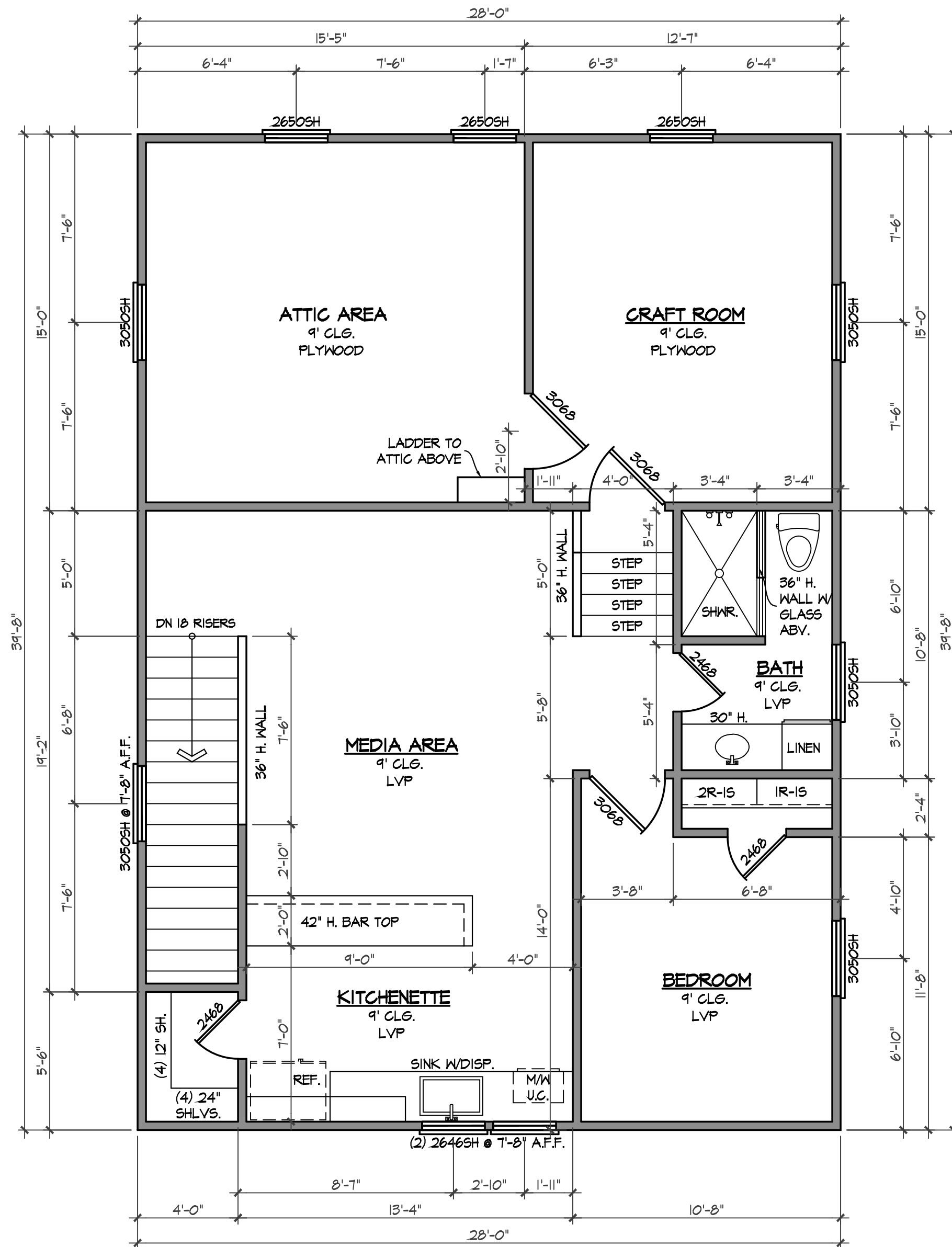
1"=20'-0"

LOT 1&2 - BLK 2

LEONARD AND ADAMS ADDITION

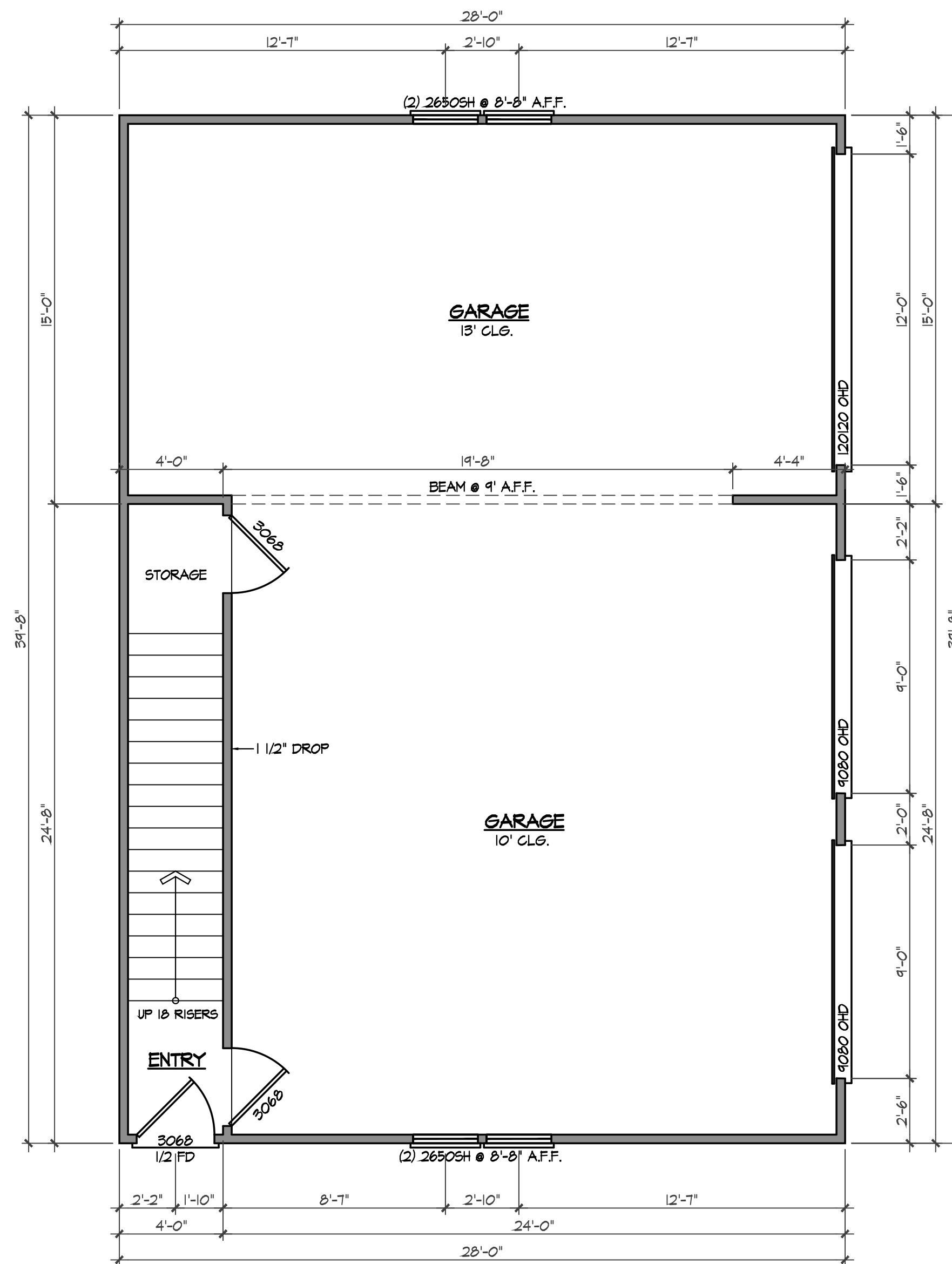
CITY OF ROCKWALL

ROCKWALL COUNTY, TX



SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



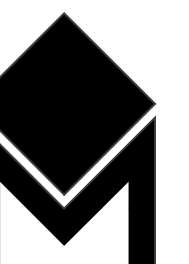
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

AREA CALCULATIONS

FIRST FLOOR =	1,012 S.F.
SECOND FLOOR A/G =	885 S.F.
TOTAL U/R S.F. =	1,897 S.F.

BROCK-JONES ADDITION
504 Nash Street
Rockwall, TX.



MOORE
RESIDENTIAL DESIGN
102 N. Shiloh Rd.
Suite 302
Garland, TX 75042
Ph. (972) 494-1893
Mbl. (214) 533-1009

DRAWN BY:

DATE: 1/25/23 REV.

DRAWING NO: 1897

DRAWING ID: H408

FLOOR PLANS
SCALE: 1/4" = 1'

The general contractor shall examine and verify the accuracy of all dimensions and conditions of these documents, and shall notify Moore Residential Design of any discrepancies and/or omissions prior to the start of construction. Moore Residential Design will be responsible only for the revision/correction of these documents.
These documents are intended for general residential construction purpose only and are not exhaustively detailed or fully responsible to select, verify, resolve, and install all equipment and materials, and to control the quality thereof.
All work performed on this project shall meet or exceed the current edition of the International Building Code and all applicable state and local ordinances, codes, and regulations. Moore Residential Design shall be notified immediately of any discrepancy within these documents.
It is the responsibility of the general contractor to provide any engineering necessary to the stability of the structure(s) of this project. Moore Residential Design does not indicate nor imply any exact structural member(s) herein, and furthermore recommends that these documents be reviewed by a qualified registered professional engineer.

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *GUEST QUARTERS/DETACHED GARAGE* ON A 0.4170-ACRE PARCEL OF LAND IDENTIFIED AS ALL OF LOT 1 AND A PORTION OF LOT 2, BLOCK 2, LEONARD AND ADAMS ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Jeff and Ginger Brock-Jones for the approval of a *Specific Use Permit (SUP)* to allow a *Guest Quarters/Detached Garage* on a 0.4170-acre parcel of land identified as all of Lot 1 and a portion of Lot 2, Block 2, Leonard and Adams Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 7 (SF-7) District, addressed as 504 Nash Street, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Guest Quarters/Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [Ordinance No. 20-02] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [Ordinance No. 20-02] -- as heretofore amended and may be amended in the future -- and

with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Guest Quarters/Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a *Guest Quarters/Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- (3) The *Guest Quarters/Detached Garage* shall not exceed a maximum building footprint of 1,020 SF and a maximum size of 1,900 SF.
- (4) The maximum height of the *Guest Quarters/Detached Garage* shall not exceed a total height of 29-feet as measured to highest point of the pitched roof.
- (5) The *Guest Quarters/Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF APRIL, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 20, 2023

2nd Reading: April 3, 2023

Exhibit 'A'
Location Map and Legal Description

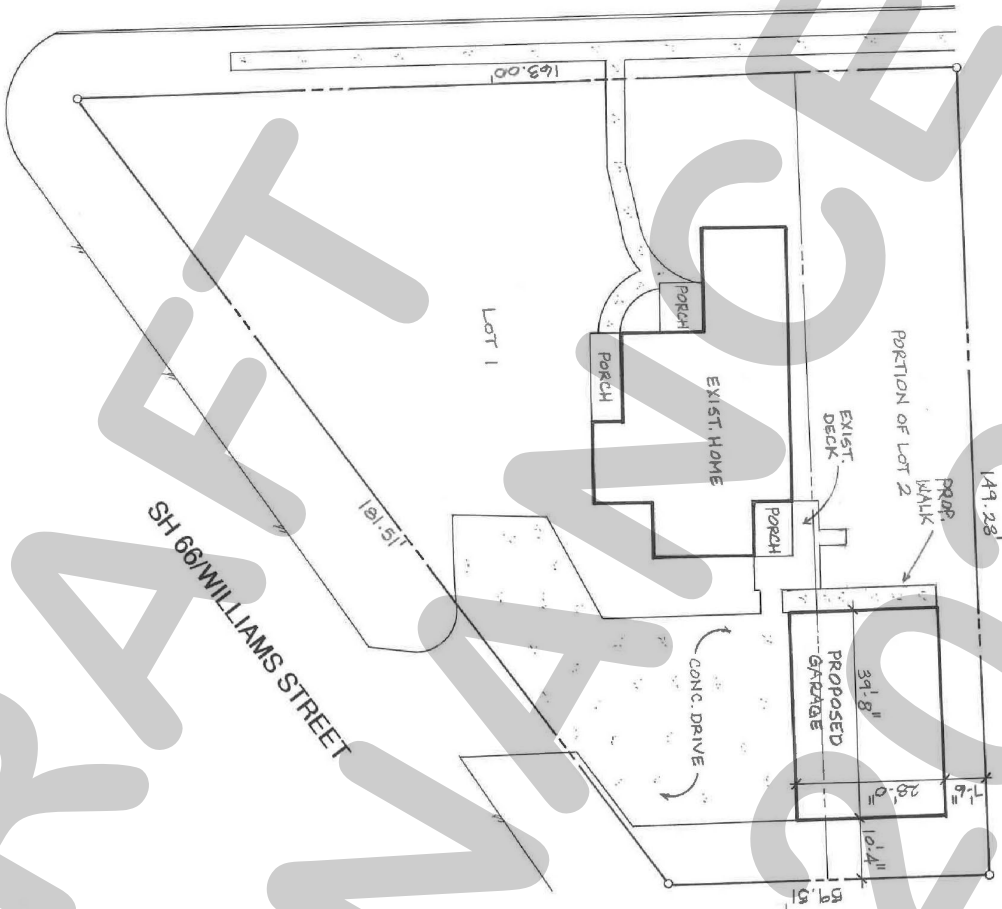
Address: 504 Nash Street

Legal Description: All of Lot 1 and a Portion of Lot 2, Block 2, Leonard and Adams Addition



**Exhibit 'B':
Residential Plot Plan**

504 NASH STREET



PLOT PLAN

LOT 1&2 - BLK 2

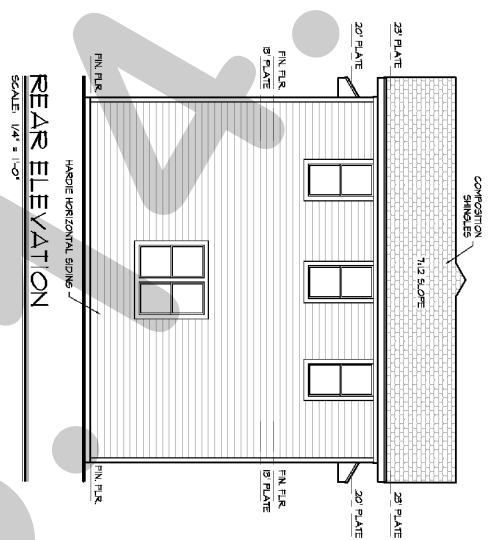
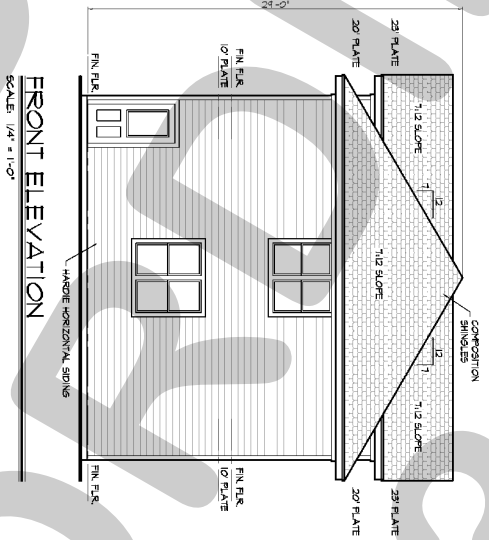
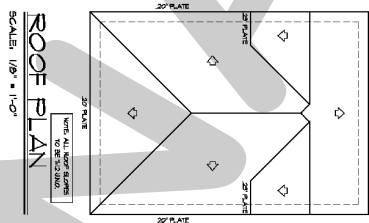
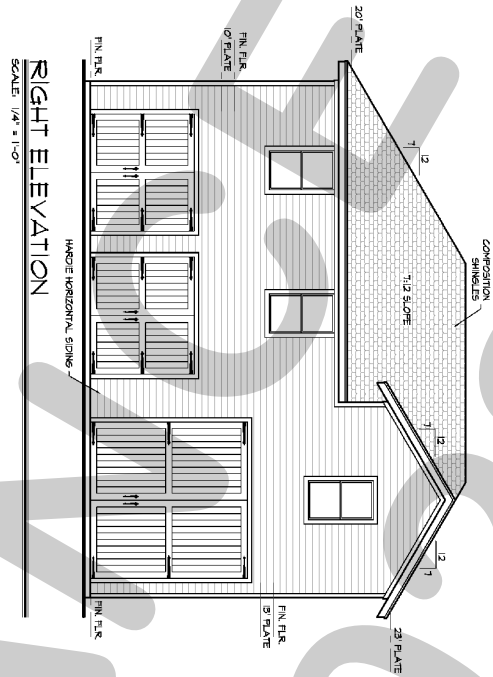
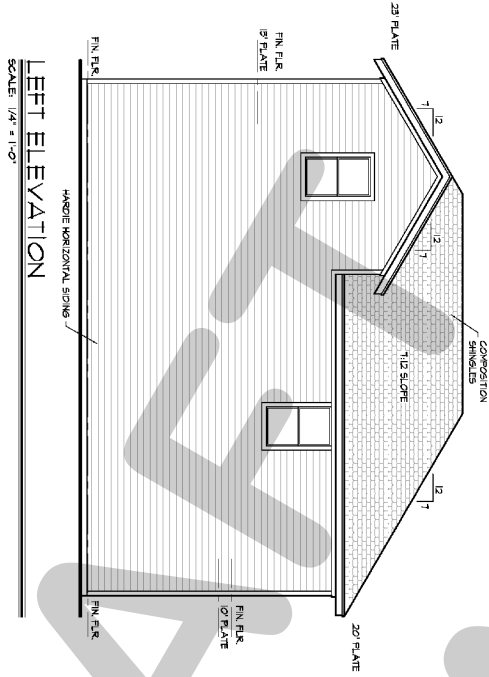
LEONARD AND ADAMS ADDITION

CITY OF ROCKWALL

ROCKWALL COUNTY, TX

1" = 20'-0"

**Exhibit 'C':
Building Elevations**





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 14, 2023
APPLICANT: Duane Piercy of Redeemer Church
CASE NUMBER: Z2023-010; *Zoning Change (AG to LI)*

SUMMARY

Hold a public hearing to discuss and consider a request by Duane Piercy of Redeemer Church for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.17-acre tract of land identified as Tract 2-01 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on March 16, 1998 by *Ordinance No. 98-10 [Case No. A1998-001]*. The subject property has been vacant since annexation.

PURPOSE

On April 14, 2022, the applicant -- *Duane Piercy of Redeemer Church* -- submitted an application requesting to change the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1760 Airport Road. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Airport Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. North of Airport Road is: [1] a 5.68-acre tract of vacant land (*i.e. Tract 21 of the D. Harr Survey, Abstract No. 102*); [2] a one (1) acre tract of land (*i.e. Tract 21-01 of the D. Harr Survey, Abstract No. 102*) with a single-family home situated on it; [3] a 12.00-acre tract of vacant land; and [4] a 43.66-acre tract of land with a single-family home situated on it. All of these properties are zoned Agricultural (AG) District. Beyond this is SH-66, which is identified as a TXDOT4D (*i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the right-of-way for the *Union Pacific Dallas/Garland Northeast Railroad*. Beyond this is a vacant 4.114-acre tract of land (*i.e. which is part of a larger 10.291-acre tract of land and is identified as Tract 2-9, of the D Harr. Survey, Abstract No. 102*). Beyond this is a vacant two (2) acre tract of land (*i.e. Tract 2-5, of the D. Harr Survey, Abstract 102*). Both of these properties are zoned Agricultural (AG) District. Beyond that is an 18.5175-acre vacant tract of land (*i.e. Tract 3-5, of the J Lockhart Survey, Abstract 134*) zoned Light Industrial (LI) District and Commercial (C) District.

East: Directly east of the subject property is a 5.477-acre vacant tract of land (*i.e. Tract 2 of the D. Harr Survey, Abstract No. 102*), zoned Agricultural (AG) District. East of this is a 16.89-acre tract of land (*i.e. Tract 4 of the D.Harr Survey, Abstract No. 102*), which was rezoned to Light Industrial (LI) District in 2021. A site plan was approved for this property in 2021 allowing a *warehouse/distribution center* to be constructed on it.

West: Directly west of the subject property is a 5.784-acre tract of vacant land (i.e. *Tract 2-03 of the D. Harr Survey, Abstract No. 102*), which is zoned Agriculture (AG) District. West of this is a vacant 5.07-acre tract of vacant land (i.e. *Tract 2-06 of the D. Harr Survey, Abstract No. 34*) also zoned Agricultural (AG) District. Beyond this is S. John King Boulevard, which is identified as a *P6D* (i.e. a *principal arterial, six [6] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CONFORMANCE TO THE CITY'S CODES

According to Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(t)he Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses ... [and] is intended for industrial parks and larger, cleaner types of industries." The applicant has not provided a concept plan to staff, but did indicate to the Planning and Zoning Commission on February 28, 2023 that they intend to establish multiple *Flex Office/Warehouse Buildings* on the subject property. According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), this land uses (i.e. *Office/Warehouse*) are permitted *by-right* within the Light Industrial (LI) District. If rezoned, the property would be subject to the density and dimensional requirements for a property in a Light Industrial (LI) District as specified by Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), and which are summarized as follows:

TABLE 1: LIGHT INDUSTRIAL (LI) DISTRICT STANDARDS

<i>Minimum Lot Area</i>	12,500 SF
<i>Minimum Lot Width</i>	100'
<i>Minimum Lot Depth</i>	125'
<i>Minimum Front Yard Setback</i> ⁽¹⁾	25'
<i>Minimum Side Yard Setback</i> ^{(2) & (3)}	15' + ½ Height Over 36'
<i>Minimum Rear Yard Setback</i> ^{(2) & (3)}	10'
<i>Minimum Between Buildings</i> ^{(2) & (3)}	15' + ½ Height Over 36'
<i>Maximum Building Height</i> ⁽⁴⁾	60'
<i>Maximum Building Size</i>	N/A
<i>Maximum Lot Coverage</i>	60%
<i>Minimum Landscaping</i>	15%

General Notes:

- ¹: From future right-of-way as shown on the adopted Master Thoroughfare Plan or as actually exists, whichever is greater.
- ²: Not to exceed 50-feet.
- ³: ½ Height Over 36-feet with a fire rated wall.
- ⁴: Building height may be increased up to 120-feet if approved through a Specific Use Permit (SUP) by the Planning and Zoning Commission and City Council.

If this zoning change is approved and when the subject property is developed, the development will be required to conform to all the requirements of the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, and any other applicable local, state or federal requirements.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located within the Central District and is designated for Technology/Employment Center land uses. According to the Comprehensive Plan, the Central District is "...composed of a wide range of uses that vary from single-family to industrial ... [and] (t)he Central District also incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Railroad* line that bisects the district." The applicant's request to change the zoning of the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, is in conformance with the Technology/Employment Center land use designation and appears to be in conformance with the *District Strategies* for the Central District. In addition, the OURHometown Vision 2040 Comprehensive Plan seeks to "... (p)reserve the City's current residential to non-residential land use ratio (i.e. *80% Residential; 20% Commercial*) in order to maintain a balance mix of land uses for fiscal sustainability ..." [Section 02.01; CH. 1; Page 1-1]. The *Land Use Plan* contained in the Comprehensive Plan was created to guide the City toward the desired 80% residential to 20% non-residential

land use balance. Since the proposed zoning change is in conformance to the Future Land Use Plan, the proposed zoning change does not change the mix of residential to non-residential land uses. With this being said, zoning is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission.

INFRASTRUCTURE

Based on the proposed request, the following infrastructure is required to be constructed to provide adequate public services for any development of the subject property:

- (1) Water Improvements. The development will be required to tie into the existing 12-inch waterline on the north side of Airport Road.
- (2) Sewer Improvements. The development will be required to tie to the existing 12-inch sanitary sewer line located southeast of the subject property on the south side of the railroad, which will require a railroad permit and off-site sewer easements.
- (3) Roadways. Airport Road is a M4U (*i.e. minor collector, four [4] lane, undivided roadway*), which requires a minimum of a 65-foot right-of-way and a 45-foot back-to-back concrete street. In addition, the applicant will need to verify the right-of-way of Airport Road and ensure that the required right-of-way has been dedicated (*i.e. 32.5-feet as measured from the centerline of the roadway*). If additional right-of-way is needed this will be required to be dedicated at the time of final plat.
- (4) Drainage. Detention will be required and sized per the Engineering Department's *Standards of Design and Construction Manual*.

STAFF ANALYSIS

The proposed zoning change is consistent with the Unified Development Code (UDC), and conforms to the OURHometown Vision 2040 Comprehensive Plan.

NOTIFICATIONS

On February 21, 2023, staff mailed 18 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff had not received any responses concerning the applicant's request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request to rezone the subject property from an Agricultural (AG) District to a Light Industrial (LI) District, then staff would propose the following conditions of approval:

- (1) Prior to the acceptance of an application for a site plan, the applicant will need to seek a *7460 Form for a Part 77 Aerospace Study* from the Federal Aviation Administration (FAA) [*and TXDOT Aviation if necessary*];
- (2) All development shall maintain conformance with the *Interim Guidance for Compatible Land Uses in the RPZ*. This means that prior to the acceptance of a site plan, the City will need to coordinate with the FAA Airport District Office, the FAA Regional Office, and the *Airport Planning and Environmental Division (APP-400)* to conduct an alternatives analysis to identify and document the full range of alternatives that could avoid introducing a potential land use issue within the *Runway Protection Zone (RPZ)*;
- (3) In the interest of public safety, a future site plan shall indicate that no structures, playground, parking spaces, or programmed spaces are located in the *Ultimate Object Free Area, Ultimate Object Free Zone, or the Runway Protection Zone (RPZ)* of the Ralph Hall Municipal Airport;

- (4) Any construction resulting from the approval of this Zoning Change shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

Please check the appropriate box below to indicate the type of development request [SELECT ONLY ONE BOX]:

Platting Application Fees:

- Master Plat (\$100.00 + \$15.00 Acre)¹
- Preliminary Plat (\$200.00 + \$15.00 Acre)¹
- Final Plat (\$300.00 + \$20.00 Acre)¹
- Replat (\$300.00 + \$20.00 Acre)¹
- Amending or Minor Plat (\$150.00)
- Plat Reinstatement Request (\$100.00)

Site Plan Application Fees:

- Site Plan (\$250.00 + \$20.00 Acre)¹
- Amended Site Plan/Elevations/Landscaping Plan (\$100.00)

Zoning Application Fees:

- Zoning Change (\$200.00 + \$15.00 Acre)¹
- Specific Use Permit (\$200.00 + \$15.00 Acre)¹
- PD Development Plans (\$200.00 + \$15.00 Acre)¹

Other Application Fees:

- Tree Removal (\$75.00)
- Variance Request (\$100.00)

Notes:

¹: In determining the fee, please use the exact acreage when multiplying by the per acre amount. For requests on less than one acre, round up to one (1) acre.

PROPERTY INFORMATION [PLEASE PRINT]

Address **1760 AIRPORT ROAD**

Subdivision **ABST. 0102, TRACT 2-01**

Lot

Block

General Location **AIRPORT ROAD, 1,100' EAST OF JOHN KING**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

Current Zoning **NONE, AG**

Current Use **UNIMPROVED PASTURE**

Proposed Zoning **LIGHT INDUSTRIAL**

Proposed Use **OFFICE/ WAREHOUSE**

Acreage **6.17**

Lots [Current]

NONE

Lots [Proposed]

SITE PLANS AND PLATS: By checking this box you acknowledge that due to the passage of HB3167 the City no longer has flexibility with regard to its approval process, and failure to address any of staff's comments by the date provided on the Development Calendar will result in the denial of your case.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

Owner **REDEEMER (FORMERLY ROCKWALL PRES)** Applicant **CHERRAAT**

Contact Person **DUANE PIERCEY**

Contact Person

Address **306 E. RUSK ST**

Address

City, State & Zip **ROCKWALL, TX 75087**

City, State & Zip

Phone **214 293 3730**

Phone

E-Mail **DUANE.PIERCEY@GMAIL.COM**

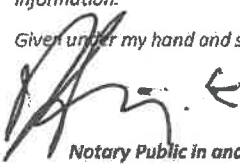
E-Mail

NOTARY VERIFICATION [REQUIRED]

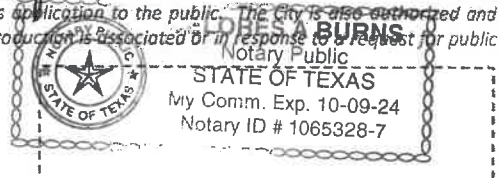
Before me, the undersigned authority, on this day personally appeared Duane Piercey [Owner] the undersigned, who stated the information on this application to be true and certified the following:

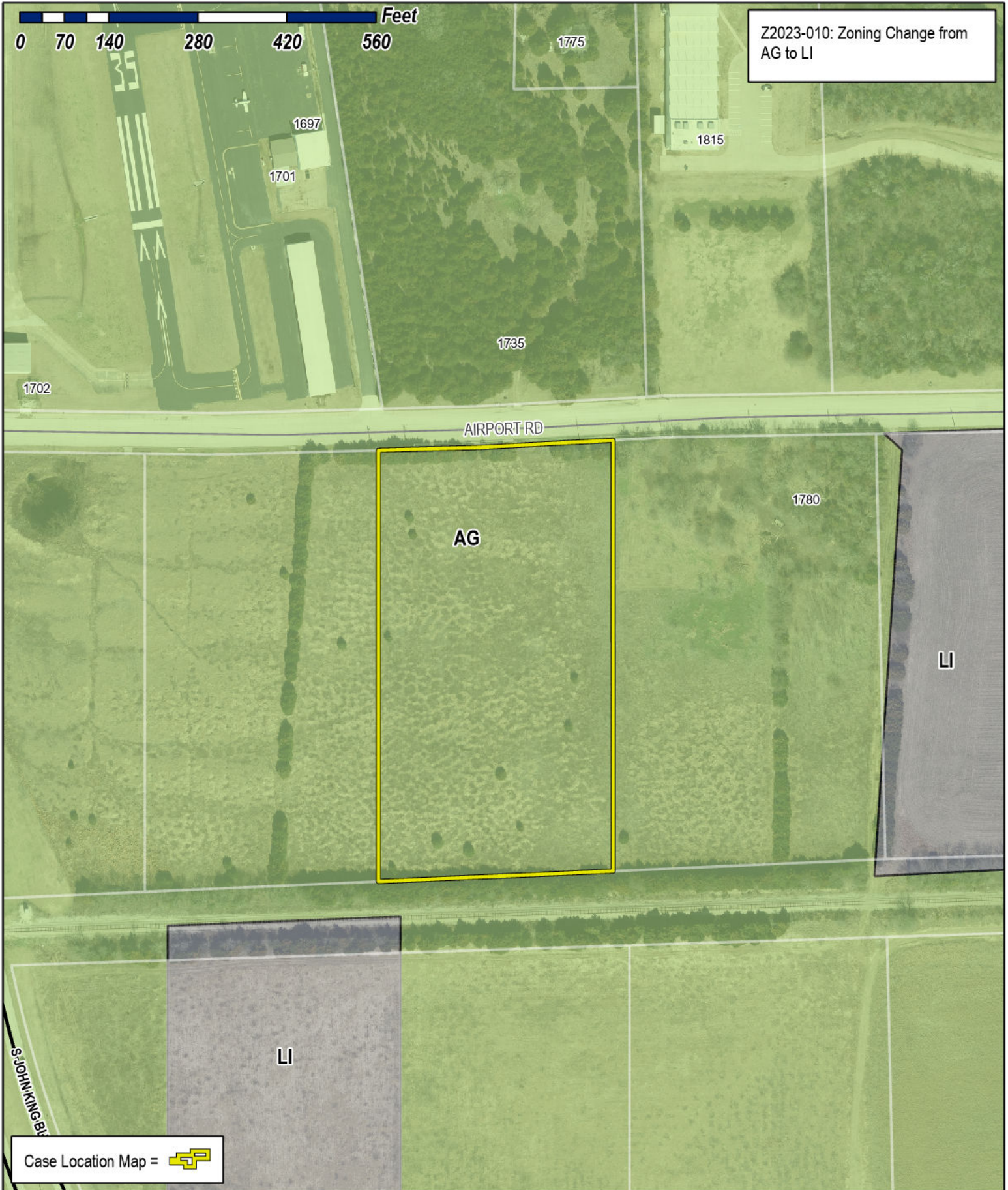
"I hereby certify that I am the owner for the purpose of this application; all information submitted herein is true and correct; and the application fee of \$; to cover the cost of this application, has been paid to the City of Rockwall on this the 10 day of February, 2023. By signing this application, I agree that the City of Rockwall (i.e. "City") is authorized and permitted to provide information contained within this application to the public. The City is also authorized and permitted to reproduce any copyrighted information submitted in conjunction with this application, if such reproduction is associated or in response to a request for public information."

Given under my hand and seal of office on this the 10 day of February, 2023.


Notary Public in and for the State of Texas


My Commission Expires October 9, 2024





City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75032
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

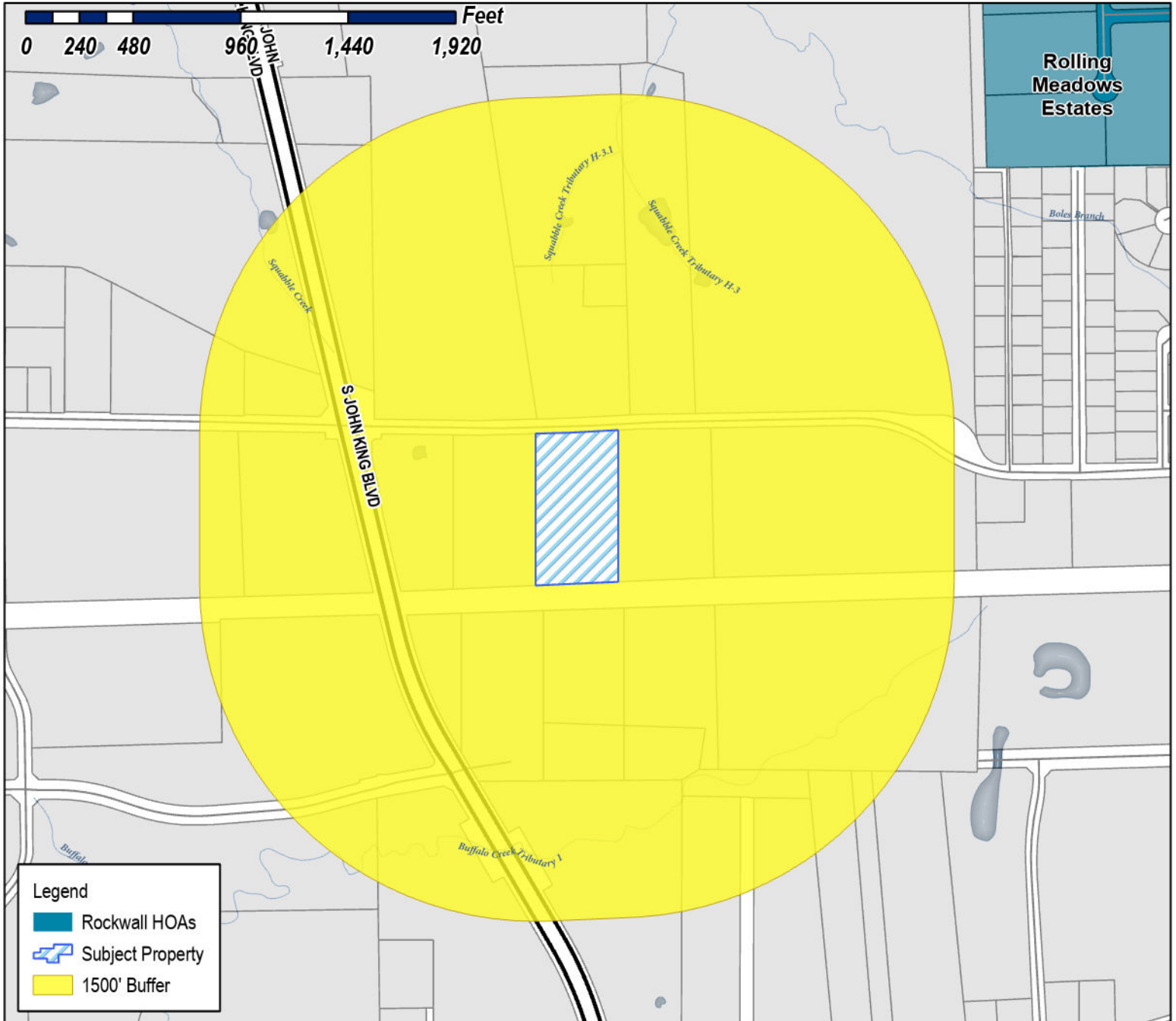




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Case Number: Z2023-010
Case Name: Zoning Change from AG to LI
Case Type: Zoning
Zoning: Light Industrial (LI) District
Case Address: 1760 Airport Road

Date Saved: 2/14/2023
 For Questions on this Case Call (972) 771-7745

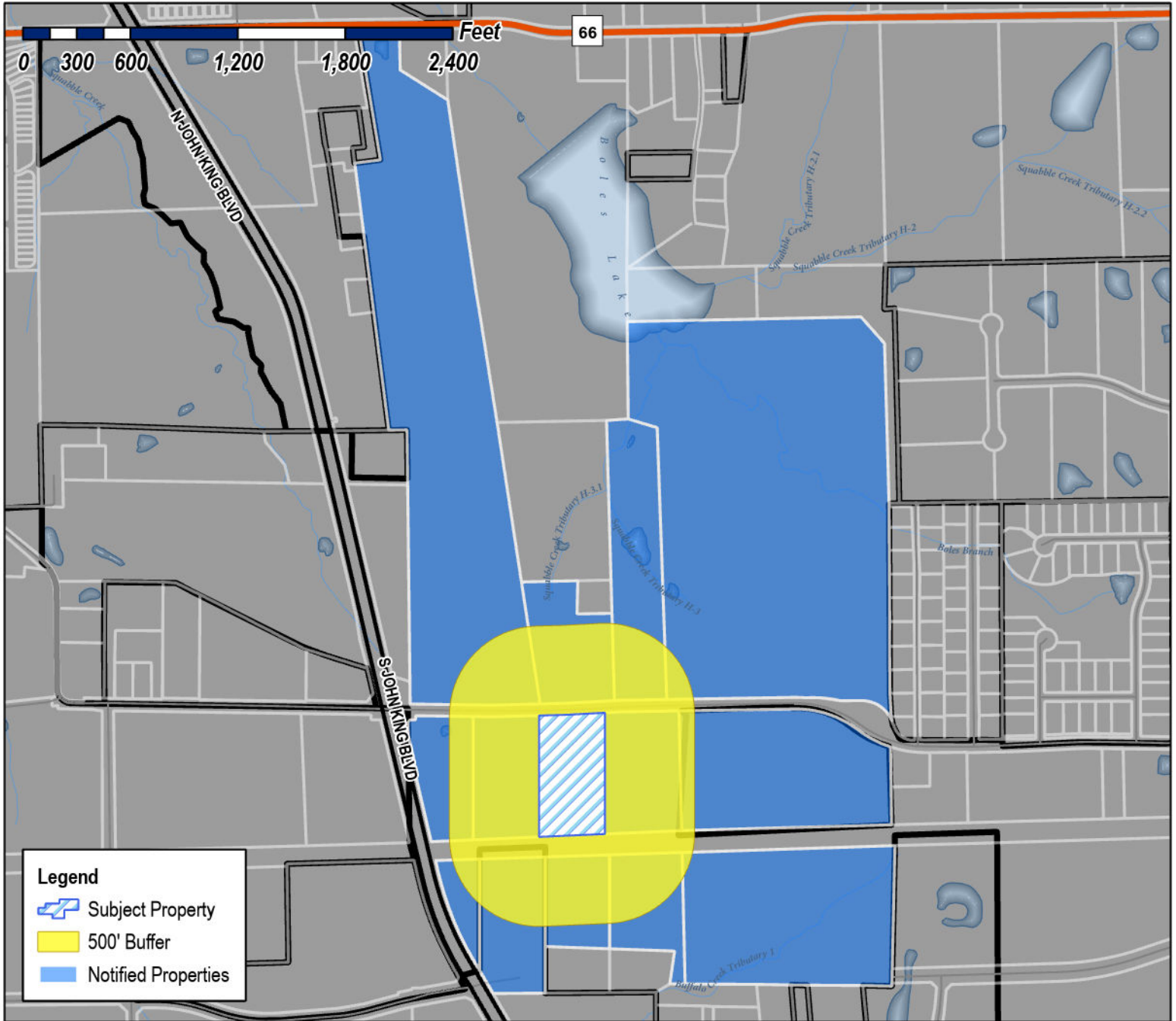




City of Rockwall

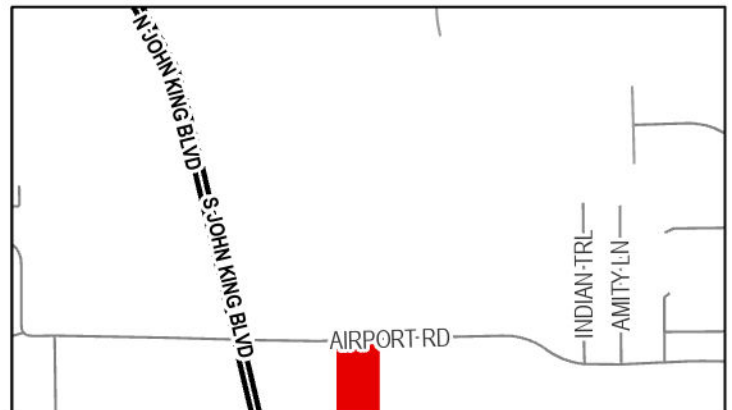
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385 S. Goliad Street
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BACKWARDS L LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

JAMES COLLIER PROPERTIES INC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

JAMES COLLIER PROPERTIES INC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

OCCUPANT
1820 JUSTIN RD
ROCKWALL, TX 75087

JCP JUSTIN LLC
3333 MILLER PARK SOUTH
GARLAND, TX 75042

SARO PARTNERS LLC
1450 T L TOWNSEND
ROCKWALL, TX 75032

OCCUPANT
1815 AIRPORT RD
ROCKWALL, TX 75087

CITY OF ROCKWALL
205 W RUSK ST
ROCKWALL, TX 75087

OCCUPANT
1765 AIRPORT RD
ROCKWALL, TX 75087

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX 75087

CITY OF ROCKWALL
1701 AIRPORT RD
ROCKWALL, TX 75087

OCCUPANT
1780 AIRPORT RD
ROCKWALL, TX 75087

MEALS ON WHEELS SENIOR SERVICES OF
ROCKWALL COUNTY
PO BOX 910
ROCKWALL, TX 75087

ROCKWALL PRESBYTERIAN CHURCH
306 EAST RUSK ST
ROCKWALL, TX 75087

ATHEY JACKIE R
212 JOE WHITE
ROCKWALL, TX 75087

OCCUPANT
1824 AIRPORT RD
ROCKWALL, TX 75087

PLATFORM ROCKWALL LP ATTN JUSTIN T DAY
4131 SPICEWOOD SPRINGS RD SUITE E4
AUSTIN, TX 78759

ADD REAL ESTATE LTD
PO BOX 679
KELLER, TX 76248

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-010: Zoning Change of an Agricultural (AG) District to a Light Industrial (LI) District

Hold a public hearing to discuss and consider a request by Duane Piercy of Redeemer Church for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.17-acre tract of land identified as Tract 2-01 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, situated within the Airport Overlay (AP OV) District, addressed as 1760 Airport Road, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 20, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 20, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-010: Zoning Change of an Agricultural (AG) District to a Light Industrial (LI) District

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 102, City of Rockwall, Rockwall County, Texas, and being all of Tract C-1 as described in a Special Warranty deed from The Estate of Ruby Lee Athey to Jo Ann Athey, dated December 22, 2006 and being recorded in Volume 4875, Page 133 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a 1/2" iron rod found for corner in the north right-of-way line of the Union Pacific Railroad, a 100 foot right-of-way, at the southwest corner of Tract C-1 and at the southeast corner of Tract B-1 as described in a Special Warranty deed to Bobby Frank Athey, as recorded in Volume 4875, Page 117 of the Official Public Records of Rockwall County, Texas;

THENCE N. 00 deg. 13 min. 50 sec. E. along the common line between said tracts, at 686.60 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 729.47 feet to a point in Airport Road;

THENCE S. 89 deg. 04 min. 21 sec. E. along the north line of Tract C-1 and in Airport road, a distance of 371.78 feet to a point for corner at the northeast corner of Tract C-1 and at the northwest corner of Tract D-1 as described in a Special Warranty deed to Jackie Ray Athey, as recorded in Volume 4875, Page 140 of the Official Public Records of Rockwall County, Texas;

THENCE S. 00 deg. 14 min. 28 sec. W. along the common line between said tracts, at 27.78 feet pass a 1/2" iron rod found for witness and continuing for a total distance of 718.11 feet to a 1/2" iron rod found for corner at the southeast corner of said Tract C-1 and in the north right-of-way line of Union Pacific Railroad;

THENCE S. 89 deg. 10 min. 35 sec. W. along said railroad right-of-way, a distance of 371.68 feet to the POINT OF BEGINNING and containing 6.18 acres of land.

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
AGRICULTURAL AND ANIMAL RELATED LAND USES	2.02(A)	2.03(A)	
Agricultural Uses on Unplatted Land	(1)		P
Animal Boarding/Kennel without Outside Pens	(2)	(2)	P
Animal Clinic for Small Animals without Outdoor Pens	(3)	(3)	P
Animal Hospital or Clinic	(4)		P
Animal Shelter or Loafing Shed	(6)		P
Community Garden	(11)	(7)	S
Urban Farm	(12)	(8)	S
RESIDENTIAL AND LODGING LAND USES	2.02(B)	2.03(B)	
Caretakers Quarters/Domestic or Security Unit	(3)		P
Commercial Parking Garage	(6)		A
Limited-Service Hotel	(10)		S
Full-Service Hotel	(11)	(8)	S
Residence Hotel	(12)		S
Motel	(13)		S
INSTITUTIONAL AND COMMUNITY SERVICE LAND USES	2.02(C)	2.03(C)	
Assisted Living Facility	(1)	(1)	S
Blood Plasma Donor Center	(2)		P
Cemetery/Mausoleum	(3)		P
Church/House of Worship	(4)	(2)	S
College, University, or Seminary	(5)		P
Convalescent Care Facility/Nursing Home	(6)		S
Congregate Care Facility/Elderly Housing	(7)	(3)	S
Crematorium	(8)		S
Daycare with Seven (7) or More Children	(9)	(4)	S
Emergency Ground Ambulance Services	(10)		P
Government Facility	(12)		P
Hospice	(14)		S
Hospital	(15)		P
Public Library, Art Gallery or Museum	(16)		P
Mortuary or Funeral Chapel	(17)		P
Local Post Office	(18)		P
Regional Post Office	(19)		P
Prison/Custodial Institution	(20)		P
Public or Private Primary School	(21)	(7)	P
Public or Private Secondary School	(22)	(8)	P
Rescue Mission or Shelter for the Homeless	(24)		P
Social Service Provider (Except Rescue Mission or Homeless Shelter)	(25)		P
OFFICE AND PROFESSIONAL LAND USES	2.02(D)	2.03(D)	
Financial Institution with Drive-Through	(1)	(1)	P

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses	LIGHT INDUSTRIAL (LI) DISTRICT
Financial Institution without Drive-Through	(1)		P
Office Building less than 5,000 SF	(2)		P
Office Building 5,000 SF or Greater	(2)		P
RECREATION, ENTERTAINMENT AND AMUSEMENT LAND USES	2.02(E)	2.03(E)	
Temporary Carnival, Circus, or Amusement Ride	(1)	(1)	P
Indoor Commercial Amusement/Recreation	(2)	(2)	P
Outdoor Commercial Amusement/Recreation	(3)	(3)	S
Public or Private Community or Recreation Club as an Accessory Use	(4)		P
Private Country Club	(5)		P
Golf Driving Range	(6)		P
Temporary Fundraising Events by Non-Profit	(7)	(4)	P
Indoor Gun Club with Skeet or Target Range	(8)	(5)	P
Health Club or Gym	(9)		P
Private Club, Lodge or Fraternal Organization	(10)	(6)	P
Private Sports Arena, Stadium, and/or Track	(11)		P
Public Park or Playground	(12)		P
Sexually Oriented Businesses [Art. XI; CH. 12; Municipal Code]	(13)	(7)	S
Tennis Courts (<i>i.e. Not Accessory to a Public or Private Country Club</i>)	(14)		P
Theater	(15)		P
RETAIL AND PERSONAL SERVICES LAND USES	2.02(F)	2.03(F)	
Portable Beverage Service Facility	(4)	(1)	S
Brew Pub	(5)		P
Business School	(6)		P
Catering Service	(7)		P
Temporary Christmas Tree Sales Lot and/or Similar Uses	(8)	(2)	P
Copy Center	(9)		P
Craft/Micro Brewery, Distillery and/or Winery	(10)	(3)	P
Incidental Display	(11)	(4)	P
Food Trucks/Trailers	(12)	(5)	P
Garden Supply/Plant Nursery	(13)		P
General Personal Service	(14)	(6)	S
General Retail Store	(15)		S
Hair Salon and/or Manicurist	(16)		S
Laundromat with Dropoff/Pickup Services	(17)		P
Self Service Laundromat	(18)		P
Private Museum or Art Gallery	(20)		P
Night Club, Discotheque, or Dance Hall	(21)		S
Pawn Shop	(22)		P
Permanent Cosmetics	(23)	(7)	A

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Temporary Real Estate Sales Office	(25)		P
Rental Store without Outside Storage and/or Display	(26)	(8)	P
Restaurant with less than 2,000 SF with Drive-Through or Drive-In	(27)	(9)	S
Restaurant with less than 2,000 SF without Drive-Through or Drive-In	(28)		P
Restaurant with 2,000 SF or more with Drive-Through or Drive-In	(27)	(10)	P
Restaurant with 2,000 SF or more without Drive-Through or Drive-In	(28)		P
Retail Store with Gasoline Sales that has Two (2) or less Dispensers (<i>i.e. a Maximum of Four [4] Vehicles</i>)	(29)		P
Retail Store with Gasoline Sales that has more than Two (2) Dispensers	(29)		P
Secondhand Dealer	(30)		P
Art, Photography, or Music Studio	(31)		P
Taxidermist Shop	(34)		P
COMMERCIAL AND BUSINESS SERVICES LAND USES	2.02(G)	2.03(G)	
Bail Bond Service	(1)		P
Building and Landscape Material with Outside Storage	(2)	(1)	P
Building and Landscape Material with Limited Outside Storage	(2)	(2)	P
Building Maintenance, Service, and Sales with Outside Storage	(3)	(3)	P
Building Maintenance, Service, and Sales without Outside Storage	(3)		P
Commercial Cleaners	(4)		P
Custom and Craft Work	(5)		P
Electrical, Watch, Clock, Jewelry and/or Similar Repair	(6)		P
Feed Store or Ranch Supply	(7)		S
Furniture Upholstery/Refinishing and Resale	(8)	(4)	P
Gunsmith Repair and Sales	(9)		P
Rental, Sales and Service of Heavy Machinery and Equipment	(10)	(5)	S
Locksmith	(11)		P
Machine Shop	(12)		P
Medical or Scientific Research Lab	(13)		P
Research and Technology or Light Assembly	(15)		P
Trade School	(17)		P
Temporary On-Site Construction Office	(18)	(6)	P
AUTO AND MARINE RELATED LAND USES	2.02(H)	2.03(H)	
Major Auto Repair Garage	(1)	(1)	S
Minor Auto repair garage	(2)	(2)	S
Automobile Rental	(3)		S
New or Used Boat and Trailer Dealership	(4)	(3)	S
Full Service Car Wash and Auto Detail	(5)	(4)	P
Self Service Car Wash	(5)	(4)	P
New and/or Used Indoor Motor Vehicle Dealership/Showroom	(6)	(5)	S
New Motor Vehicle Dealership-for Cars and Light Trucks	(7)	(6)	S

LEGEND:

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P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Used Motor Vehicle Dealership for Cars and Light Trucks}	(7)	(7)	A
Commercial Parking	(8)		P
Non-Commercial Parking Lot	(9)		P
Recreational Vehicle (RV) Sales and Service	(10)		S
Service Station	(11)	(8)	P
Towing and Impound Yard	(12)	(9)	S
Towing Service without Storage	(13)	(10)	P
Truck Rental	(14)		S
Truck Stop with Gasoline Sales and Accessory Services	(15)	(11)	S
INDUSTRIAL AND MANUFACTURING LAND USES	2.02(I)	2.03(I)	
Asphalt or Concrete Batch Plant	(1)	(1)	S
Temporary Asphalt or Concrete Batch Plant	(2)	(2)	P
Bottle Works for Milk or Soft Drinks	(3)		P
Brewery or Distillery	(4)	(3)	P
Carpet and Rug Cleaning	(5)		P
Environmentally Hazardous Materials	(6)	(4)	S
Food Processing with No Animal Slaughtering	(7)		P
Light Assembly and Fabrication	(8)		P
Heavy Manufacturing	(9)		S
Light Manufacturing	(10)		P
Metal Plating or Electroplating	(11)		S
Mining and Extraction of (Sand, Gravel, Oil and/or Other Materials)	(12)	(5)	S
Printing and Publishing	(13)		P
Salvage or Reclamation of Products Indoors	(14)		P
Salvage or Reclamation of Products Outdoors	(15)		S
Sheet Metal Shop	(16)		P
Tool, Dye, Gauge and/or Machine Shop	(17)		P
Welding Repair	(18)		P
Winery	(19)	(6)	P
WHOLESALE, DISTRIBUTION AND STORAGE LAND USES	2.02(J)	2.03(J)	
Cold Storage Plant	(1)		P
Heavy Construction/Trade Yard	(2)		P
Mini-Warehouse	(4)	(1)	P
Outside Storage and/or Outside Display	(5)	(2)	P
Recycling Collection Center	(6)		P
Warehouse/Distribution Center	(7)		P
Wholesale Showroom Facility	(8)		P
UTILITIES, COMMUNICATIONS AND TRANSPORTATION LAND USES	2.02(K)	2.03(K)	
Airport, Heliport or Landing Field	(1)		S
Antenna, as an Accessory	(2)	(1)	P

LEGEND:

	Land Use <i>NOT</i> Permitted
P	Land Use Permitted <i>By-Right</i>
P	Land Use Permitted with Conditions
S	Land Use Permitted Specific Use Permit (SUP)
X	Land Use Prohibited by Overlay District
A	Land Use Permitted as an Accessory Use

PERMITTED LAND USES IN AN LIGHT INDUSTRIAL (LI) DISTRICT

LAND USE SCHEDULE	LAND USE DEFINITION REFERENCE [Reference Article 13, Definitions]	CONDITIONAL USE REFERENCE Reference Article 04, Permissible Uses]	LIGHT INDUSTRIAL (LI) DISTRICT
Commercial Antenna	(3)	(2)	S
Antenna, for an Amateur Radio	(4)	(3)	A
Antenna Dish	(5)	(4)	A
Commercial Freestanding Antenna	(6)	(5)	P
Mounted Commercial Antenna	(7)	(6)	P
Bus Charter Service and Service Facility	(8)		P
Helipad	(9)		S
Utilities (<i>Non-Municipally Owned or Controlled</i>), Including Sanitary Landfill, Water Treatment, and Supply, and Wastewater Treatment	(10)		S
Municipally Owned or Controlled Facilities, Utilities and Uses	(11)		P
Private Streets	(12)		S
Radio Broadcasting	(13)		P
Railroad Yard or Shop	(14)		S
Recording Studio	(15)		P
Satellite Dish	(16)		A
Solar Energy Collector Panels and Systems	(17)	(7)	A
Transit Passenger Facility	(18)		S
Trucking Company	(19)		P
TV Broadcasting and Other Communication Service	(20)		P
Utilities Holding a Franchise from the City of Rockwall	(21)		P
Utility Installation Other than Listed	(22)		S
Utility/Transmission Lines	(23)		S
Wireless Communication Tower	(24)		S

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, AS HERETOFORE AMENDED, SO AS TO APPROVE A CHANGE IN ZONING FROM AN AGRICULTURAL (AG) DISTRICT TO LIGHT INDUSTRIAL (LI) DISTRICT FOR A 6.17-ACRE TRACT OF LAND IDENTIFIED AS TRACT 2-01 OF THE D HARR. SURVEY, ABSTRACT NO. 102, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND BEING MORE SPECIFICALLY DESCRIBED IN EXHIBIT 'A' AND FURTHER DEPICTED IN EXHIBIT 'B' OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request from Duane Piercy of Redeemer Church for the approval of a Zoning Change from an Agricultural (AG) District to Light Industrial (LI) District on a 6.17-acre tract of land identified as Tract 2-01 of the D Harr. Survey, Abstract No. 102, City of Rockwall, Rockwall County, Texas, zoned Agricultural (AG) District, and more fully described in Exhibit 'A' and depicted in Exhibit 'B' of this ordinance, which hereinafter shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally and to all persons interested in and situated in the affected area, and in the vicinity thereof, and the governing body in the exercise of its legislative discretion, has concluded that the Unified Development Code (UDC) [Ordinance No. 20-02] should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS:

SECTION 1. That the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall, Texas, as heretofore amended, be and the same are hereby amended by amending the zoning map of the City of Rockwall so as to change the zoning of the *Subject Property* from Agricultural (AG) District to a Light Industrial (LI) District;

SECTION 2. That the *Subject Property* shall be used only in the manner and for the purposes provided for a Light Industrial (LI) District as stipulated in Section 01.01, *Use of Land and Buildings*, of Article 04, *Permissible Uses* and Section 05.01, *General Industrial District Standards*; Section 05.02, *Light Industrial (LI) District*, of the Unified Development Code (UDC) [Ordinance No. 20-02] of the City of Rockwall as heretofore amended, as amended herein by granting of this zoning change, and as maybe amended in the future;

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in the

zoning described herein;

SECTION 4. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *Two Thousand Dollars (\$2,000.00)* for each offense and each and every day such offense shall continue shall be deemed to constitute a separate offense;

SECTION 5. If any section, paragraph, or provision of this ordinance or the application of that section, paragraph, or provision to any person, firm, corporation or situation is for any reason judged invalid, the adjudication shall not affect any other section, paragraph, or provision of this ordinance or the application of any other section, paragraph or provision to any other person, firm, corporation or situation, nor shall adjudication affect any other section, paragraph, or provision of the Unified Development Code (UDC) of the City of Rockwall, Texas, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions for this ordinance are declared to be severable; and

SECTION 6. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be and the same are hereby repealed, and all other ordinances of the City of Rockwall not in conflict with the provisions of this ordinance shall remain in full force and effect;

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF APRIL, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 20, 2023

2nd Reading: April 3, 2023

Exhibit 'A'
Legal Description

All that certain lot, tract or parcel of land situated in the DAVID HARR SURVEY, ABSTRACT NO. 102, City of Rockwall, Rockwall County, Texas, and being all of Tract C-1 as described in a Special Warranty deed from the Estate of Ruby Lee Athey to Jo Ann Athey, dated December 22, 2006 and being recorded in Volume 4875, Page 133 of the Official Public Records of Rockwall County, Texas, and being more particularly described as follows:

BEGINNING at a ½" iron rod found for corner in the north right-of-way line of the Union Pacific Railroad, a 100-foot right-of-way, at the southwest corner of Tract C-1 and at the southeast corner of Tract B-1 as described in a Special Warranty deed to Bobby Frank Athey, as recorded in Volume 4875, Page 117 of the Official Public Records of Rockwall, County, Texas;

THENCE N. 00 Deg. 13 Min. 50 Sec. E. along the common line between said tracts at 686.60-feet past a ½" iron rod found for witness and continuing for a total distance of 729.47-feet to a point in Airport Road;

THENCE S. 89 Deg. 04 Min. 21 Sec. E. along the north line of Tract C-1 and in Airport Road, a distance of 371.78-feet to a point for corner at the northeast corner of Tract C-1 and at the northwest corner of Tract D-1 as described in a Special Warranty deed to Jackie Ray Athey, as recorded in Volume 4847, Page 140 of the Official Public Records of Rockwall County, Texas;

THENCE S. 00 Deg. 14 Min. 28 Sec. W. along the common line between said tracts, at 27.28-feet pass a ½" iron rod found for witness and continuing for a total distance of 718.11-feet to a ½" iron rod found for corner at the southeast corner of said Tract C-1 and in the north right-of-way line of the Union Pacific Railroad;

THENCE S. 89 Deg. 10 Min. 35 Sec. W. along said railroad right-of-way a distance of 371.68-feet to the **POINT OF BEGINNING** and containing 6.18-acres of land.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: March 14, 2023

APPLICANT: Javier Silva; *JMS Custom Homes, LLC*

CASE NUMBER: Z2023-011; *Specific Use Permit (SUP) for a Residential Infill in an Established Subdivision for 104 Glenn Avenue*

SUMMARY

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC on behalf of Ruben Fragoso of RSR Capital LLC for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.24-acre parcel of land identified as Lot 5, Block 1, L & W Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 104 Glenn Avenue, and take any action necessary.

BACKGROUND

Based on the City's annexation ordinances, the subject property was annexed prior to June 20, 1959, and based on the 1934 Sanborn Maps the subject property was annexed after August 25, 1934. According to the to the City's *Historic Zoning Maps*, the subject property was zoned Single-Family 2 (SF-2) District as of January 3, 1972. Between January 3, 1972 and May 16, 1983, this zoning designation was changed to a Single-Family 10 (SF-10) District. The subject property has remained vacant since annexation.

PURPOSE

The applicant -- *Javier Silva of JMS Custom Homes* -- is requesting the approval of a *Specific Use Permit (SUP)* for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 104 Glenn Avenue. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is a 1.13-acre vacant parcel of land (*i.e. Lot 1, Block B, Jack Canup Addition*), zoned Planned Development District 62 (PD-62) for General Retail (GR) District land uses. North of this is W. Bourne Street, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the rest of the L & W Addition, which was established in 1949, consists of 13 residential lots, and is zoned Single-Family 10 (SF-10) District. Beyond this is a 0.651-acre vacant parcel of land (*i.e. Lot 3, Block A, Lee Rhoades Subdivision*) zoned Planned Development 53 (PD-53) for Residential Office (RO) District land uses. Beyond that is Summit Ridge Drive which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a 0.2664-acre parcel of land (*i.e. Lot 6, Block 1, L & W Addition*), zoned Single-Family 10 (SF-10) District, and which is developed with a single-family home that is addressed as 102 Glenn Avenue. Beyond this is S. Goliad Street, which is identified as a *P6D (i.e. a principal arterial, six [6] lane, divided roadway)* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is the rest of the L & W Addition, which was established in 1949, consists of 13 residential lots, and is zoned Single-Family 10 (SF-10) District. Beyond this is S. Alamo Road, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An *established subdivision* is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” The subject property is part of the L & W Addition, which has been in existence since 1949, consists of 13 residential lots (*one [1] of which is vacant*), and is 92.31% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being zoned Single-Family 10 (SF-10) District, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Glenn Avenue compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Glenn Avenue	Proposed Housing
Building Height	One (1) & Two (2) Story.	One (1) Story
Building Orientation	Most of the homes are oriented towards their front property line.	The front elevation of the home will face onto Glenn Avenue
Year Built	1983	N/A
Building SF on Property	812 SF – 3,216 SF	2,266 SF
Building Architecture	Traditional Horizontal Lap-Siding Suburban Residential	Comparable Architecture to the Existing Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	20-Feet
Side	The side yard setbacks appear to conform to the required six (6) foot side yard setback.	6-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	~37-Feet
Building Materials	Horizontal Wood Lap-Siding, Stone, Stucco	Hardi-Board Siding
Paint and Color	Blue, Red, Tan, Brown, Grey	Brown, White
Roofs	Composite Shingles	Composite Shingle
Driveways	Driveways are all in the front with the orientations of existing garages being <i>flat front entry</i> .	The garage is proposed to be situated as a ' <i>J</i> ' or <i>tradition swing entry</i> .

The proposed single-family home meets all of the density and dimensional requirements for a property situated within a Single-Family 10 (SF-10) District as stipulated by the Unified Development Code (UDC). For the purpose of comparing the proposed home to the existing single-family housing located adjacent to or in the vicinity of the *subject property*, staff has provided photos of the properties along Glenn Avenue, and the proposed building elevations in the attached packet.

NOTIFICATIONS

On February 21, 2023, staff mailed 69 notices to property owners and occupants within 500-feet of the subject property. Staff also sent a notice to the Highridge Estates and Stoneridge Meadows Homeowner's Associations (HOAs), which are the only HOAs or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) response from a property owner indicating they were in favor of this request and one (1) response from a property owner in opposition of the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) to construct a single-family home as a *Residential Infill within an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS

104 Glenn Ave

SUBDIVISION

Lawhorn & Williams Addition

LOT

5

BLOCK

1

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

Residential

CURRENT USE

Residential

PROPOSED ZONING

New Construction

PROPOSED USE

Residential

ACREAGE

.24

LOTS [CURRENT]

vacant

LOTS [PROPOSED]

New Construction

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER

RSR Capital LLC

APPLICANT

JMS Custom Homes LLC

CONTACT PERSON

Ruben Fragoso

CONTACT PERSON

Javier Silva

ADDRESS

1321 Crescent Cove Dr.

ADDRESS

58 Windsor Dr.

CITY, STATE & ZIP

Rockwall, TX 75087

CITY, STATE & ZIP

Rockwall, TX 75082

PHONE

214-471-2302

PHONE

972-814-9462

E-MAIL

ruben.fragoso@gmail.com

E-MAIL

support@jmscustomhomes.net

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED RSR Capital LLC [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 219.30 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15th DAY OF February, 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

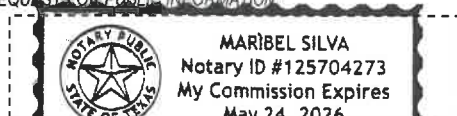
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF February, 2023

OWNER'S SIGNATURE

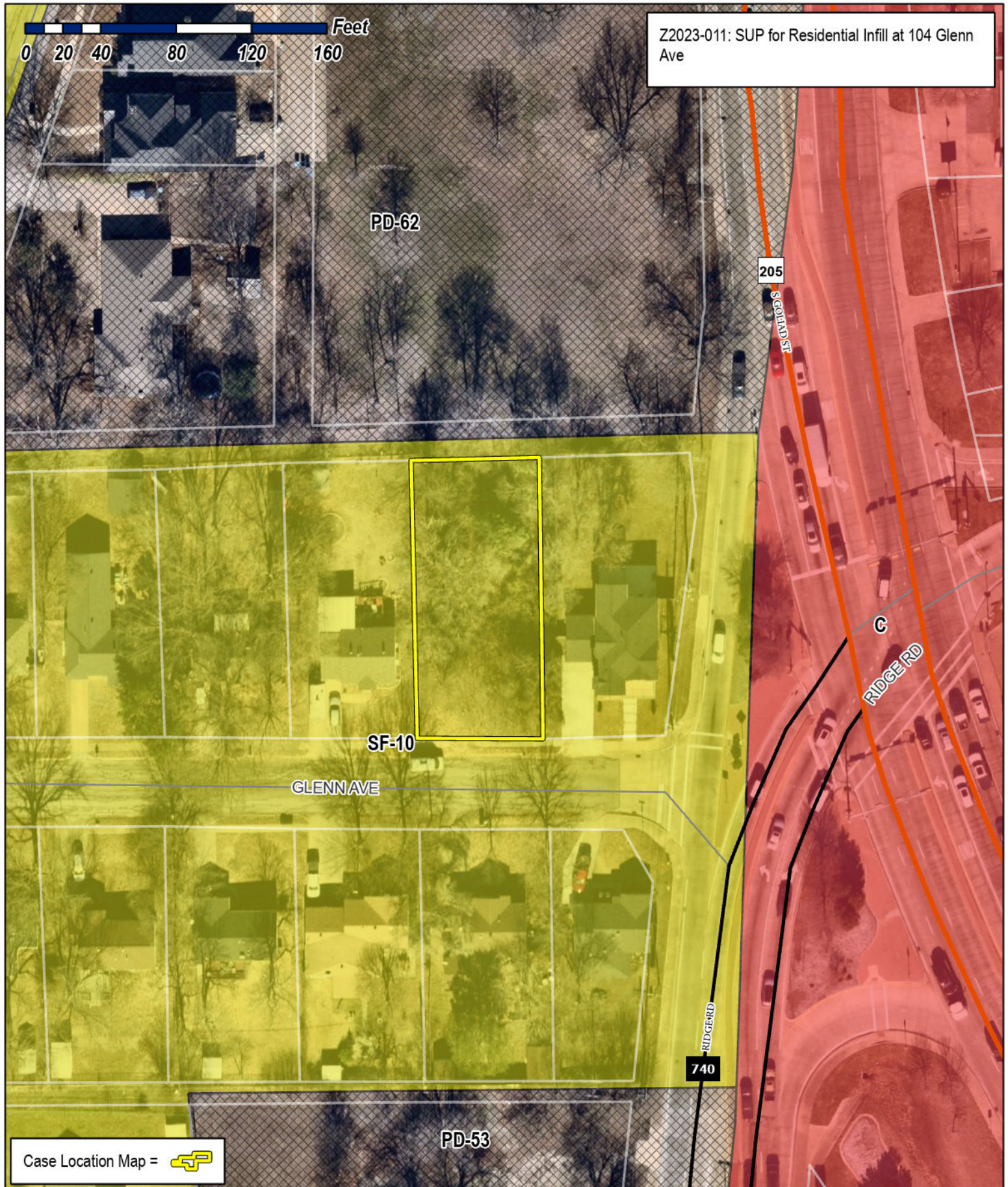
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

[Signature]



MY COMMISSION EXPIRES May 24, 2026



Z2023-011: SUP for Residential Infill at 104 Glenn Ave

0 20 40 80 120 160 Feet

PD-62

205

S GOLIAD ST

C

RIDGE RD

SF-10

GLENN AVE

740

RIDGE RD

PD-53

Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

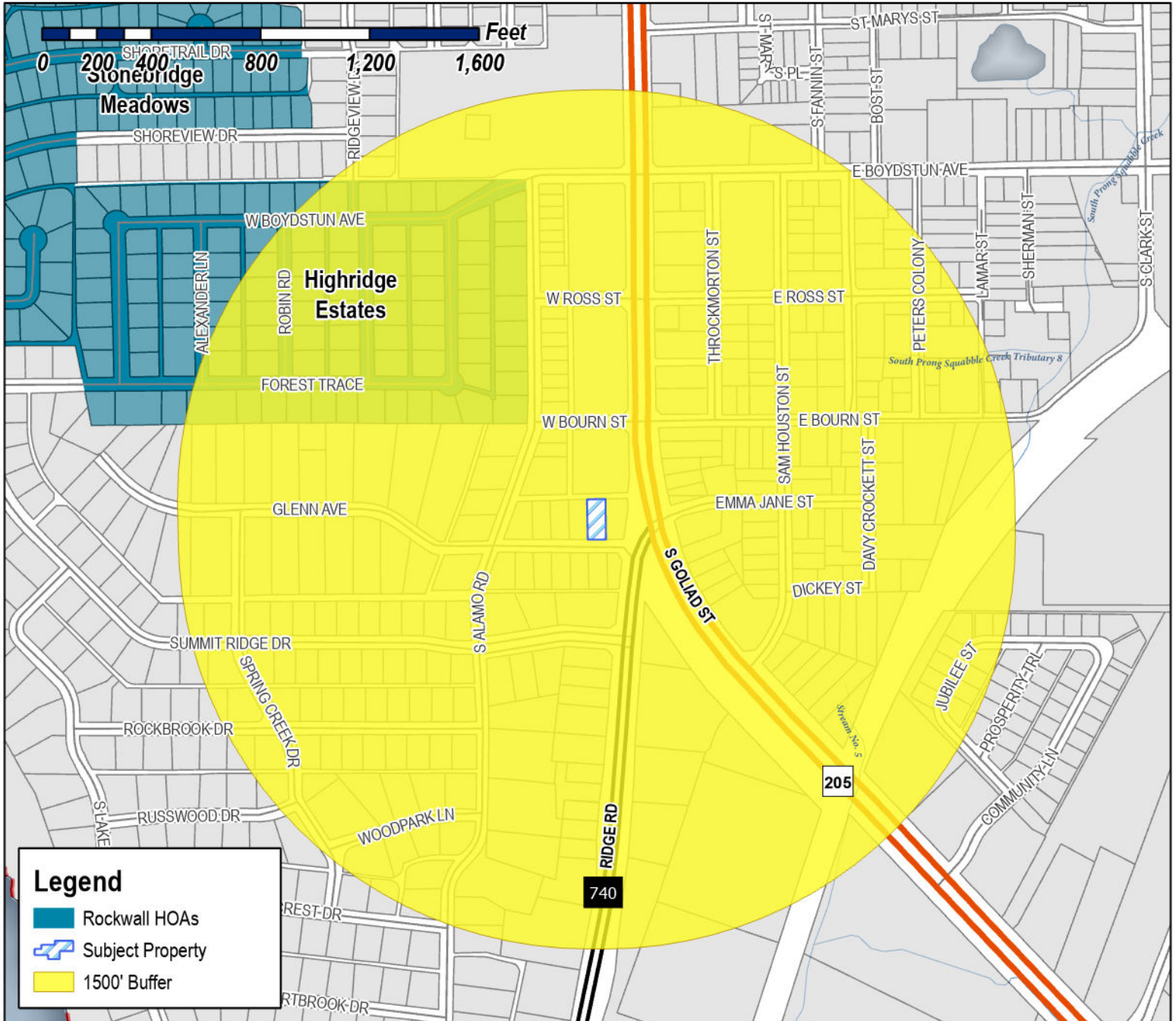




City of Rockwall

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Case Number: Z2023-011
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Single-Family 10 (SF-10) District
Case Address: 104 Glenn Ave

Date Saved: 2/16/2023
 For Questions on this Case Call (972) 771-7745



From: [Lee, Henry](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-011]
Date: Friday, February 17, 2023 4:37:05 PM
Attachments: [HOA Map \(02.23.2023\).pdf](#)
[Public Notice \(02.17.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on February 24, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, March 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 20, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:
<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-011: SUP for Residential Infill at 104 Glenn Avenue

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC on behalf of Ruben Fragoso of RSR Capital LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.24-acre parcel of land identified as Lot 5, Block 1, L & W Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 104 Glenn Avenue, and take any action necessary.

Thank you,



Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087

BRISTOW JAMES & CHARLOTTE
908 S ALAMO
ROCKWALL, TX 75087

OCCUPANT
1004 S ALAMO
ROCKWALL, TX 75087

TREVINO EDWARD W & MILLIE A
4349 S PENINSULA DR
PONCE INLET, FL 32127

CONFIDENTIAL
113 GLENN AVE
ROCKWALL, TX 75087

OCCUPANT
104 GLENN AVE
ROCKWALL, TX 75087

RUPPERT WILLIAM ET UX
9531 RIVERTON ROAD
DALLAS, TX 75218

RIVERA JAIME & MARIA
204 E BOURN
ROCKWALL, TX 75087

STATE OF TEXAS
907 S GOLIAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

COMPTON EARL D AND BETH C ROETHER
903 S ALAMO
ROCKWALL, TX 75087

BRUNNER WILLIAM E & MARGIE L
895 S ALAMO RD
ROCKWALL, TX 75087

THOMPSON JAMES LARRY AND SUSAN PRICE
901 S ALAMO RD
ROCKWALL, TX 75087

WILLIAMS KATHY S
112 GLENN AVE
ROCKWALL, TX 75087

HOOVER JERRY H
110 GLENN AVE
ROCKWALL, TX 75087

OCCUPANT
108 GLENN AVE
ROCKWALL, TX 75087

RICKERSON CHARLES AND VIRGINIA
1728 RIDGE RD
ROCKWALL, TX 75087

OCCUPANT
106 GLENN AVE
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

OCCUPANT
109 GLENN AVE
ROCKWALL, TX 75087

CG HOLDINGS LLC
4 SUNSET TR
HEATH, TX 75032

OCCUPANT
901 S GOLIAD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

OCCUPANT
903 S GOLIAD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

NEWMAN JOANNA N
111 GLENN AVE
ROCKWALL, TX 75087

OCCUPANT
902 S ALAMO
ROCKWALL, TX 75087

ANDREWS VIRGINIA
PO BOX 254
REPUBLIC, MO 65738

GATES TED AND SARAH
904 S ALAMO
ROCKWALL, TX 75087

OCCUPANT
809 S GOLIAD
ROCKWALL, TX 75087

LIVAY LLC
1009 HOT SPRINGS DR
ALLEN, TX 75013

OCCUPANT
811 S GOLIAD
ROCKWALL, TX 75087

EDWARDS JASON
10 DANCING WATERS
ROCKWALL, TX 75032

OCCUPANT
906 S ALAMO
ROCKWALL, TX 75087

ALEMAN DANIEL G & ELLA S
1409 S ALAMO RD
ROCKWALL, TX 75087

KELLY RYAN AND LACEY WALLACE
808 S ALAMO DR
ROCKWALL, TX 75087

BRANNON CHRISTOPHER AND MELANIE
810 S ALAMO DR
ROCKWALL, TX 75087

PFENNING BARBARA J TRUST
107 GLENN AVE
ROCKWALL, TX 75087

BARBARA J PFENNING TRUSTEE
210 WILLOWCREEK RD
CHICKASHA, OK 73018

FEAZELL DEANNE
105 GLENN AVE
ROCKWALL, TX 75087

HOWARD DUSTIN AND JAMES R HOWARD
103 GLENN AVE
ROCKWALL, TX 75087

GIBSON CHARLES D AND LINDSAY K
201 FOREST TRACE
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
1011 S GOLIAD ST
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

OCCUPANT
1009 S GOLIAD
ROCKWALL, TX 75087

EFENEY WILLIAM M
1406 S LAKESHORE DR
ROCKWALL, TX 75087

BIRE NEGASSI M
111 SUMMIT RIDGE DR
ROCKWALL, TX 75087

OCCUPANT
905 S GOLIAD
ROCKWALL, TX 75087

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

BATRES MARIA DELL REFUGIO
202 E BOURN AVE
ROCKWALL, TX 75087

PINEAS ERIK & WENDI
202 SUMMIT RIDGE DR
ROCKWALL, TX 75087

SHIPMAN EARL RAPHE & DELAMIE
202 GLENN AVE
ROCKWALL, TX 75087

OCCUPANT
1007 RIDGE RD
ROCKWALL, TX 75087

QCSI FIVE LLC C/O IEQ MANAGEMENT INC
300 DELAWAARE AVE SUITE 210
WILMINGTON, DE 19801

OCCUPANT
1006 RIDGE RD
ROCKWALL, TX 75087

1007 RIDGE ROAD LLC
5800 E CAMPUS CIRCLE SUITE 114A
IRVING, TX 75063

OCCUPANT
1008 RIDGE RD
ROCKWALL, TX 75087

CORRIGANCOWAN LLC
PO BOX 2256
ROCKWALL, TX 75087

OCCUPANT
1101 RIDGE RD
ROCKWALL, TX 75087

RIDGE ROAD PARTNERS LP
106 EAST RUSK STREET SUITE 200
ROCKWALL, TX 75087

OCCUPANT
101 GLENN AVE
ROCKWALL, TX 75087

GEHRING CAROLYN S
1745 LAKE BREEZE DR
ROCKWALL, TX 75087

CANGIANO COSIMO JEFFREY
102 GLENN AVE
ROCKWALL, TX 75087

OCCUPANT
906 S GOLIAD @ BOURN
ROCKWALL, TX 75087

ADLOR ENTERPRISES LLC
1208 S LAKESHORE DR
ROCKWALL, TX 75087

VALENCIA MONICA L AND ALFREDO
906 SAM HOUSTON
ROCKWALL, TX 75087

MALAVE BRENDA L
1006 SAM HOUSTON
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS GST TRUST DATED
MAY 16TH, 2017
1013 S GOLIAD
ROCKWALL, TX 75087

MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

OCCUPANT
1003 S GOLIAD
ROCKWALL, TX 75087

WALKER TOM H & SUE ANN
902 LAKE MEADOWS DR
ROCKWALL, TX 75087

OCCUPANT
1101 S GOLIAD
ROCKWALL, TX 75087

ERVIN PROPERTIES LLC
1155 W WALL STREET SUITE 101
GRAPEVINE, TX 76051

ERVIN PROPERTIES LLC
1155 W WALL STREET SUITE 101
GRAPEVINE, TX 76051

OCCUPANT
200 SUMMIT RIDGE DR
ROCKWALL, TX 75087

TINA TEMUNOVIC COX AND CVIJETA
TEMUNOVIC TRUSTEES
3021 RIDGE RD SUITE A57
ROCKWALL, TX 75032

WILLIS VICTOR & PHUONG
1101 S ALAMO
ROCKWALL, TX 75087

OCCUPANT
1002 RIDGE RD
ROCKWALL, TX 75087

RB CAPITAL LTD
2305 COUNTY RD 3210
MT. PLEASANT, TX 75455

OCCUPANT
109 SUMMIT RIDGE DR
ROCKWALL, TX 75087

WILLIAM THOMAS AND JUDY M BENNETT
TRUSTEES
754 HUNTERS GLN
ROCKWALL, TX 75032

MICHAEL WAYNE ROGERS- TRUSTEE
1404 RIDGE ROAD
ROCKWALL, TX 75087

OCCUPANT
802 S GOLIAD
ROCKWALL, TX 75087

FIRST BAPTIST CHURCH OF ROCKWALL
610 S GOLIAD ST
ROCKWALL, TX 75087

OCCUPANT
208 EMMA JANE ST
ROCKWALL, TX 75087

LIU HOWARD HEYUN
4577 JAGUAR DR
PLANO, TX 75024

MOORE TIMOTHY H & TRACEY PARK
313 STONEBRIDGE DR
ROCKWALL, TX 75087

RAMSEY JUDY LYNN
815 S ALAMO RD
ROCKWALL, TX 75087

OCCUPANT
813 S ALAMO RD
ROCKWALL, TX 75087

SCROGGS CHARLES E AND MARLA D
1748 BISON MEADOW LANE
HEATH, TX 75032

SHIELDS MIKE AND DEBBIE
811 S ALAMO RD
ROCKWALL, TX 75087

OCCUPANT
809 ALAMO RD
ROCKWALL, TX 75087

LAZY DALE PARTNERS LP
202 N SAN JACINTO ST
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-011: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 104 Glenn Avenue

Hold a public hearing to discuss and consider a request by Javier Silva of JMS Custom Homes, LLC on behalf of Ruben Fragoso of RSR Capital LLC for the approval of a Specific Use Permit (SUP) for Residential Infill in an Established Subdivision on a 0.24-acre parcel of land identified as Lot 5, Block 1, L & W Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 104 Glenn Avenue, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 20, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Bethany Ross
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 20, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

--- PLEASE RETURN THE BELOW FORM ---

Case No. Z2023-011: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 104 Glenn Avenue

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Four horizontal grey bars for providing reasons for support or opposition.

Name:
Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Ross, Bethany

From: Dee Fezell <[REDACTED]>
Sent: Monday, February 27, 2023 9:37 AM
To: Planning
Subject: Z2023-011 for 104 Glenn Ave

Good morning I am writing to protest this development. In the last few years there has been entirely too many of these things trying to destroy our neighborhood. I am at 105 Glenn Ave, and in recent years they have put that 2 story monstrosity on the corner, that does not belong in this quiet neighborhood of young families and elderly people. It would not bother me if the intent was to put a house that belonged there and helped the neighborhood stay homey. I am sick and tired of people trying to destroy old town Rockwall that people used to want to live in and raise families. If JMS Custom Homes wants to build houses go find places where they belong! Not on Glenn Ave!!!! I am pretty sure you will get as much push back as I am giving also. Please leave this neighborhood alone! Thank you.

*Thank
you*

Dee Fezell
Lobby Services



This e-mail message (and attachments) may contain confidential HomeBank Texas information. If you are not the intended recipient, you cannot use, distribute or copy the message or attachments. In such a case, please notify the sender by return e-mail immediately and erase all copies of the message and attachments. Opinions, conclusions and other information in this message and attachments that do not relate to official business are neither given nor endorsed by HomeBank Texas. In order to help prevent identity theft and fraud, HomeBank Texas will never request you to provide personal or financial information via unsecured e-mail. Please report to us any suspicious e-mails you receive claiming to be HomeBank Texas and requesting personal or financial information.

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Case No. Z2023-011: Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 104 Glenn Avenue

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

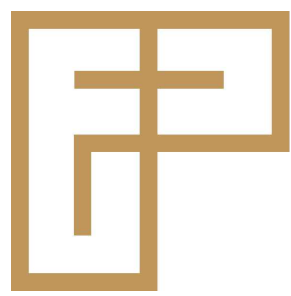
I am opposed to the request for the reasons listed below.

[Redacted comment area]

Name: Dm. Thomas Bennett
Address: 109 SUMMIT RIDGE ROCKWALL, TX

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE



NEW
RESIDENCE
JMS CUSTOM
HOMES

104 GLENN
AVENUE
ROCKWALL, TX
75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
02/12/23	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV NO.
02/28/23	REVISIONS	

ISSUED FOR:

- PRELIMINARY -
- BIDDING / PERMIT
- REVISION
- FOR CONSTRUCTION



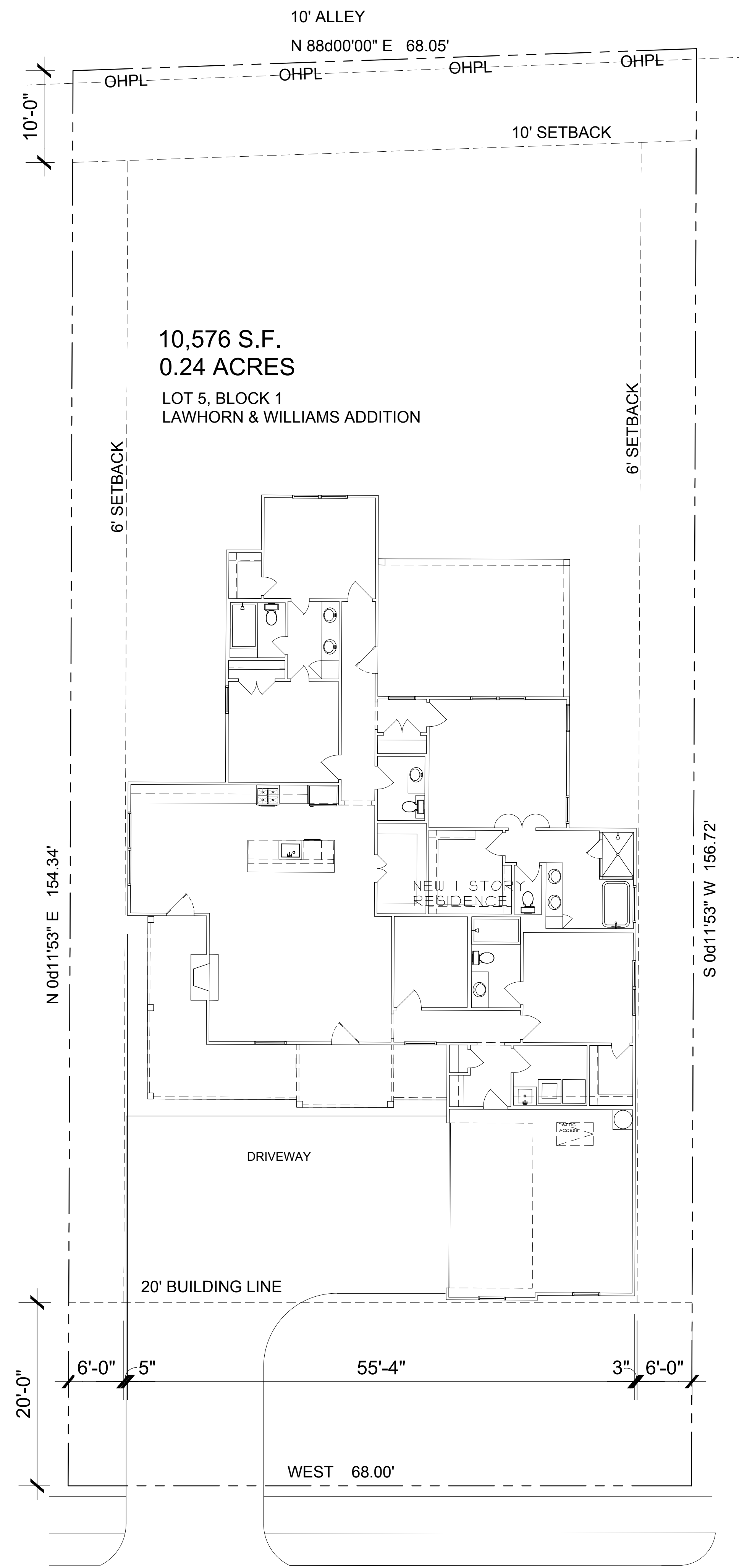
OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-514-9482
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-284-8734

ARCH. PROJ. # 23102	SCALE: REF. DRAWING
------------------------	------------------------

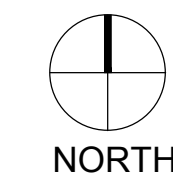
SHEET NO.

A2.1

ARCHITECTURAL SITE
PLAN / SURVEY

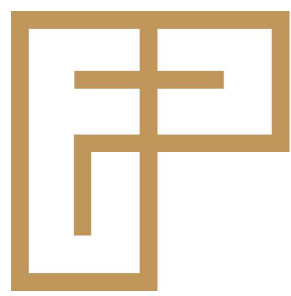


GLENN AVENUE



01 ARCHITECTURAL SITE PLAN

SCALE: 1/8"=1'-0"



NEW
RESIDENCE
JMS CUSTOM
HOMES

104 GLENN
AVENUE
ROCKWALL, TX
75087

ISSUE LOG

DATE ISSUE	DESCRIPTION
02/12/23	FOR PERMIT

REVISION LOG

DATE ISSUE	DESCRIPTION	REV. NO.
02/28/23	REVISIONS	

ISSUED FOR:

- PRELIMINARY -
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- REVISION
- FOR CONSTRUCTION



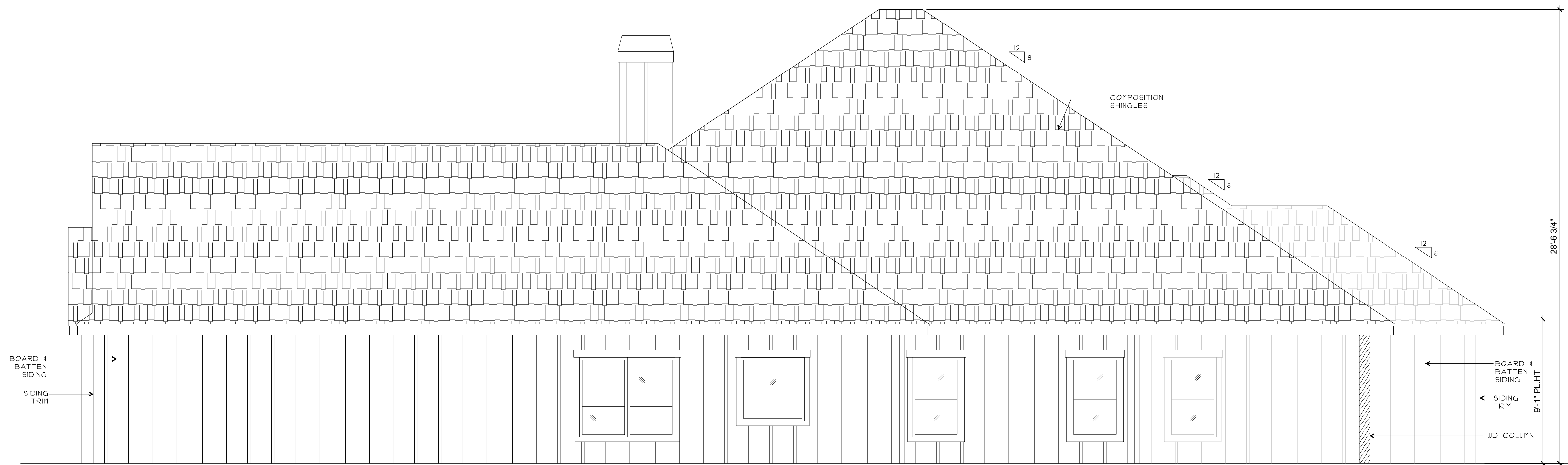
OWNER:
CONTRACTOR: JAVIER SILVA
support@jmscustomhomes.net
972-814-9482
DESIGNER: PATRA PHILIPS
patra@fanningphilips.com
214-284-8734

ARCH. PROJ. # 23102 SCALE: REF. DRAWING

SHEET NO.

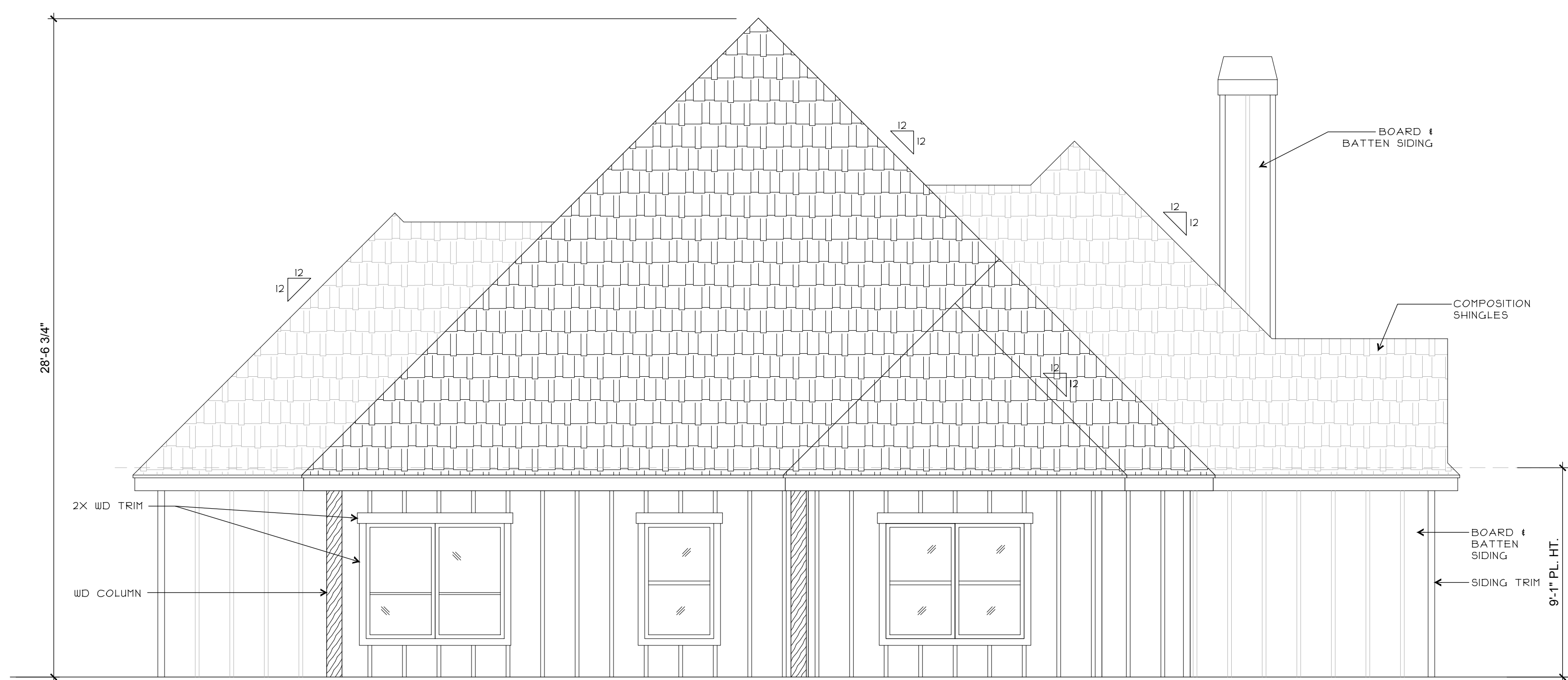
A5.2

ELEVATIONS



02 WEST ELEVATION

SCALE: 1/4"=1'-0"



01 NORTH ELEVATION

SCALE: 1/4"=1'-0"



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-011

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	EXTERIOR MATERIALS	ACCESSORY BUILDING
101 Glenn Avenue	Single-Family home	1990	1509	Wood Lap-Siding	N/A
102 Glenn Avenue	Single-Family home	2019	3216	Stucco	N/A
103 Glenn Avenue	Single-Family home	2008	1776	Wood Lap-Siding	209; 144
104 Glenn Avenue	Subject Property	N/A	2266	Hardie Board Siding	N/A
105 Glenn Avenue	Single-Family home	1980	1346	Wood Lap-Siding	N/A
106 Glenn Avenue	Single-Family home	1988	812	Wood Lap-Siding	N/A
107 Glenn Avenue	Single-Family home	1970	912	Wood Lap-Siding	48
108 Glenn Avenue	Single-Family home	1982	1119	Wood Lap-Siding	100
109 Glenn Avenue	Single-Family home	1970	894	Wood Lap-Siding	120
110 Glenn Avenue	Single-Family home	1957	1636	Wood Lap-Siding	255
111 Glenn Avenue	Single-Family home	1985	1169	Wood Lap-Siding	N/A
112 Glenn Avenue	Single-Family home	1967	1711	Wood Lap-Siding	120
113 Glenn Avenue	Single-Family home	Not Found	Not Found	Brick	N/A
Averages		1983	1531		142



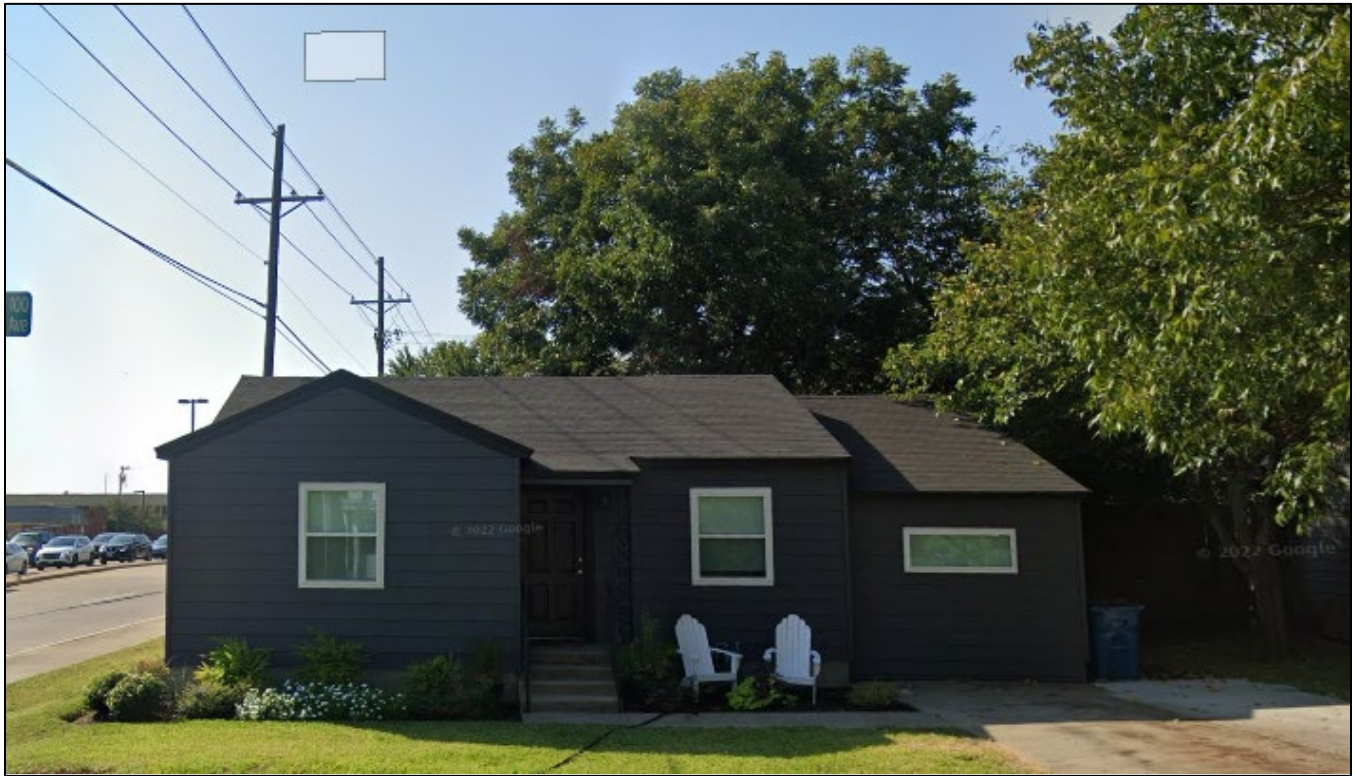
CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-011

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



101 Glenn Avenue



102 Glenn Avenue



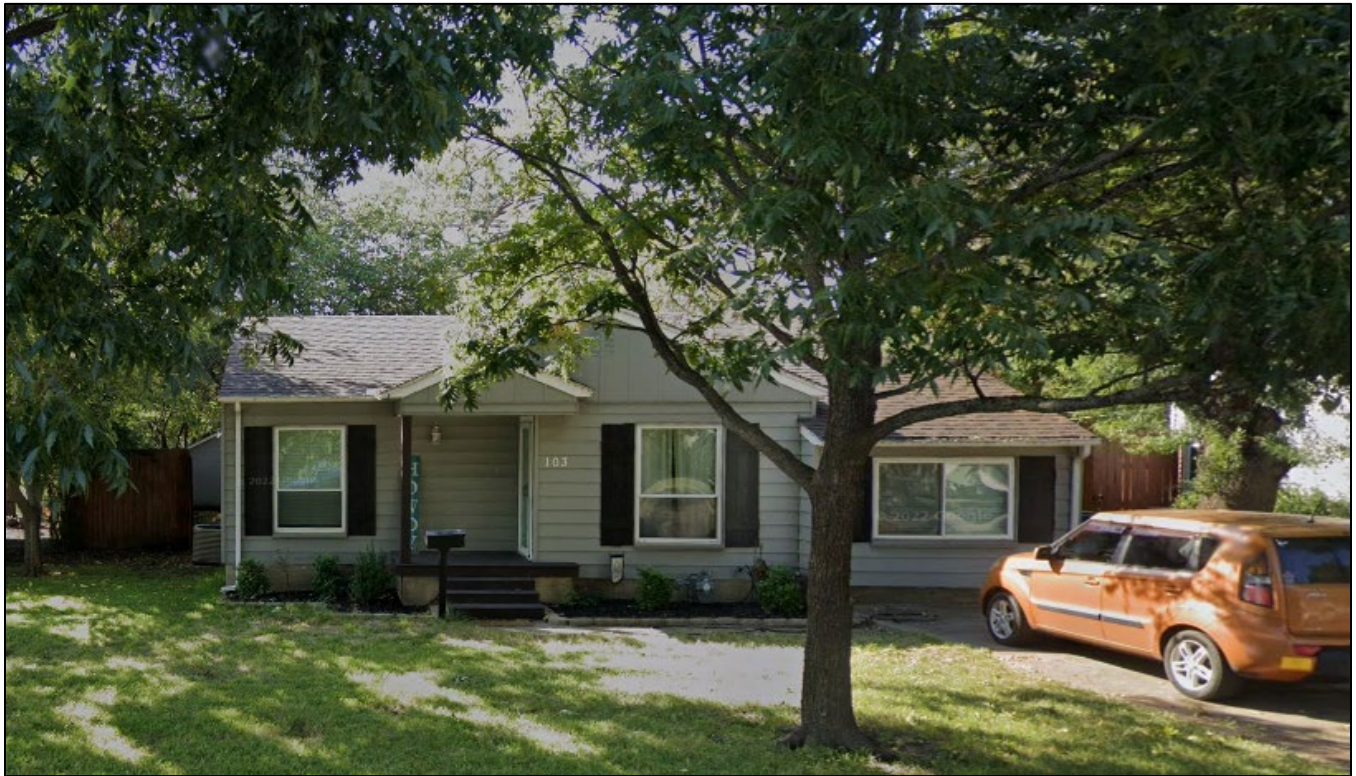
CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-011

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



103 Glenn Avenue



104 Glenn Avenue



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-011

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



105 Glenn Avenue



106 Glenn Avenue



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-011

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



107 Glenn Avenue



108 Glenn Avenue



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-011

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



109 Glenn Avenue



110 Glenn Avenue



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-011

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



111 Glenn Avenue



112 Glenn Avenue



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-011

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



113 Glenn Avenue

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.24-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 5, BLOCK 1, L & W ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Javier Silva of JMS Custom Homes, LLC on behalf of Ruben Fragoso of RSR Capital LLC for the approval of a *Specific Use Permit (SUP)* for *Residential Infill in an Established Subdivision* on a 0.24-acre parcel of land identified as Lot 5, Block 1 of the L & W Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 10 (SF-10) District, addressed as 104 Glenn Avenue, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.07, *Single-Family 10 (SF-10) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future

-- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF APRIL, 2023.

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 20, 2023

2nd Reading: April 3, 2023

**Exhibit 'A':
Legal Description**

Address: 104 Glenn Avenue

Legal Description: Lot 5, Block 1, L and W Addition

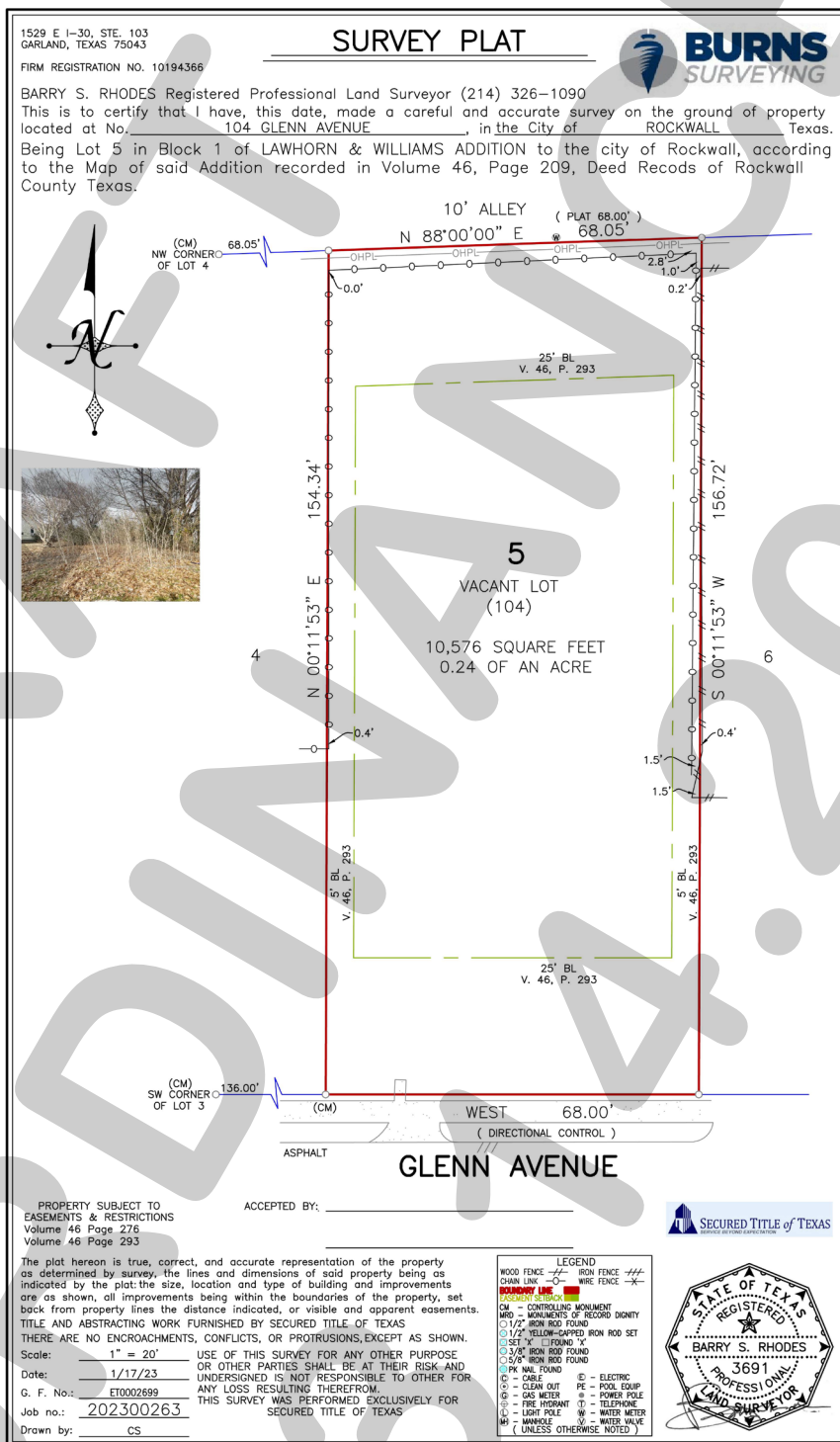
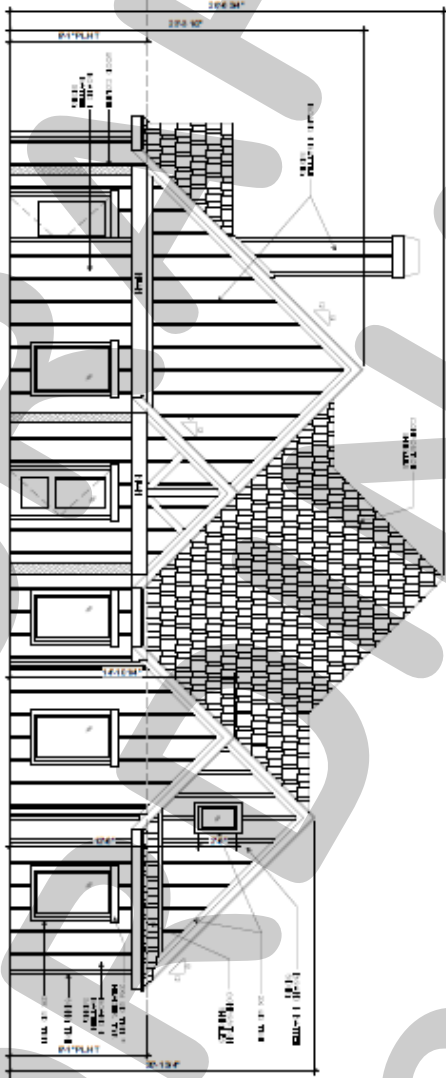


Exhibit 'C':
Building Elevations

01 SOUTH ELEVATION



02 EAST ELEVATION

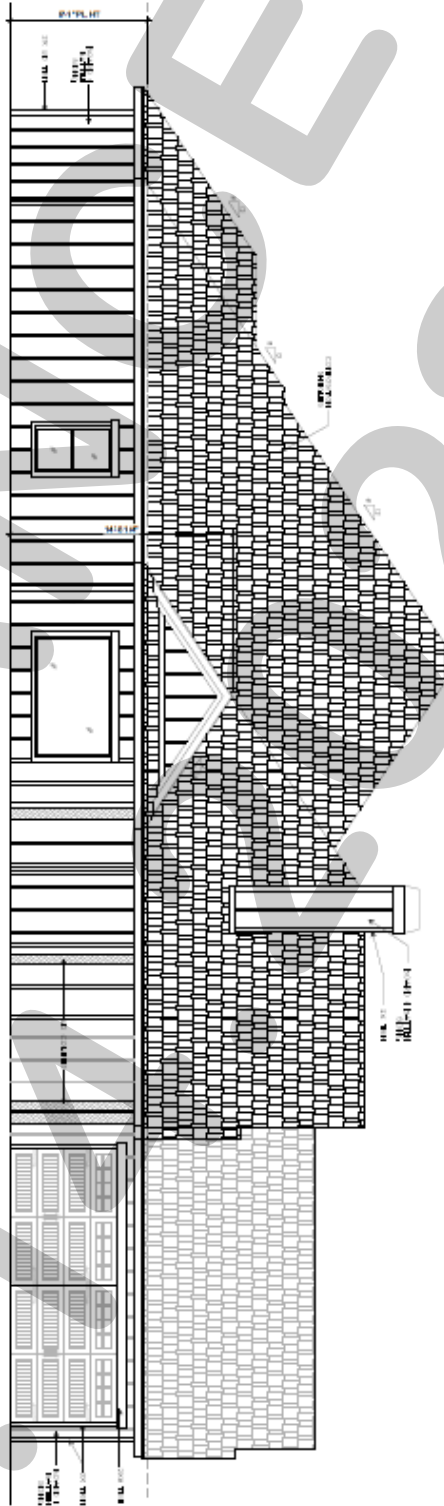
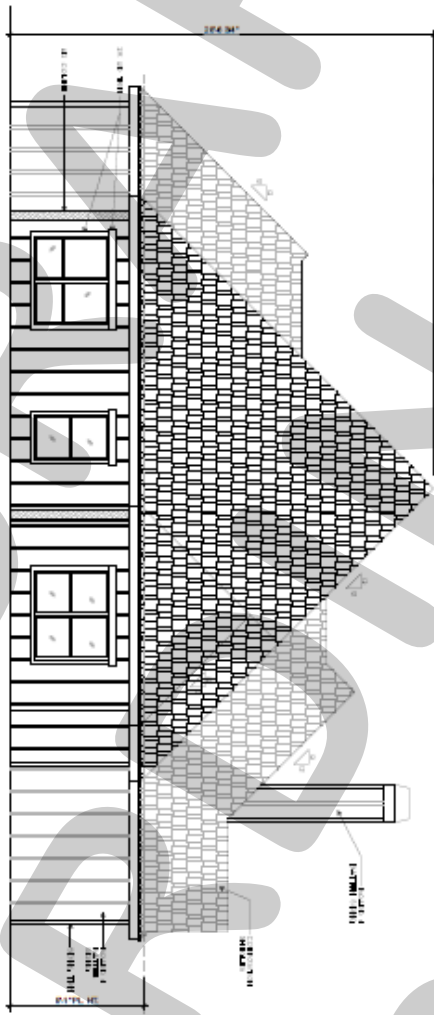
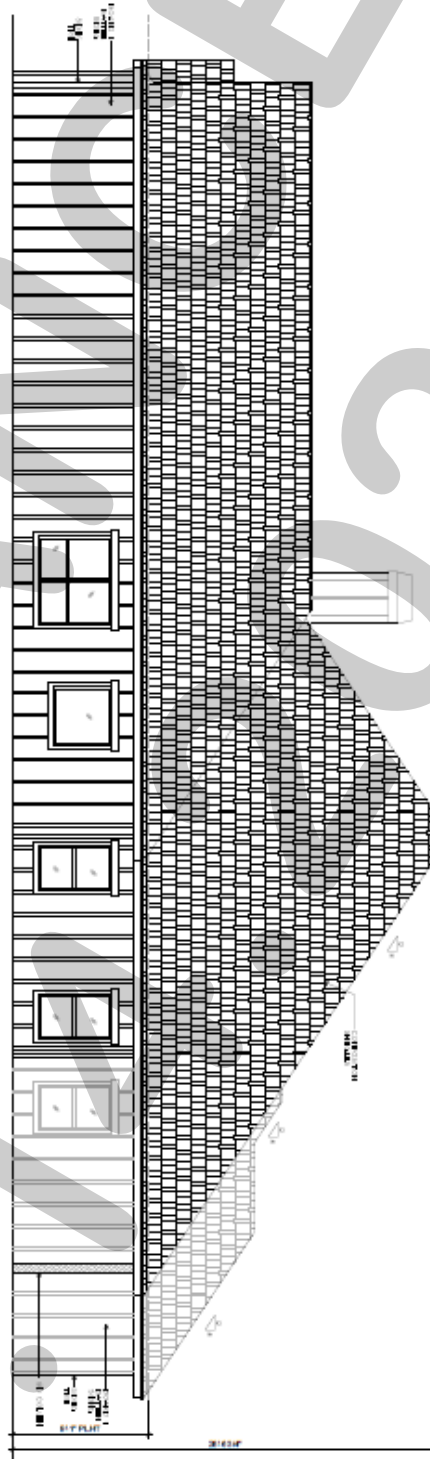


Exhibit 'C':
Building Elevations

01 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



02 WEST ELEVATION
SCALE: 1/8" = 1'-0"





TO: Planning and Zoning Commission
DATE: March 14, 2023
APPLICANT: Timothy and Susan Mack
CASE NUMBER: Z2023-012; *Specific Use Permit for a Detached Garage at 2333 Saddlebrook Lane*

SUMMARY

Hold a public hearing to discuss and consider a request by Timothy S. and Susan M. Mack for the approval of a Specific Use Permit (SUP) to allow a *Detached Garage* on a one (1) acre parcel of land identified as all of Lot 9, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2333 Saddlebrook Lane, and take any action necessary.

BACKGROUND

The subject property was annexed into the City of Rockwall on August 30, 1999 by *Ordinance No. 99-33 [Case No. A1999-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. On January 19, 2000, Saddlebrook Estates #2 Addition was adopted, establishing 45 single-family homes on 51.47-acres. Based on this information, at some point between the time of annexation and January 19, 2000, the subject property was rezoned to Single-Family 16 (SF-16) District. This remains the current zoning designation of the subject property. According to the Rockwall Central Appraisal District (RCAD), a 3,614 SF single-family home was constructed on the subject property in 2002. Also existing on the subject property is a 96 SF storage building constructed in 2003, and a 90 SF pergola constructed in 2020.

PURPOSE

The applicant is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a 1,040 SF detached garage on the subject property. The proposed detached garage exceeds the maximum allowable square footage for a detached garage.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at 2333 Saddlebrook Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is Saddlebrook Lane which is classified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are two (2) parcels of land (*i.e. Lots 10 & 11, Block B, Saddlebrook Estates #2 Addition*) developed with single-family homes zoned Single-Family 16 (SF-16) District. Following this is Saddlebrook Lane which is classified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is the corporate city limits for the City of Rockwall. Beyond this is property located within Rockwall County that is developed with single-family homes at a low-density residential scale.

East: Directly east of the subject property are several parcels of land developed with single-family homes, located within the Saddlebrook Estates #2 residential subdivision. Beyond this is FM-1141, which is classified as an M4D (*i.e. major collector, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is a 1.00-acre parcel of land (i.e. Lot 10, Block A, Saddlebrook Estates #2 Addition) developed with a single-family home, zoned Single-Family 16 (SF-16) District. Beyond this is a 11.96-acre parcel of land (i.e. Lot 2, Block A, Cox Acres Addition) developed with a single-family home zoned Agricultural (AG) District. Following this is a 4.83-acre parcel of land (i.e. Lot 1, D. R. Taylor Addition) developed with a single-family home zoned Agricultural (AG) District.

CHARACTERISTICS OF THE REQUEST

The applicant has submitted an application, residential plot plan, floor plan, and building elevations proposing to construct a 26-foot by 40-foot (or 1,040 SF) Detached Garage on the subject property. The proposed structure is located behind the single-family home and meets all of the setback requirements for a property in a Single-Family 16 (SF-16) District. The building elevations submit by the applicant indicate that the structure will utilize a pitched roof, brick, and siding to match the existing single-family home. According to the applicant the structure will primarily be used as a detached garage and storage.

CONFORMANCE WITH THE CITY’S CODES

According to the *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Detached Garage* exceeding 625 SF requires a Specific Use Permit (SUP) in a Single-Family 16 (SF-16) District. In addition to these requirements, a *Detached Garage* is subject to the dimensional requirements contained in Subsection 07.04, *Accessory Structure Development Standards*, of Article 05, *District Development Standards*. A summary of these standards compared to the applicant’s proposed *Detached Garage* is as follows:

TABLE 1: COMPLIANCE WITH THE REQUIREMENTS OF THE UDC

ORDINANCE PROVISIONS	REQUIREMENTS	CONFORMANCE TO THE STANDARDS
NUMBER OF ACCESSORY STRUCTURES	A maximum of 2 detached accessory structures are permitted in a Single-Family 16 (SF-16) District.	1 Proposed, 1 Existing; <i>IN CONFORMANCE</i>
MAXIMUM SIZE OR SQUARE FOOTAGE	The structure shall not exceed 625 SF	1,040 SF; <i>DISCRETIONARY APPROVAL NEEDED THROUGH SUP PROCESS</i>
MINIMUM REAR YARD SETBACK	10-Feet	X > 10-Feet; <i>IN CONFORMANCE</i>
SIDE YARD SETBACK	6-Feet	X > 6-Feet; <i>IN CONFORMANCE</i>
DISTRANCE BEETWEEN BUILDINGS	10-Feet	X > 10-Feet; <i>IN CONFORMANCE</i>
MAXIMUM BUILDING HEIGHT	Accessory structures are permitted a maximum of 15-Feet;	X < 15-Feet; <i>IN CONFORMANCE</i>

STAFF ANALYSIS

In this case, the applicant has stated that the accessory structure is primarily intended to be used as a garage and storage area. Based on *Table 1* above, the proposed structure does appear to meet all of the requirements for a *Detached Garage* with the exception of the maximum square footage; however, the proposed *Detached Garage* matches the aesthetics of the primary structure with regard to building materials and roof pitch. This creates a cohesive appearance between the proposed detached garage and the primary structure. With this being said, the Specific Use Permit (SUP) allows the Planning and Zoning Commission and City Council the ability review the context of a request and grants them the discretion to approve or deny the request on a *case-by-case* basis.

Staff has completed an analysis of accessory buildings in the Saddlebrook Estates Subdivision for the purpose of comparing the proposed *Detached Garage* to other *Detached Garages* within the Saddlebrook Estates Subdivision. Staff identified six (6) *Detached Garages* constructed in the subdivision. Two (2) of the structures are larger than what the applicant is proposing (i.e. an 1,156 SF detached garage at 2312 Saddlebrook Lane, and a 1,200 SF detached garage at 2364 Saddlebrook Lane), with the largest *Detached Garage* being 1,200 SF or 160 SF more than what is being proposed by the applicant. Staff should point out that both of these accessory structures were constructed with the same building materials as the primary structure, which was a requirement for detached garages under the previous zoning ordinance. With this being said, this request does require a Specific Use Permit (SUP), granting the City Council discretion pending a recommendation from the Planning and Zoning Commission.

NOTIFICATIONS

On February 21, 2023, staff mailed 19 notices to property owners and occupants within 500-feet of the subject property. Staff also notified the Caruth Lakes Homeowner’s Association (HOA), which is the only Homeowner’s Associations (HOAs) or

Neighborhood Organizations within 1,500 feet of the subject property. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was written, staff has received one (1) notice in favor of the applicant's request.

CONDITIONS OF APPROVAL

If City Council chooses to approve of the applicant's request for a Specific Use Permit (SUP) for a *Detached Garage*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) The development of the *Subject Property* shall generally conform to the Site Plan as depicted in *Exhibit 'B'* of this ordinance.
 - (b) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of this ordinance.
 - (c) The *Detached Garage* shall not exceed a maximum building footprint or size of 1,040 SF.
 - (d) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
 - (e) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
 - (f) No additional accessory structures shall be permitted on the *Subject Property*.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. 22083-012

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2333 Saddlebrook Lane

SUBDIVISION Saddlebrook Estates

LOT 9 BLOCK A

GENERAL LOCATION

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING

CURRENT USE

PROPOSED ZONING

PROPOSED USE

ACREAGE 1

LOTS [CURRENT]

LOTS [PROPOSED]

- SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER Timothy S. Mack & Susan M. Mack APPLICANT SAME

CONTACT PERSON Tim Mack CONTACT PERSON [Signature]

ADDRESS 2333 Saddlebrook Lane ADDRESS [Signature]

CITY, STATE & ZIP Rockwall Tx 75087 CITY, STATE & ZIP

PHONE 720-390-6737 PHONE

E-MAIL timothy.mack1968@gmail.com E-MAIL

NOTARY VERIFICATION [REQUIRED]

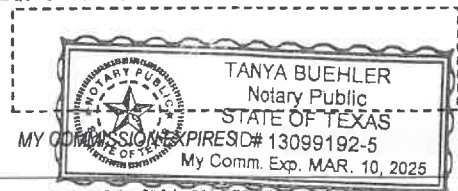
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Susan M. Mack [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 219.30 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 16th DAY OF February, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2023

OWNER'S SIGNATURE Susan M. Mack


NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS Jany Buehler



0 30 60 120 180 240 Feet

Case Number: Z2023-012 SUP for a Detached Garage at 2333 Saddlebrook



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

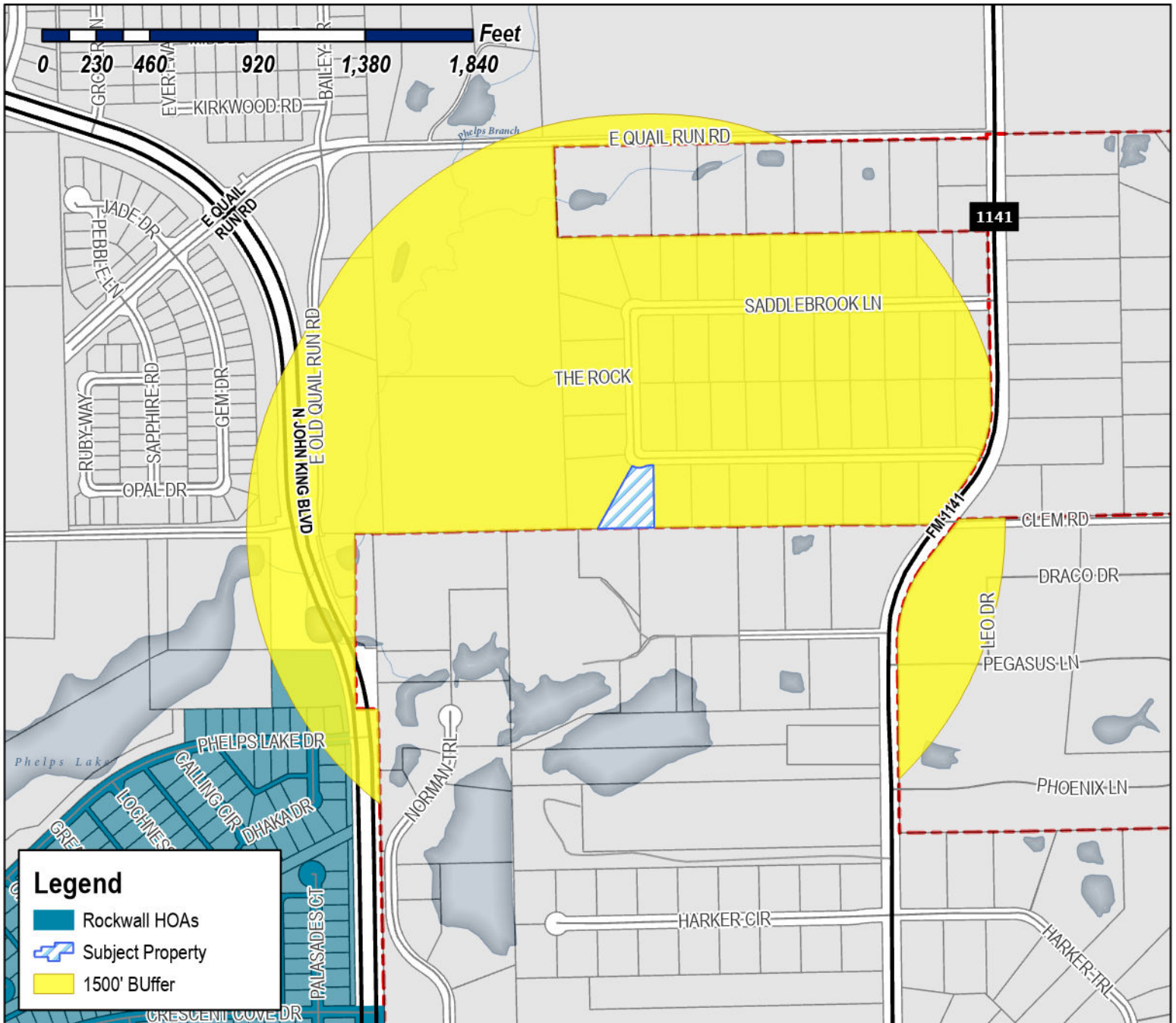




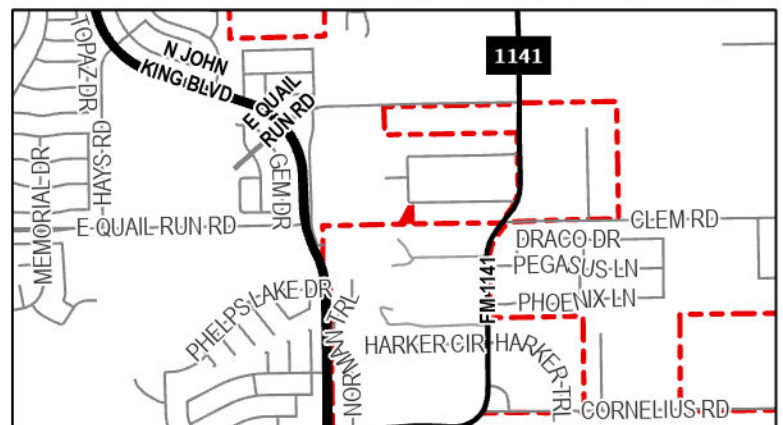
City of Rockwall

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Case Number: Z2023-012
Case Name: SUP for Detached Garage
Case Type: Zoning
Zoning: Single-Family 16 (SF-16) District
Case Address: 2333 Saddlebrook Lane



Date Saved: 2/17/2023

For Questions on this Case Call (972) 771-7745

From: [Lee, Henry](#)
Cc: [Miller, Ryan](#); [Ross, Bethany](#); [Lee, Henry](#)
Subject: Neighborhood Notification Program [Z2023-012]
Date: Friday, February 17, 2023 4:37:17 PM
Attachments: [HOA Map \(02.17.2023\).pdf](#)
[Public Notice \(02.17.2023\).pdf](#)

HOA/Neighborhood Association Representative:

Per your participation in the *Neighborhood Notification Program*, you are receiving this notice to inform your organization that a zoning case has been filed with the City of Rockwall that is located within 1,500-feet of the boundaries of your neighborhood. As the contact listed for your organization, you are encouraged to share this information with the residents of your subdivision. Please find the attached map detailing the property requesting to be rezoned in relation to your subdivision boundaries. Additionally, below is the summary of the zoning case that will be published in the Rockwall Herald Banner on February 24, 2023. The Planning and Zoning Commission will hold a public hearing on Tuesday, March 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 20, 2023 at 6:00 PM. Both hearings will take place at 6:00 PM at City Hall, 385 S. Goliad, Rockwall, TX 75087.

All interested parties are encouraged to submit public comments via email to Planning@rockwall.com at least 30 minutes in advance of the meeting. Please include your name, address, and the case number your comments are referring to. These comments will be read into the record during each of the public hearings. Additional information on all current development cases can be found on the City's website:
<https://sites.google.com/site/rockwallplanning/development/development-cases>.

Z2023-012: SUP for a Detached Garage at 2333 Saddlebrook

Hold a public hearing to discuss and consider a request by Timothy S. and Susan M. Mack for the approval of a *Specific Use Permit (SUP)* to allow a *Detached Garage* on a one (1) acre parcel of land identified as all of Lot 9, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2333 Saddlebrook Lane, and take any action necessary.

Thank you,



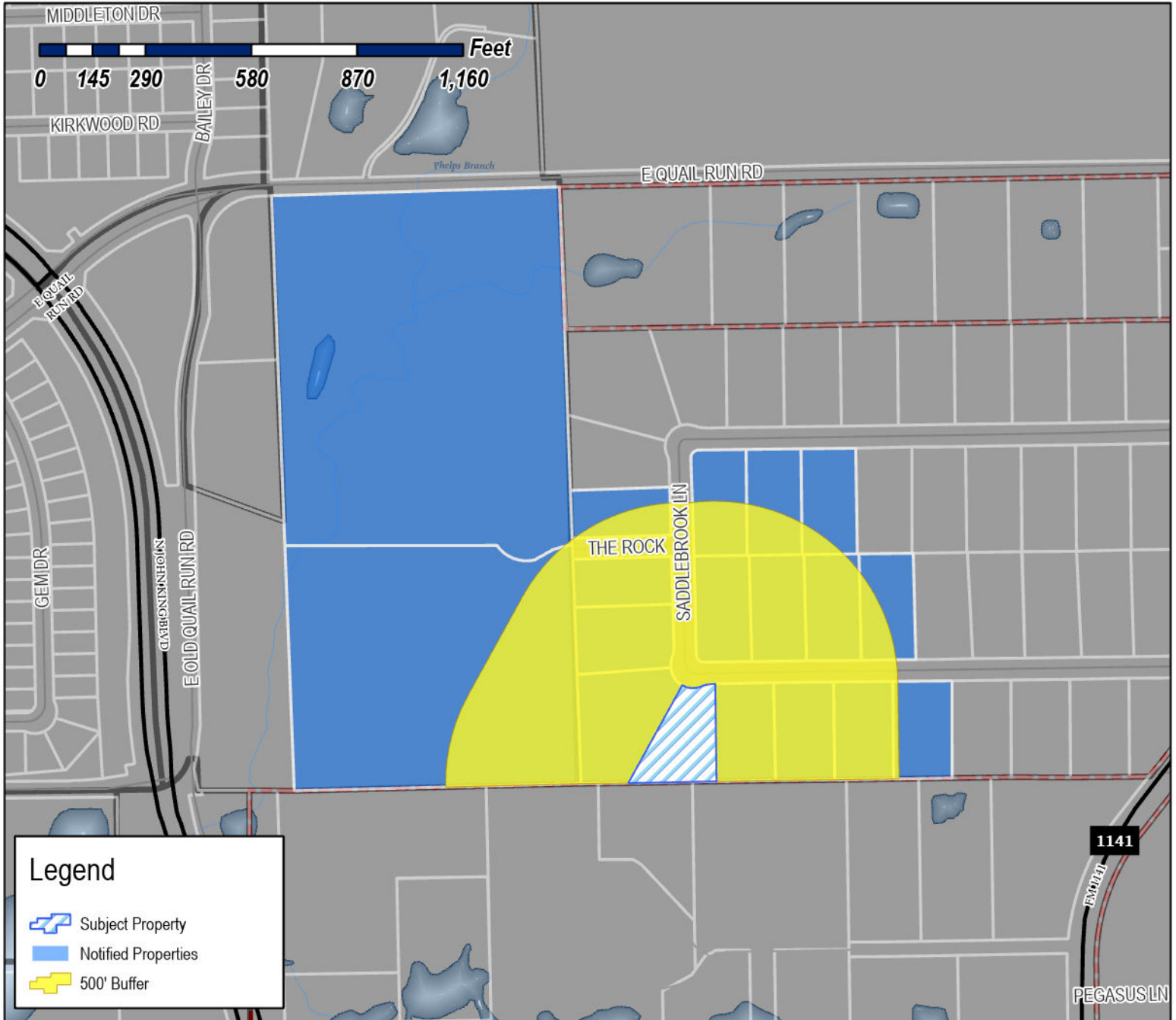
Henry Lee, AICP
Planner
Planning & Zoning Department
972.772.6434
HLee@rockwall.com
385 S. Goliad Street, Rockwall, TX 75087



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

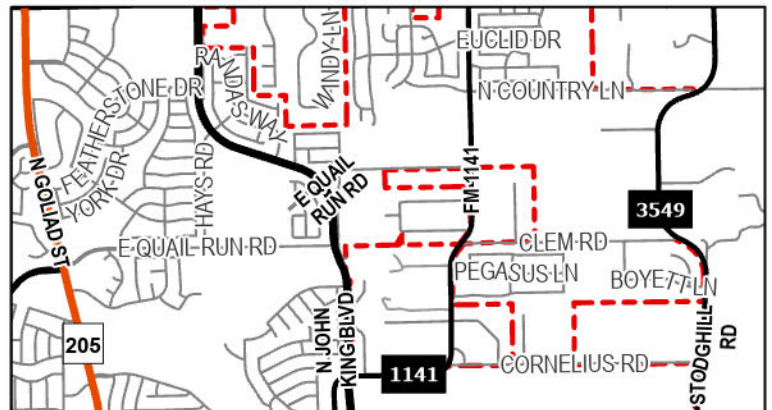
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Case Number: Z2023-012
Case Name: SUP for Detached Garage
Case Type: Zoning
Zoning: Single-Family 16 (SF-16) District
Case Address: 2333 Saddlebrook Lane

Date Saved: 2/17/2023

For Questions on this Case Call: (972) 771-7746



WHITE JOHN C & PAMELA E
2332 SADDLEBROOK LN
ROCKWALL, TX 75087

GILKINSON DOYLE D & LORA A
2369 SADDLEBROOK LN
ROCKWALL, TX 75087

COOK HEIDI AND BRYAN
2348 SADDLEBROOK LN
ROCKWALL, TX 75087

HARVEY LEE L AND MARIA J PEREIRA
2361 SADDLEBROOK LN
ROCKWALL, TX 75087

PROCTOR CAROLYN
2365 SADDLEBROOK LN
ROCKWALL, TX 75087

MUGGEO THOMAS & PATRICIA M
2317 SADDLEBROOK LN
ROCKWALL, TX 75087

ROBINSON RONNIE D & VERONICA A
2321 SADDLEBROOK LN
ROCKWALL, TX 75087

CONFIDENTIAL
2325 SADDLEBROOK LN
ROCKWALL, TX 75087

FISK JENNIFER
2336 SADDLEBROOK LN
ROCKWALL, TX 75087

WRIGHT MARTY ALLEN & DEBRA KAY
2340 SADDLEBROOK LN
ROCKWALL, TX 75087

TROISE GUTHRIE CHASE
2341 SADDLEBROOK LN
ROCKWALL, TX 75087

SCHALE WILLIAM AND CORTNEY
2345 SADDLEBROOK LN
ROCKWALL, TX 75087

BROWN CHRISTOPHER & SHELLEY
2329 SADDLEBROOK LN
ROCKWALL, TX 75087

WHANNELL DAN & TAMMY
2333 SADDLEBROOK LN
ROCKWALL, TX 75087

THOMAS WILLARD L AND PEGGY J
2337 SADDLEBROOK LN
ROCKWALL, TX 75087

AMUNDSON DAVID O & ALICIA K
2328 SADDLEBROOK LN
ROCKWALL, TX 75087

OCCUPANT
1800 E QUAIL RUN RD
ROCKWALL, TX 75087

COX GERALD GLEN AND ROSALBA CARRASCO
815 T.L. TOWNSEND
ROCKWALL, TX 75087

TYLER WILLIAM L AND VANITA RAE
1501 THE ROCK
ROCKWALL, TX 75087

PUBLIC NOTICE



CITY OF ROCKWALL
PLANNING AND ZONING DEPARTMENT
PHONE: (972) 771-7745
EMAIL: PLANNING@ROCKWALL.COM

Property Owner and/or Resident of the City of Rockwall:

You are hereby notified that the City of Rockwall Planning and Zoning Commission and City Council will consider the following application:

Z2023-012: Specific Use Permit (SUP) for a Detached Garage at 2333 Saddlebrook Lane

Hold a public hearing to discuss and consider a request by Timothy S. and Susan M. Mack for the approval of a Specific Use Permit (SUP) to allow a Detached Garage on a one (1) acre parcel of land identified as all of Lot 9, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single Family 16 (SF-16) District, addressed as 2333 Saddlebrook Lane, and take any action necessary.

For the purpose of considering the effects of such a request, the Planning and Zoning Commission will hold a public hearing on Tuesday, March 14, 2023 at 6:00 PM, and the City Council will hold a public hearing on Monday, March 20, 2023 at 6:00 PM. These hearings will be held in the City Council Chambers at City Hall, 385 S. Goliad Street.

As an interested property owner, you are invited to attend these meetings. If you prefer to express your thoughts in writing please return the form to:

Henry Lee
Rockwall Planning and Zoning Dept.
385 S. Goliad Street
Rockwall, TX 75087

You may also email your comments to the Planning Department at planning@rockwall.com. If you choose to email the Planning Department please include your name and address for identification purposes.

Your comments must be received by Monday, March 20, 2023 at 4:00 PM to ensure they are included in the information provided to the City Council.

Sincerely,

Ryan Miller, AICP
Director of Planning & Zoning



MORE INFORMATION ON THIS CASE CAN BE FOUND AT: <https://sites.google.com/site/rockwallplanning/development/development-cases>

PLEASE RETURN THE BELOW FORM

Case No. Z2023-012: Specific Use Permit (SUP) for a Detached Garage at 2333 Saddlebrook Lane

Please place a check mark on the appropriate line below:

- I am in favor of the request for the reasons listed below.
- I am opposed to the request for the reasons listed below.

Name:

Address:

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

Case No. Z2023-012: Specific Use Permit (SUP) for a Detached Garage at 2333 Saddlebrook Lane

Please place a check mark on the appropriate line below:

I am in favor of the request for the reasons listed below.

I am opposed to the request for the reasons listed below.

I am IN FAVOR, man has the right to build what he likes!

Name:

Marty Wright

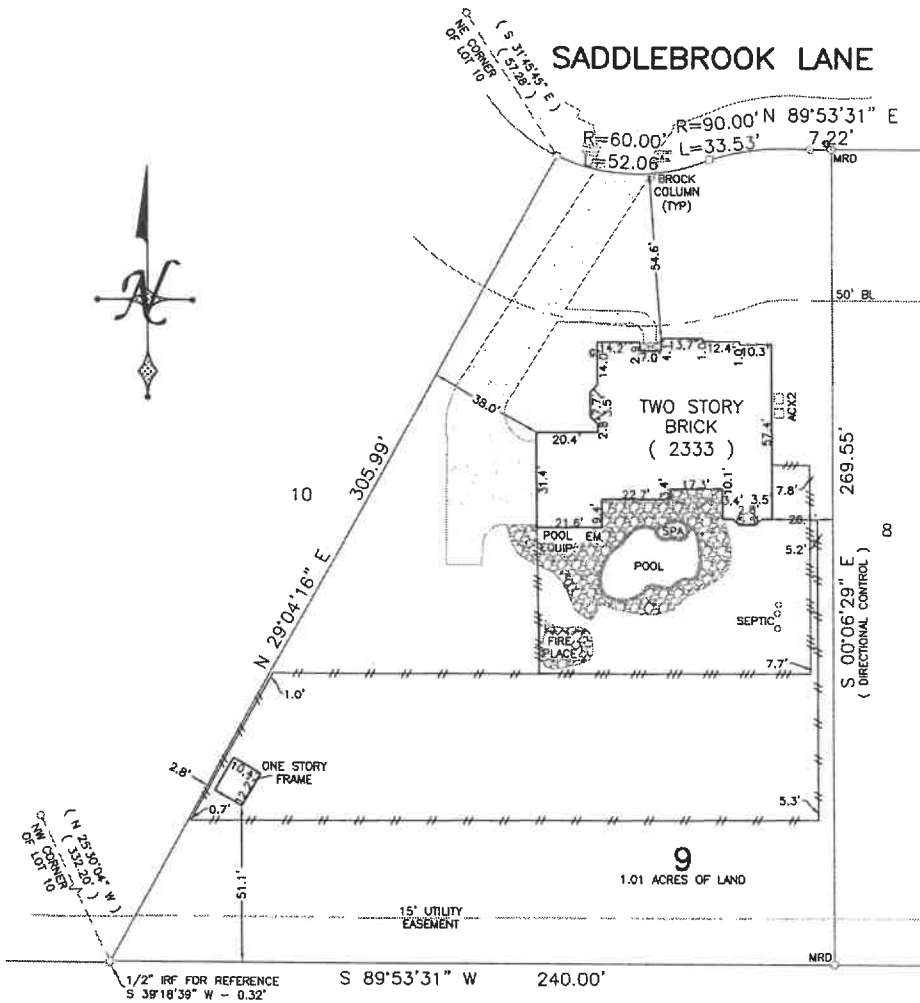
Address:

2340 Saddlebrook Ln Rockwall TX 75087

Tex. Loc. Gov. Code, Sec. 211.006 (d) If a proposed change to a regulation or boundary is protested in accordance with this subsection, the proposed change must receive, in order to take effect, the affirmative vote of at least three-fourths of all members of the governing body. The protest must be written and signed by the owners of at least 20 percent of either: (1) the area of the lots or land covered by the proposed change; or (2) the area of the lots or land immediately adjoining the area covered by the proposed change and extending 200 feet from that area.

PLEASE SEE LOCATION MAP OF SUBJECT PROPERTY ON THE BACK OF THIS NOTICE

SADDLEBROOK LANE



SURVEY PLAT



BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
 This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 2333 SADDLEBROOK LANE in the city of ROCKWALL Texas.
 Lot No. 9 Block No. A
 of SADDLEBROOK ESTATES #2 an addition in the city of ROCKWALL, ROCKWALL COUNTY Texas according to the PLAT THEREOF RECORDED in CABINET B at SLIDE 238 of the MAP records of ROCKWALL COUNTY, TEXAS.

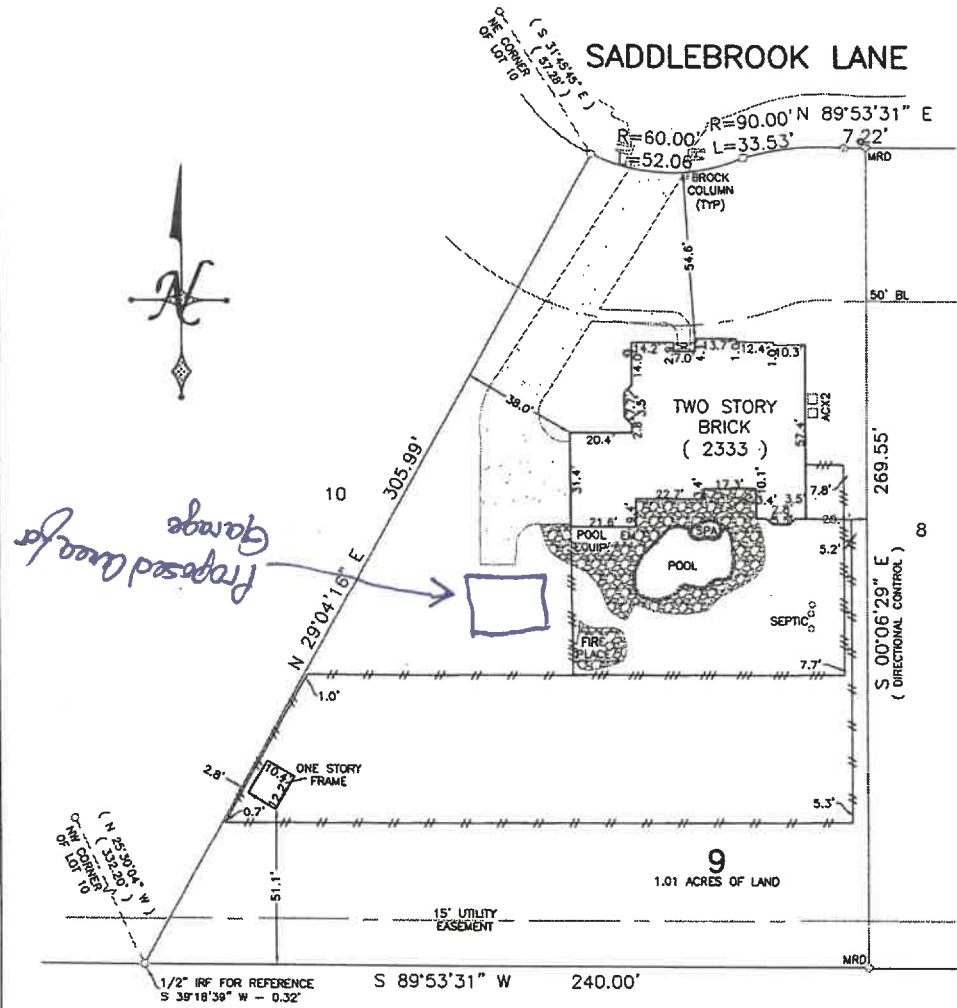
1529 E. I-30, STE. 108, GARLAND, TX 75043 - FIRM REGISTRATION NO. 10194052
 The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements.
 TITLE AND ABSTRACTING WORK FURNISHED BY DDS GROUP
 THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
 Scale: 1" = 40' USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNER IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
 Date: 01/12/2023
 G. F. No.: -
 Job no.: 111766 THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR DDS GROUP
 Drawn by: CF

LEGEND	
WOOD FENCE	---
CHAIN LINK	---
IRON FENCE	---
WIRE FENCE	---
MRD - MONUMENTS OF RECORD DENSITY	○
1/2" IRON PIPE FOUND	○
1/2" YELLOW-CAPPED IRON ROD FOUND	○
1/2" IRON PIPE FOUND	○
3/4" IRON PIPE FOUND	○
POINT FOR CORNER	○
○ - CABLE	○ - DRY-WIRE
○ - CROWN OUT	○ - ELECTRIC
○ - GAS METER	○ - POWER POLE
○ - FIRE HYDRANT	○ - TELEPHONE
○ - LIGHT POLE	○ - WATER METER
○ - MANHOLE	○ - WATER VALVE
(UNLESS OTHERWISE NOTED)	



CLYDE A. & SUSAN L. HUX
 VOL. 1295, PG. 328

SADDLEBROOK LANE



SURVEY PLAT



BRIAN S. RHODES Registered Professional Land Surveyor (972) 475-8940
 This is to certify that I have, this date, made a careful and accurate survey on the ground of property located at No. 2333 SADDLEBROOK LANE in the city of ROCKWALL Texas.
 Lot No. 9 Block No. A
 of SADDLEBROOK ESTATES #2, an addition in the city of ROCKWALL, ROCKWALL COUNTY Texas according to the PLAT THEREOF RECORDED in CABINET B at SLIDE 238 of the MAP records of ROCKWALL COUNTY, TEXAS.

1529 E. 1-30, STE. 106, GARLAND, TX 75043 - FIRM REGISTRATION NO. 10194052
 The plat hereon is true, correct, and accurate representation of the property as determined by survey, the lines and dimensions of said property being as indicated by the plat; the size, location and type of building and improvements are as shown, all improvements being within the boundaries of the property, set back from property lines the distance indicated, or visible and apparent easements. TITLE AND ABSTRACTING WORK FURNISHED BY DDS GROUP.
 THERE ARE NO ENCROACHMENTS, CONFLICTS, OR PROTRUSIONS, EXCEPT AS SHOWN.
 Scale: 1" = 40' USE OF THIS SURVEY FOR ANY OTHER PURPOSE OR OTHER PARTIES SHALL BE AT THEIR RISK AND UNDERSIGNED IS NOT RESPONSIBLE TO OTHER FOR ANY LOSS RESULTING THEREFROM.
 Date: 01/12/2023
 G. F. No.: - THIS SURVEY WAS PERFORMED EXCLUSIVELY FOR DDS GROUP
 Job no.: 111766
 Drawn by: CF

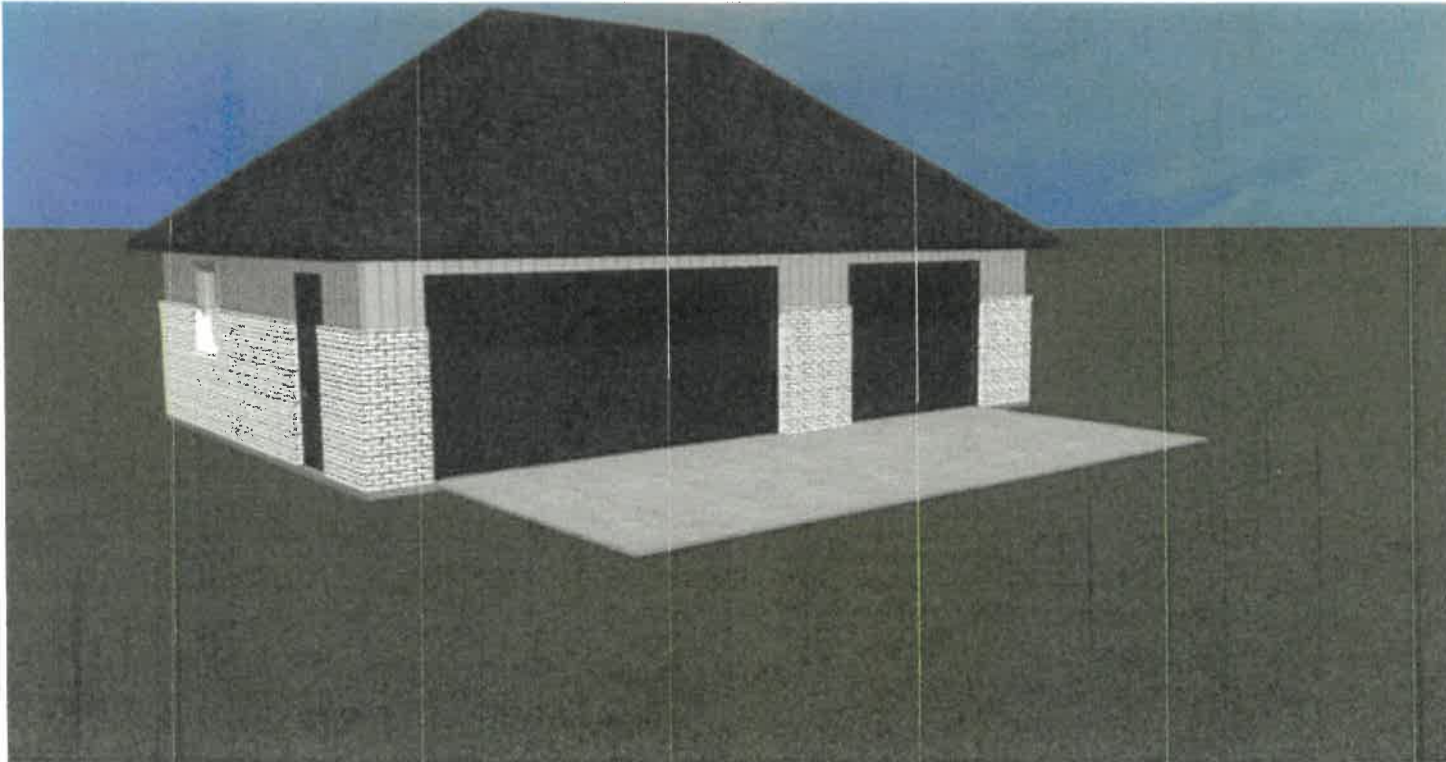
LEGEND	
WOOD FENCE	--- ---
CHAIN LINK	--- ---
IRON FENCE	--- ---
WIRE FENCE	--- ---
MRD - MICHIGAN DEPT OF RECORDS DIGNITY	---
1" IRON PIPE FOUND	○
1/2" YELLOW-CAPPED IRON ROD FOUND	○
1" IRON PIPE FOUND	○
1/2" IRON PIPE FOUND	○
POINT FOR CORNER	•
C - CHAIN	---
S - CHAIN GUY	---
G - GAS METER	○
P - FIRE HYDRANT	○
L - LIGHT POLE	○
M - MANHOLE	○
OFF-PIPE	---
ELECTRIFY	---
POWER POLE	○
TELEPHONE	○
WATER METER	○
WATER VALVE	○
UNLESS OTHERWISE NOTED	



CLYDE A. & SUSAN L. HUX
 VOL. 1295, PG. 328

Rendering of proposed 'Special Use' building.

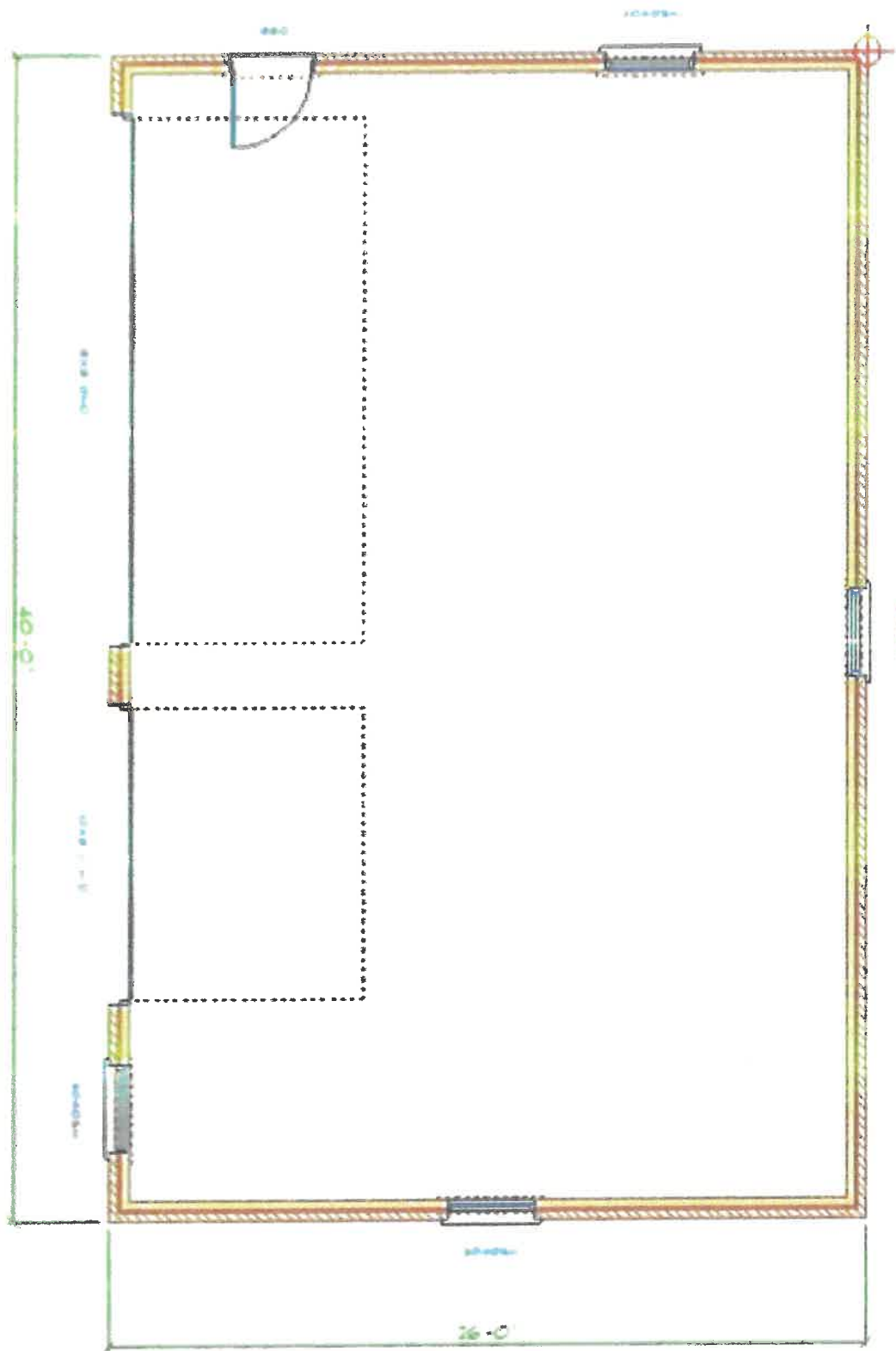
Concrete slab, wood frame, exterior walls brick / vertical siding, composite shingles, aluminum garage doors, SH vinyl windows, secure steel entry door and all paint to match current residence,



Existing Residence Elevations:

**Depicting brick, vertical siding, roof line, composite shingle, windows, garage doors and paint colors.
Like and matching materials will be used on the 'Special Use' building.**





CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING THE UNIFIED DEVELOPMENT CODE (UDC) [*ORDINANCE NO. 20-02*] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *DETACHED GARAGE* ON A ONE (1) ACRE PARCEL OF LAND IDENTIFIED AS LOT 9, BLOCK A, SADDLEBROOK ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Timothy S. and Susan M. Mack for the approval of a *Specific Use Permit (SUP)* to allow a *Detached Garage* on a one (1) acre parcel of land identified as Lot 9, Block A, Saddlebrook Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Single-Family 16 (SF-16) District, addressed as 2333 Saddlebrook Lane, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) to allow for the construction of a *Detached Garage* in accordance with Article 04, *Permissible Uses*, the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Subsection 03.01, *General Residential District Standards*, and Subsection 03.06, *Single-Family 16 (SF-16) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a *Detached Garage* on the *Subject Property* and conformance to these operational conditions are required:

- (1) The development of the *Subject Property* shall generally conform to the *Site Plan* as depicted in *Exhibit 'B'* of this ordinance.
- (2) The construction of a *Detached Garage* on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- (3) The *Detached Garage* shall not exceed a maximum building footprint or size of 1,040 SF.
- (4) The maximum height of the *Detached Garage* shall not exceed a maximum of 15-feet as measured from the mid-point of the pitched roof.
- (5) The *Detached Garage* shall not be sold or conveyed separately from the single-family home without meeting the requirements of the zoning district and subdivision ordinance.
- (6) No additional accessory structures shall be permitted on the Subject Property.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF APRIL, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 20, 2023

2nd Reading: April 3, 2023

Exhibit 'A'
Location Map and Legal Description

Address: 2333 Saddlebrook Lane

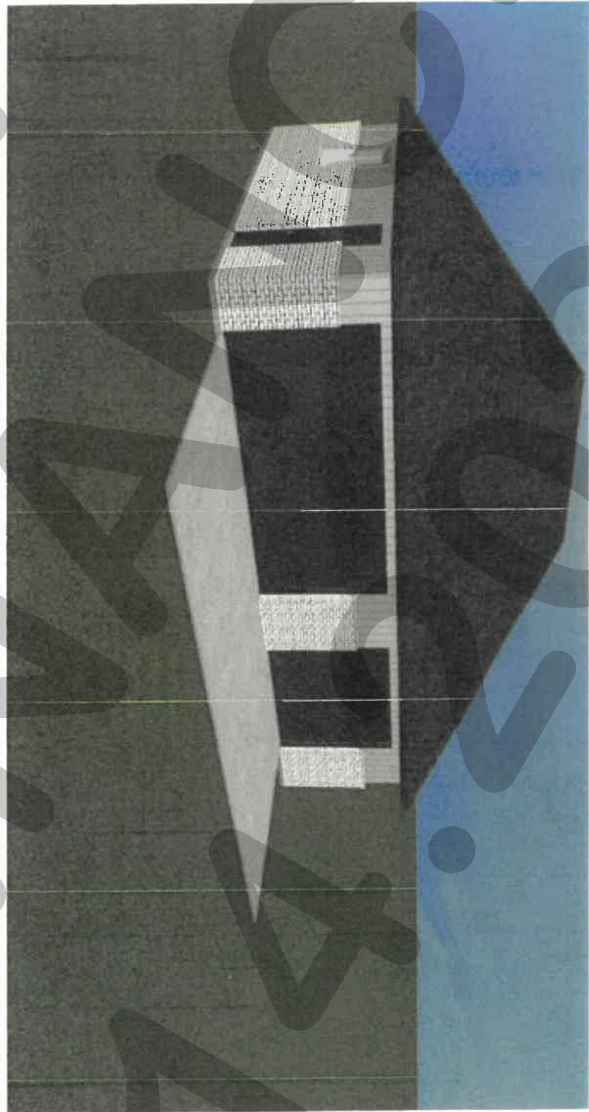
Legal Description: Lot 9, Block A, Saddlebrook Estates Addition



**Exhibit 'C':
Building Elevations**

Concrete slab, wood frame, exterior walls brick / vertical siding, composite shingles, aluminum garage doors, SH vinyl windows, secure steel entry door and all paint to match current residence,

Rendering of proposed 'Special Use' building.



Existing Residence Elevations:
Like and matching materials will be used on the 'Special Use' building.





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 14, 2023
APPLICANT: Kevin Osornio; MBA Custom Homes
CASE NUMBER: Z2023-013; *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision at 118 Blanche Drive*

SUMMARY

Hold a public hearing to discuss and consider a request by Kevin Osornio of MBA Custom Homes for the approval of a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* on a 0.1650-acre parcel of land identified as Lot 837A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District, addressed as 118 Blanche Drive, and take any action necessary.

BACKGROUND

The subject property was originally platted as Lot 837A of the Rockwall Lake Estates #2 Addition on April 23, 1968. On February 17, 2009, the subject property -- *along with the rest of the Lake Rockwall Estates Subdivision* -- was annexed into the City of Rockwall by *Ordinance No. 09-07*. On September 21, 2009, the City Council rezoned the Lake Rockwall Estates Subdivision from an Agricultural (AG) District to Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] for Single-Family 7 (SF-7) District land uses. On January 4, 2016, the City Council amended Planned Development District 75 (PD-75) with *Ordinance No. 16-01*, which made minor changes to the *Consideration of a Special Request* section of the ordinance. Based on historic aerial images of the subject property, a mobile home existed on the subject property at the time of annexation; however, this structure was removed from the subject property between 2015 and 2017.

PURPOSE

The applicant -- *Kevin Osornio of MBA Customs Homes* -- is requesting the approval of a Specific Use Permit (SUP) for the purpose of constructing a single-family home on the subject property in accordance with Subsection 02.03(B)(11), *Residential Infill in or Adjacent to an Established Subdivision*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

ADJACENT LAND USES AND ACCESS

The subject property is located at 118 Blanche Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond that is Diana Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

South: Directly south of the subject property is County Line Road, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is Big League Sports Academy, Inc. (*i.e. Tract 26-1 of the W.W. Ford Survey, Abstract No. 80*), which is zoned Commercial (C) District and addressed as 505 County Line Road.

East: Directly east of the subject property Blanche Drive, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond that are several residential lots developed with traditional single-family homes and

modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

West: Directly west of the subject property are several residential lots developed with traditional single-family homes and modular homes that are zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses. Beyond this is Valerie Place, which is identified as a R2U (*i.e. residential, two [2] lane, undivided roadway*) on the City’s Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

CHARACTERISTICS OF THE REQUEST AND CONFORMANCE TO THE CITY’S CODES

Article 13, *Definitions*, of the Unified Development Code (UDC) defines *Residential Infill in or Adjacent to an Established Subdivision* as “(t)he new development of a single-family home or duplex on an existing vacant or undeveloped parcel of land or the redevelopment of a developed parcel of land for a new single-family home or duplex within an established subdivision that is mostly or entirely built-out.” An established subdivision is further defined in Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC as “...a subdivision that consists of five (5) or more lots, that is 90% developed, and that has been in existence for more than ten (10) years.” In this case, the subject property is located within the Lake Rockwall Estates #2 Addition in the Lake Rockwall Estates Subdivision. This subdivision has been in existence since prior to 1968, consists of more than five (5) lots, and is considered to be more than 90% developed. The *Permissible Use Charts* contained in Article 04, *Permissible Uses*, of the UDC, requires a Specific Use Permit (SUP) for *Residential Infill in or Adjacent to an Established Subdivision* in all single-family zoning districts, the Two-Family (2F) District, the Downtown (DT) District, and the Residential-Office (RO) District. This property, being in Planned Development District 75 (PD-75) and designated for Single-Family 7 (SF-7) District land uses, requires a Specific Use Permit (SUP).

In addition, Subsection 02.03(B)(11) of Article 04, *Permissible Uses*, of the UDC states that, “...the Planning and Zoning Commission and City Council shall consider the proposed size, location, and architecture of the home compared to the existing housing ... [and] (a)ll housing proposed under this section [*i.e. Residential Infill in or Adjacent to an Established Subdivision*] shall be constructed to be architecturally and visually similar or complimentary to the existing housing ...” The following is a summary of observations concerning the housing on Lynne Drive compared to the house proposed by the applicant:

Housing Design and Characteristics	Existing Housing on Blanche Drive in a Close Proximity to the Subject Property	Proposed House
Building Height	One (1) and two (2) story	One (1) Story
Building Orientation	Orientation differs.	The front elevation of the home will face onto Blanche Drive.
Year Built	1970-2021	N/A
Building SF on Property	784 SF – 1716 SF	2,241 SF
Building Architecture	Modular Homes	Comparable Architecture to the Surrounding Newer Single-Family Homes
Building Setbacks:		
Front	The front yard setbacks appear to conform to the required 20-foot front yard setback.	25-Feet
Side	The side yard setbacks appear to conform to the required five (5) foot side yard setback.	5-Feet
Rear	The rear yard setbacks appear conform to the required ten (10) feet rear yard setback.	15-Feet
Building Materials	Modular Panels, Metal	Brick
Paint and Color	Tan, Blue, White, Grey & Green	N/A
Roofs	Composite Shingles & Metal	Composite Shingles
Driveways/Garages	Flat-Front Entry, Carports, and Single-Family Homes without Garages	Front Entry Garage

According to Section 04, *Residential Parking*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), “(i)n single-family or duplex districts, parking garages must be located at least 20-feet behind the front façade for front entry garages ...” In this case, the applicant’s proposed garage is oriented in front of the front façade of the proposed single-family home. Staff should point out that this is not atypical for this subdivision. A waiver to the garage orientation is a discretionary decision for the City Council pending a recommendation from the Planning and Zoning Commission. If approved as part of the Specific Use Permit (SUP) request, the City Council will be waiving the garage orientation requirement. With this being said, staff should

point out -- *that with the exception of the garage orientation* -- the proposed single-family home meets all of the density and dimensional requirements stipulated by Planned Development District 75 (PD-75) [*Ordinance No. 09-37*] and the Unified Development Code (UDC).

NOTIFICATIONS

On February 21, 2023, staff mailed 92 notices to property owners and occupants within 500-feet of the subject property. There are no Homeowner's Associations (HOAs) or Neighborhood Organizations within 1,500-feet of the subject property participating in the Neighborhood Notification Program. Additionally, staff posted a sign on the subject property, and advertised the public hearings in the Rockwall Herald Banner as required by the Unified Development Code (UDC). At the time this report was drafted, staff has received one (1) notification in favor and one (1) in opposition of the request.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision*, then staff would propose the following conditions of approval:

- (1) The applicant shall be responsible for maintaining compliance with the operational conditions contained in the Specific Use Permit (SUP) ordinance and which are detailed as follows:
 - (a) Development of the *Subject Property* shall generally conform to the Residential Plot Plan as depicted in *Exhibit 'B'* of the draft ordinance.
 - (b) Construction of a single-family home on the *Subject Property* shall generally conform to the Building Elevations depicted in *Exhibit 'C'* of the draft ordinance; and,
 - (c) Once construction of the single-family home has been completed, inspected, and accepted by the City, the Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.
- (2) Any construction resulting from the approval of this Specific Use Permit (SUP) shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS: 118 Blanche, Rockwall TX 75032

SUBDIVISION: Rockwall Lake Properties Development LOT 837-A BLOCK _____

GENERAL LOCATION: County Line Rd, across from baseball field

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING: Residential CURRENT USE: Residential

PROPOSED ZONING: Single-family residential PROPOSED USE: Residential

ACREAGE: 0.167 LOTS [CURRENT]: 1 LOTS [PROPOSED]: 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	<u>MBA Custom Homes</u>	<input type="checkbox"/> APPLICANT	<u>MBA Custom Homes</u>
CONTACT PERSON	<u>Kevin Osornio</u>	CONTACT PERSON	<u>Kevin Osornio</u>
ADDRESS	<u>430 Renee</u>	ADDRESS	<u>430 Renee</u>
CITY, STATE & ZIP	<u>Rockwall TX 75032</u>	CITY, STATE & ZIP	<u>Rockwall TX 75032</u>
PHONE	<u>972-672-7978</u>	PHONE	<u>972-672-7978</u>
E-MAIL	<u>oskevest95@yahoo.com</u>	E-MAIL	<u>oskevest95@yahoo.com</u>

NOTARY VERIFICATION [REQUIRED]

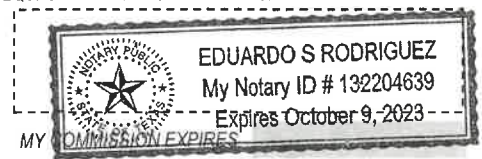
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kevin Osornio [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 43.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF February 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17 DAY OF February 2023

OWNER'S SIGNATURE: _____

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS: _____



0 5 10 20 30 40 Feet

Z2023-013: SUP for Residential Infill at 118 Blanche Drive



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.

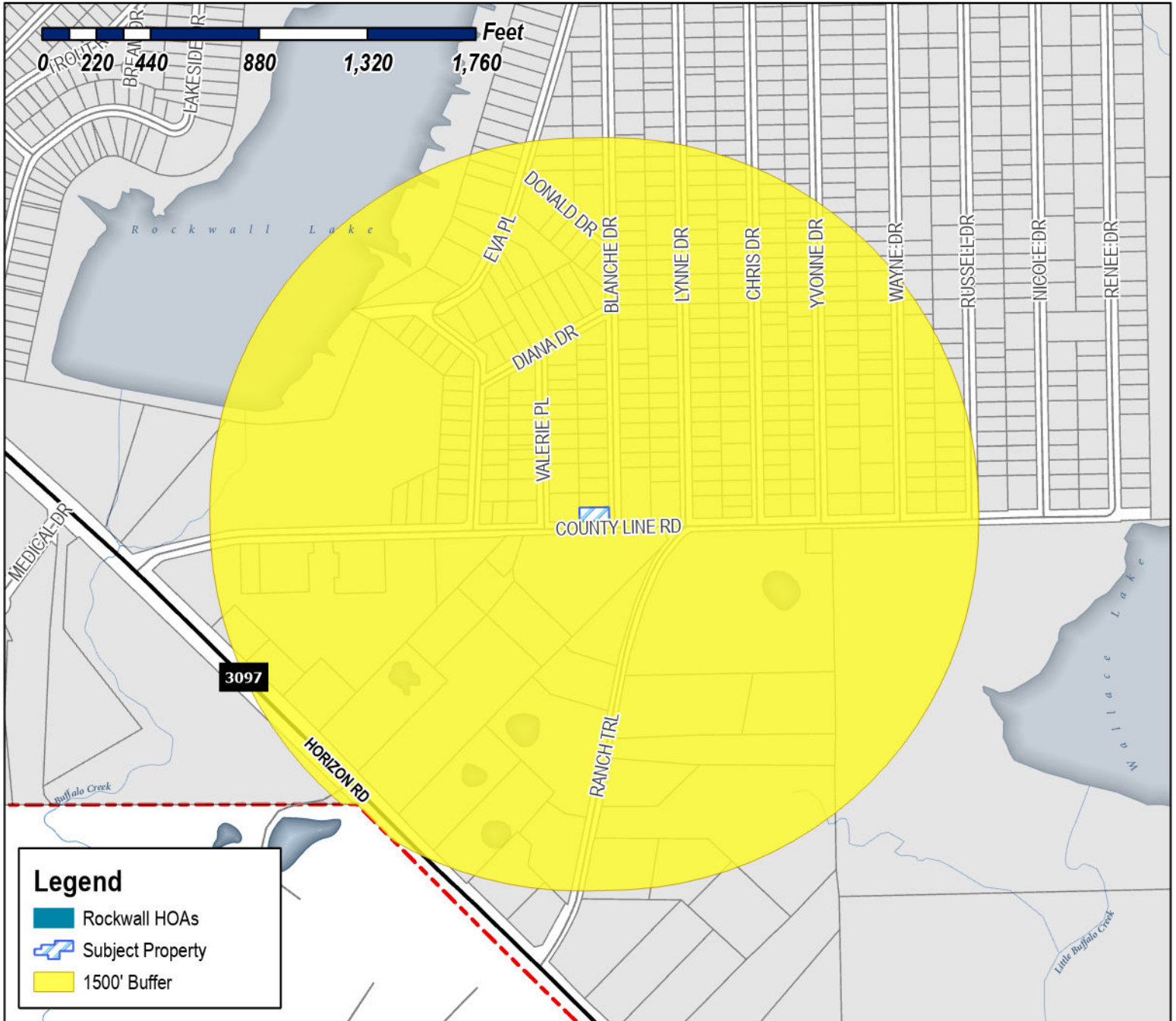




City of Rockwall

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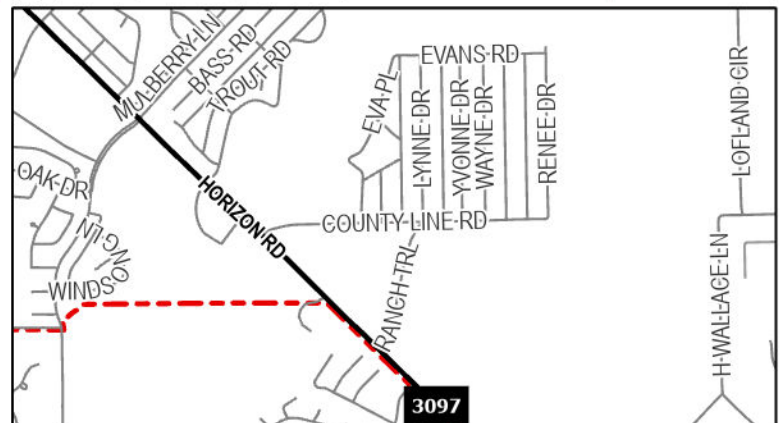


Legend

-  Rockwall HOAs
-  Subject Property
-  1500' Buffer

Case Number: Z2023-013
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development 75 (PD-75) District
Case Address: 118 Blanche Drive

Date Saved: 2/17/2023
 For Questions on this Case Call (972) 771-7745

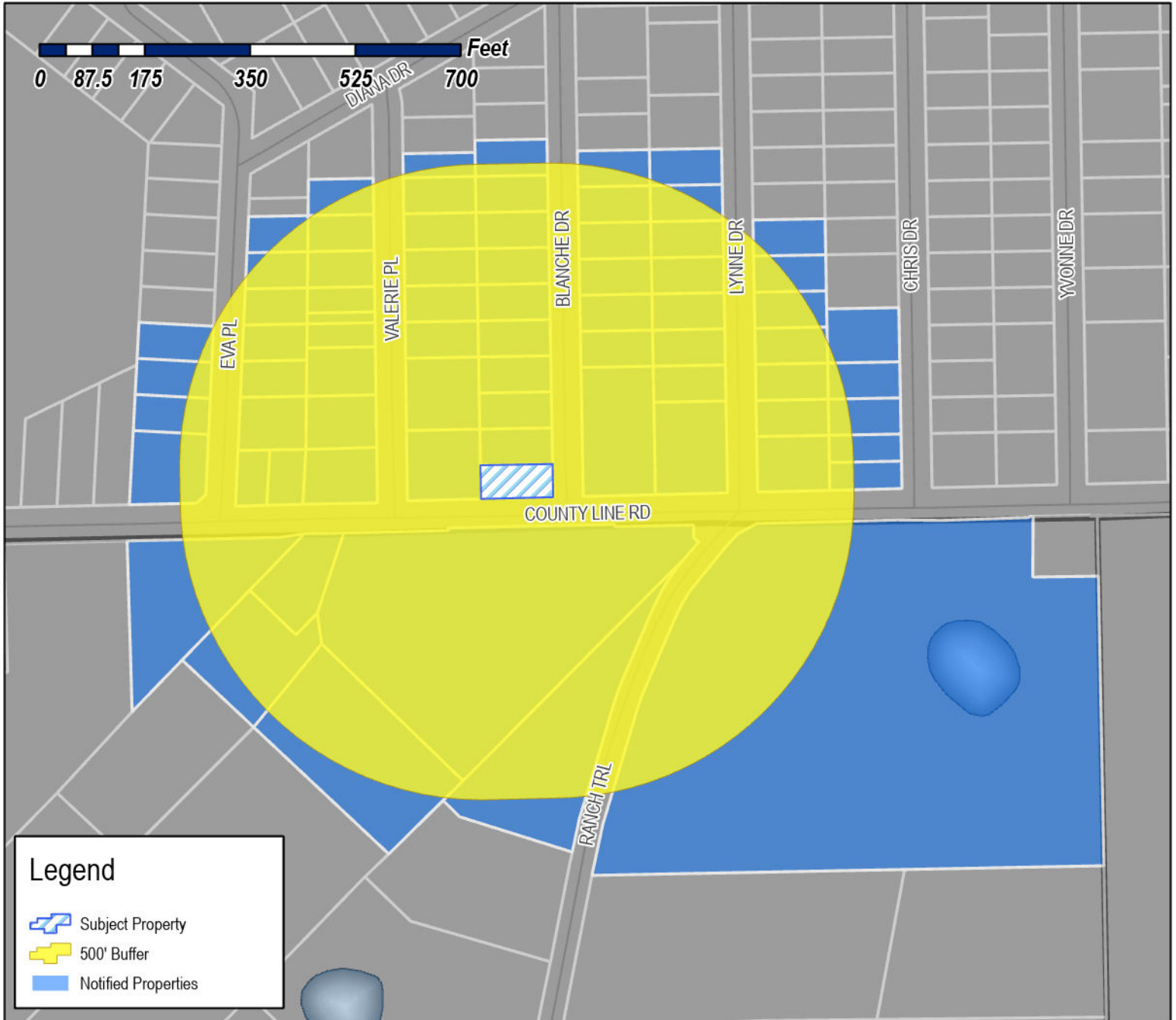




City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
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Case Number: Z2023-013
Case Name: SUP for Residential Infill
Case Type: Zoning
Zoning: Planned Development 75 (PD-75) District
Case Address: 118 Blanche Drive

Date Saved: 2/17/2023

For Questions on this Case Call: (972) 771-7746



OCCUPANT
121 LYNNE DR
ROCKWALL, TX
75032

MAYES CHRISTOPHER
210 CARRIAGE HILL LN
HEATH, TX
75032

OCCUPANT
112 CHRIS DR
ROCKWALL, TX
75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
787 HAIL DRIVE
ROCKWALL, TX
75032

OCCUPANT
131 LYNNE DR
ROCKWALL, TX
75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX
75032

OCCUPANT
130 CHRIS DR
ROCKWALL, TX
75032

CARES HOME BUILDER INC
705 LAKESIDE DR
ROCKWALL, TX
75032

OCCUPANT
144 LYNNE DR
ROCKWALL, TX
75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX
75032

OCCUPANT
143 LYNNE DR
ROCKWALL, TX
75032

DIAZ JOSE LUIS
494 LYNNE DR
ROCKWALL, TX
75032

SANCHEZ ROSA &
ISMAEL PALACIOS
140 CHRIS DR
ROCKWALL, TX
75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX
75032

OCCUPANT
154 LYNNE DR
ROCKWALL, TX
75032

MBA CUSTOM HOMES LLC
430 RENEE DRIVE
ROCKWALL, TX
75032

PEREZ GILBERTO AND
JUANITA PEREZ
157 LYNNE DR
ROCKWALL, TX
75032

URBINA ARACELI C
209 BLANCHE DR
ROCKWALL, TX
75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX
75032

TEPOX FABIOLA DOMINGUEZ
159 VALERIE PL
ROCKWALL, TX
75032

OCCUPANT
149 VALERIE PL
ROCKWALL, TX
75032

HERNANDEZ SONIA BETANCOURT
134 YVONNE DR
ROCKWALL, TX
75032

GARCIA JOSE
195 BLANCHE DR
ROCKWALL, TX
75032

OCCUPANT
204 LYNNE DR
ROCKWALL, TX
75032

CRUZ MARIA D AND IGNACIO D
212 LYNNE DR
ROCKWALL, TX
75032

RAMIREZ PETRA
384 COUNTY LINE RD
ROCKWALL, TX
75032

MONTELONGO MOISES
135 EVA PL
ROCKWALL, TX
75032

OCCUPANT
810 E. DOUGHERTY DR
GARLAND, TX
75041

PAVON MARISOL
132 VALERIE PL
ROCKWALL, TX
75032

OCCUPANT
178 VALERIE PL
ROCKWALL, TX
75032

MAZARIEGOS EDGAR & SONIA I
3248 BLACKLAND RD
ROYSE CITY, TX
75189

MORALES RAMIRO JR
173 EVA PL
ROCKWALL, TX
75032

TOVAR JUAN GABRIEL
202 VALERIE PL
ROCKWALL, TX
75032

CASTANEDA AARON JAIME CHAPELA
154 EVA PL
ROCKWALL, TX
75032

DEL RIO ALBERTO & MONICA
162 EVA PL
ROCKWALL, TX
75032

OCCUPANT
420 COUNTY LINE RD
ROCKWALL, TX
75032

NAVA GUILLIERMO & VANESSA
1167 SMITH ACRES DR
ROYSE CITY, TX
75189

HERNANDEZ JOSE O AND MIRIAM G
SALAZAR AND
JESUS HERNANDEZ SALAZAR
164 LYNNE DR
ROCKWALL, TX
75032

GOMEZ ALEJANDRO
175 BLANCHE DR
ROCKWALL, TX
75032

PALACIOS ARIEL
178 LYNNE DR
ROCKWALL, TX
75032

OCCUPANT
179 LYNNE DR
ROCKWALL, TX
75032

CRUZ IGNACIO
212 LYNNE DR
ROCKWALL, TX
75032

OCCUPANT
185 BLANCHE DR
ROCKWALL, TX
75032

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX
75089

OCCUPANT
192 LYNNE DR
ROCKWALL, TX
75032

GUTIERREZ DONATILO & BLANCA
6514 BUNKER HILL CT
ROWLETT, TX
75089

RETANA JOSE L
187 LYNNE DR
ROCKWALL, TX
75032

OCCUPANT
187 VALERIE PL
ROCKWALL, TX
75032

CARMONA JOSE ROBERTO &
MARIA BLANCA RESENDIZ
397 CHRIS DR
ROCKWALL, TX
75032

ALVAREZ FRANCISCO J
190 BLANCHE DR
ROCKWALL, TX
75032

CANADY JERRY ANN
199 VALERIE PL
ROCKWALL, TX
75032

ARROYO MARGARITO &
LUCIA ARROYO-ESPINOSA
202 BLANCHE DR
ROCKWALL, TX
75032

OCCUPANT
115 EVA PL
ROCKWALL, TX
75032

SILVA JUAN C
8766 CR 2586
ROYSE CITY, TX
75189

OCCUPANT
109 BLANCHE DR
ROCKWALL, TX
75032

VARGAS RICARDO
149 BLANCHE DR
ROCKWALL, TX
75032

OCCUPANT
124 LYNNE DR
ROCKWALL, TX
75032

FERNANDEZ URBANO
1235 VZ CR3425
WILLS POINT, TX
75169

VARGAS RICARDO
163 BLANCHE DR
ROCKWALL, TX
75032

OCCUPANT
144 BLANCHE DR
ROCKWALL, TX
75032

GARCIA MARTIN
590 SUN VALLEY DR
ROYSE CITY, TX
75189

VAZQUEZ RAMON LOPEZ
156 BLANCHE DR
ROCKWALL, TX
75032

OCCUPANT
168 BLANCHE DR
ROCKWALL, TX
75032

PALICIOS MARIA
365 LYNNE DR
ROCKWALL, TX
75032

ORTEGA RUBEN
187 EVA PL
ROCKWALL, TX
75032

HERNANDEZ BENJAMIN AND
172 VALERIE PL
ROCKWALL, TX
75032

OCCUPANT
168 VALERIE PL
ROCKWALL, TX
75032

CITY OF ROCKWALL
385 S GOLIAD ST
ROCKWALL, TX
75087

OCCUPANT
209 VALERIE PL
ROCKWALL, TX
75032

CANADY JERRY ANN
199 VALERIE PLACE
ROCKWALL, TX
75032

OCCUPANT
137 VALERIE PL
ROCKWALL, TX
75032

MOONEY GERALD M & JEWELL F REV LIV TR
6379 KLONDIKE RD
RIPLEY, NY
14775

SALAS ALBERTO R & ADELA A
109 VALERIE PL
ROCKWALL, TX
75032

OCCUPANT
118 BLANCHE DR
ROCKWALL, TX
75032

GALLEGOS JOSE GUADALUPE
212 LYNNE DR
ROCKWALL, TX
75032

OCCUPANT
120 BLANCHE DR
ROCKWALL, TX
75032

ROCKWALL LAKE PROPERTIES
5713 SECREST CT
GOLDEN, CO
80403

OCCUPANT
132 BLANCHE DR
ROCKWALL, TX
75032

FLORES DAYANARA &
JAMES GLEASON
611 MEADOW DR
ROCKWALL, TX
75032

CARDENAS IGNACIO
147 EVA PL
ROCKWALL, TX
75032

OCCUPANT
214 BLANCHE DR
ROCKWALL, TX
75032

SALAS HECTOR JABIER & CAROLINA ORTIZ
1000 W YELLOWJACKET LANE APT 2507
ROCKWALL, TX
75087

OCCUPANT
175 VALERIE PL
ROCKWALL, TX
75032

LOC PHU AND VINCENT TONG
1414 BUFFALO WOODS CT
KATY, TX
77494

OCCUPANT
178 BLANCHE DR
ROCKWALL, TX
75032

OLIVARES JAIME
1209 QUAIL DR
GARLAND, TX
75040

OCCUPANT
197 EVA PL
ROCKWALL, TX
75032

MEJIA JULIO & MARIA
176 RENEE DR
ROCKWALL, TX
75032

JIMENEZ HERIBERTO FERRER AND
CRISTINA MORENO SALAZAR
192 VALERIE PL
ROCKWALL, TX
75032

OCCUPANT
411 COUNTY LINE RD
ROCKWALL, TX
75032

RAMIREZ RAUL & TERESA
358 TROUT ST
ROCKWALL, TX
75032

RAMIREZ RAUL
358 TROUT ST
ROCKWALL, TX
75032

MIRELES RAYMUNDO
124 EVA PL
ROCKWALL, TX
75032

OCCUPANT
146 EVA
ROCKWALL, TX
75032

SILVA BERTHA
1041 E FM 552
ROCKWALL, TX
75087

OCCUPANT
505 COUNTY LINE RD
ROCKWALL, TX
75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX
75230

MEZA FRANKIE LYNN AND
MIRNA YADIRA GARCIA ZAPATA
150 CHRIS DR
ROCKWALL, TX
75032

CHEPETLA ANTHONY
167 LYNNE DR
ROCKWALL, TX
75032

OCCUPANT
367 COUNTY LINE RD
ROCKWALL, TX
75032

PROSPECT PLUMBING INC
313 HARBOR LANDING DRIVE
ROCKWALL, TX
75032

MORALES RAMIRO JR
159 EVA PL
ROCKWALL, TX
75032

VALDEZ MARY ESTHER
148 VALERIE PL
ROCKWALL, TX
75032

DURAN ROCIO
160 VALERIE PL
ROCKWALL, TX
75032

OCCUPANT
505 COUNTY LINE RD
ROCKWALL, TX
75032

BIG LEAGUE SPORTS ACADEMY INC
5508 FOREST LANE
DALLAS, TX
75230

OCCUPANT
382 RANCH TRL
ROCKWALL, TX
75032

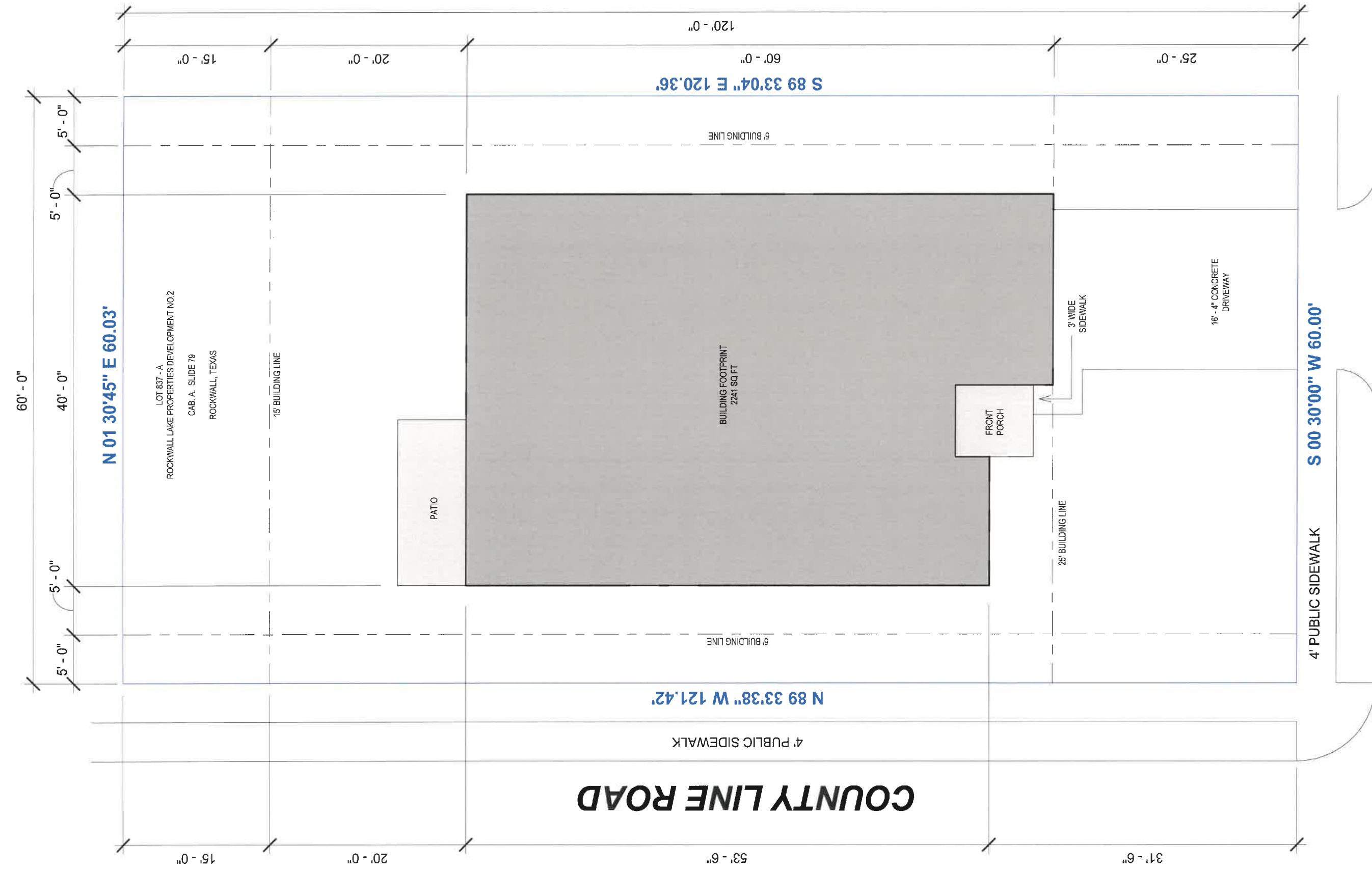
C2LA LLC
525 E CENTERVILLE ROAD
GARLAND, TX
75041

OCCUPANT
405 RANCH TRL
ROCKWALL, TX
75032

RANCH TRAIL VENTURES LLC
315 RANCH TRAIL
ROCKWALL, TX
75032

ROCKWALL HOUSING DEVELOPMENT
CORPORATION
124 CHRIS DR
ROCKWALL, TX
75032

OCCUPANT
787 HAIL DRIVE
ROCKWALL, TX
75032



BLANCHE DR.

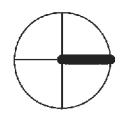
1 118 BLANCHE DR. - SITE PLAN
1" = 10'-0"

limón

118 BLANCHE DR.
ROCKWALL, TX

Daisy Limon
469.441.0924
2702 Briarbrook Ln. Garland, TX 75040
daisy.limon96@gmail.com

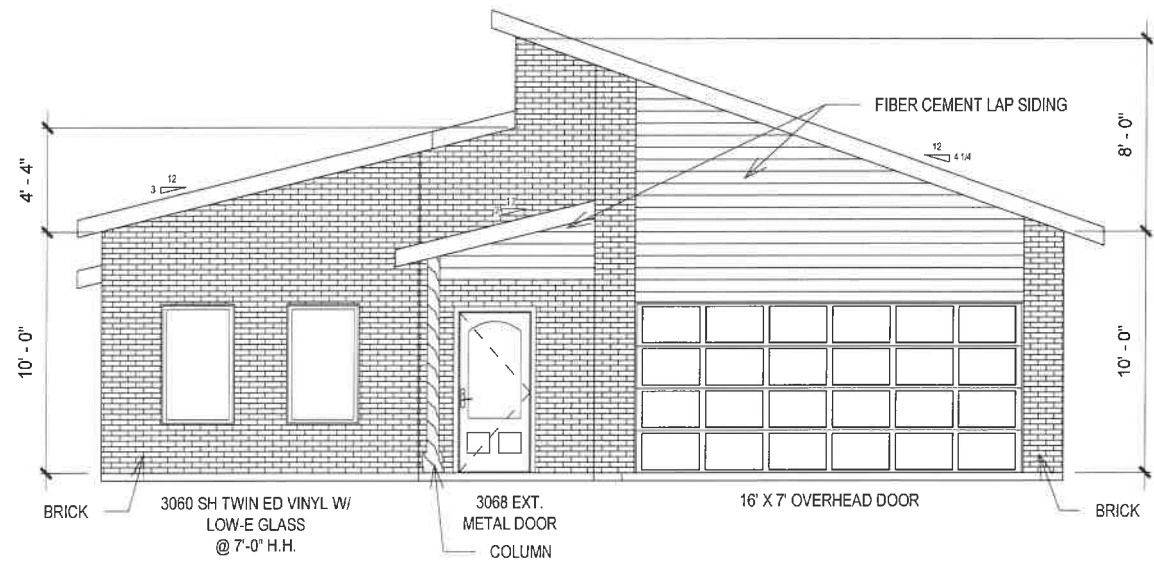
DESIGNER:
Daisy Limon
OWNER:
OCTAVIO GALLEGOS



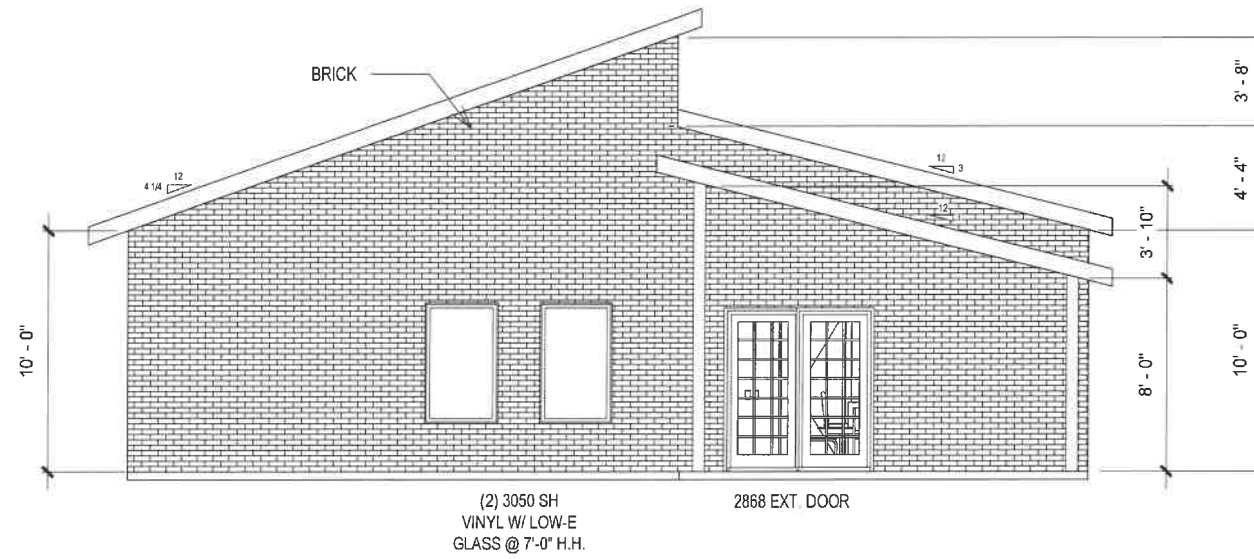
PROJECT NO 11.01
DATE 05/22/2022

Site Plan

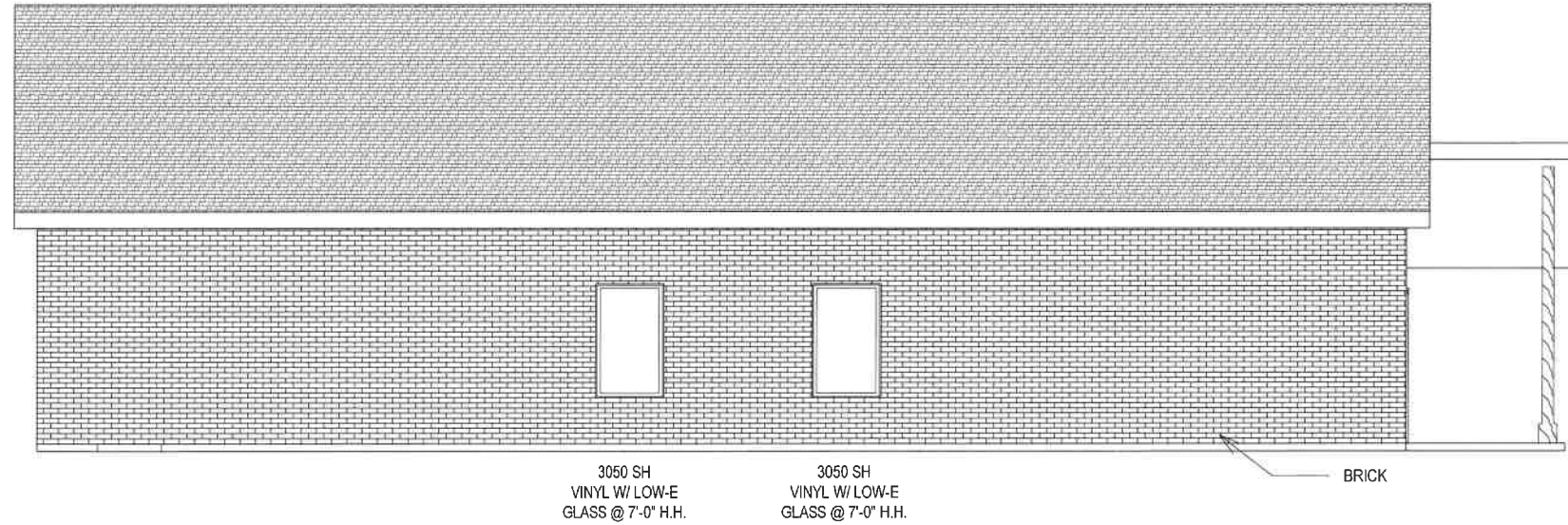
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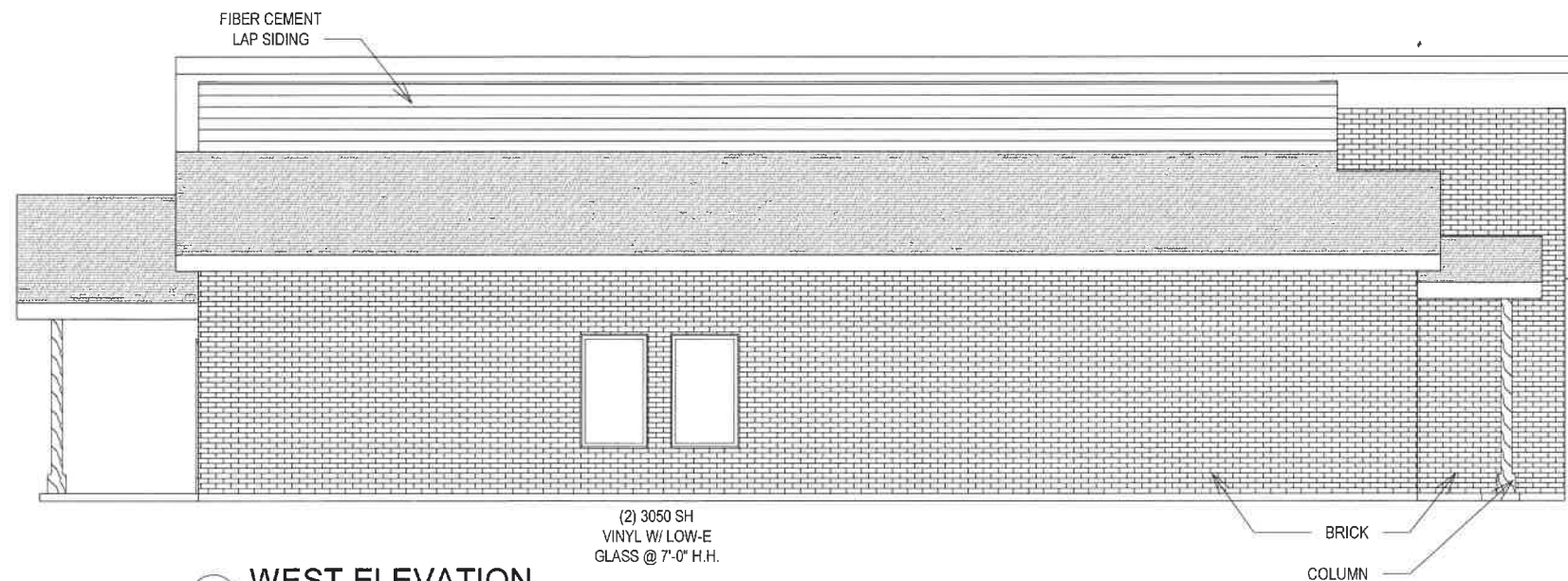
4 FRONT ELEVATION
1/8" = 1'-0"



3 REAR ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"

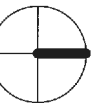
limón

118 BLANCHE DR.
ROCKWALL, TX

Daisy Limon
469.441.0924
2702 Briarbrook Ln. Garland, TX 75040
daisy.limon96@gmail.com

DESIGNER:
Daisy Limon

OWNER:
OCTAVIO GALLEGOS



PROJECT NO 11.01

DATE 05/22/2022

Elevations

A-105



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

ADJACENT HOUSING ATTRIBUTES

ADDRESS	HOUSING TYPE	YEAR BUILT	HOUSE SF	EXTERIOR MATERIALS	ACCESSORY BUILDING
118 Blanche Drive	Subject Property	N/A	2246	Brick	N/A
120 Blanche Drive	N/A	N/A	N/A	N/A	N/A
132 Blanche Drive	Modular Home	2001	1716	Metal	N/A
144 Blanche Drive	Modular Home	1979	784	Metal	N/A
156 Blanche Drive	Modular Home	Not Found	Nof Found	Modular Panels	Not Found
168 Blanche Drive	Modular Home	1980	840	Metal	80
178 Blanche Drive	Modular Home	Not Found	Nof Found	Metal	Not Found
190 Blanche Drive	Modular Home	1960	1056	Modular Panels	48
202 Blanche Drive	Modular Home	1994	1568	Modular Panels	N/A
214 Blanche Drive	Not Found	Not Found	Not Found	Not Found	Not Found
226 Blanche Drive	Modular Home	2017	1456	Metal	N/A
238 Blanche Drive	Modular Home	Not Found	Not Found	Metal	Not Found
Averages		1989	1381		64



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



118 Blanche Drive



120 Blanche Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



132 Blanche Drive



144 Blanche Drive



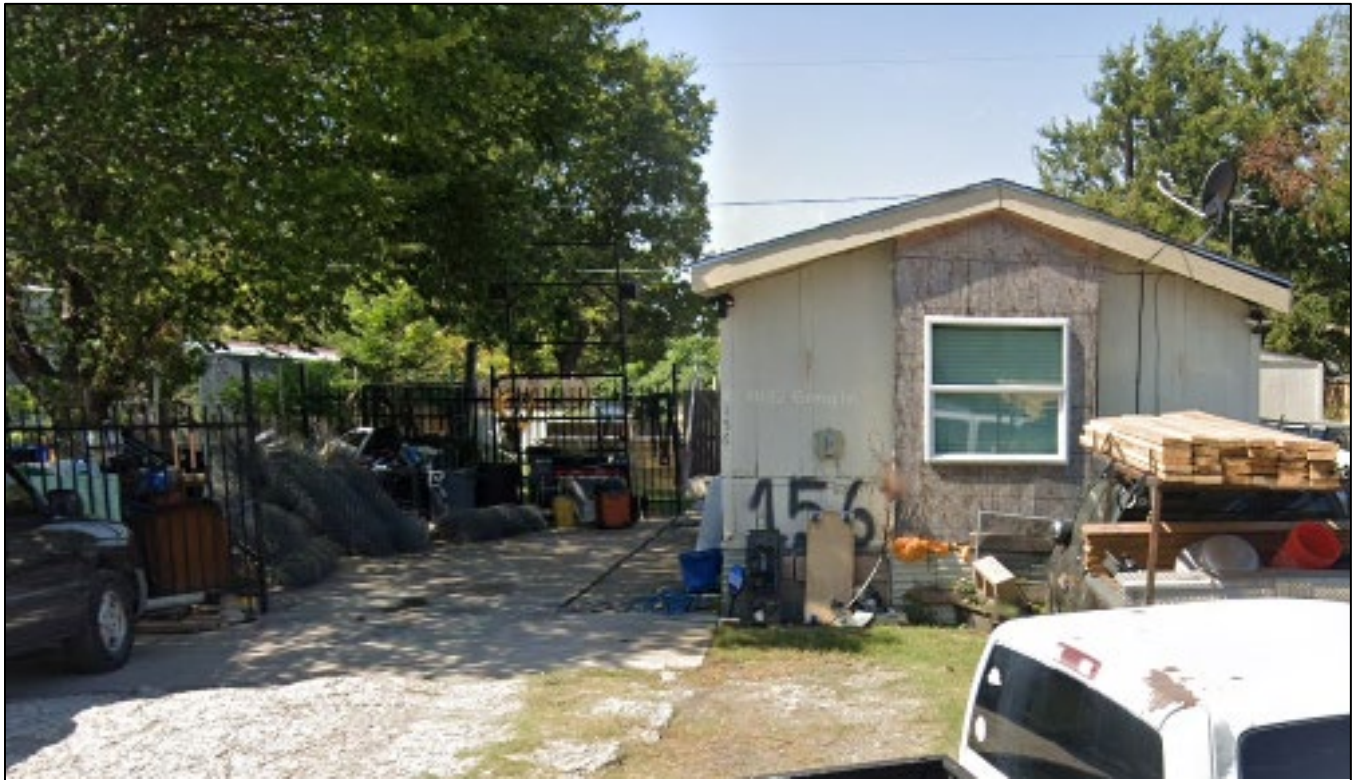
CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-013

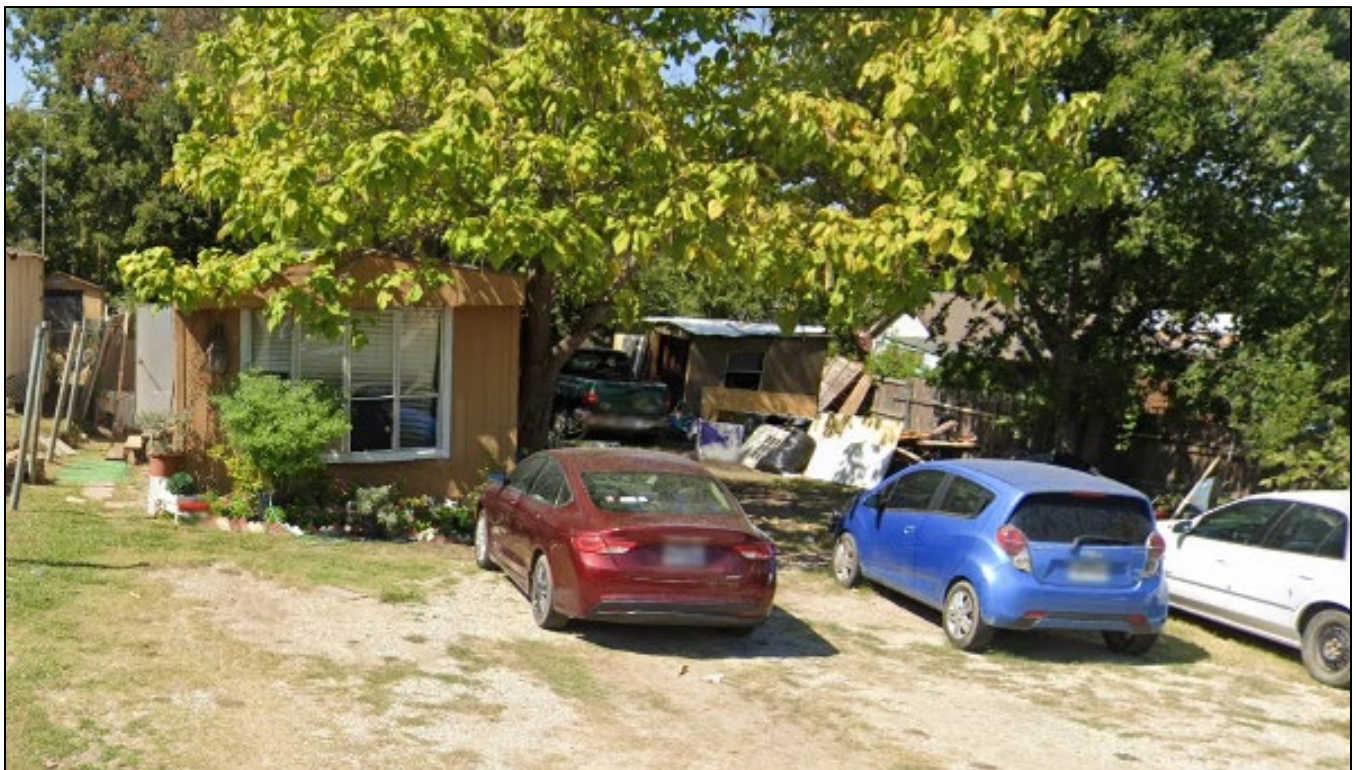
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



156 Blanche Drive



168 Blanche Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



178 Blanche Drive



190 Blanche Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-013

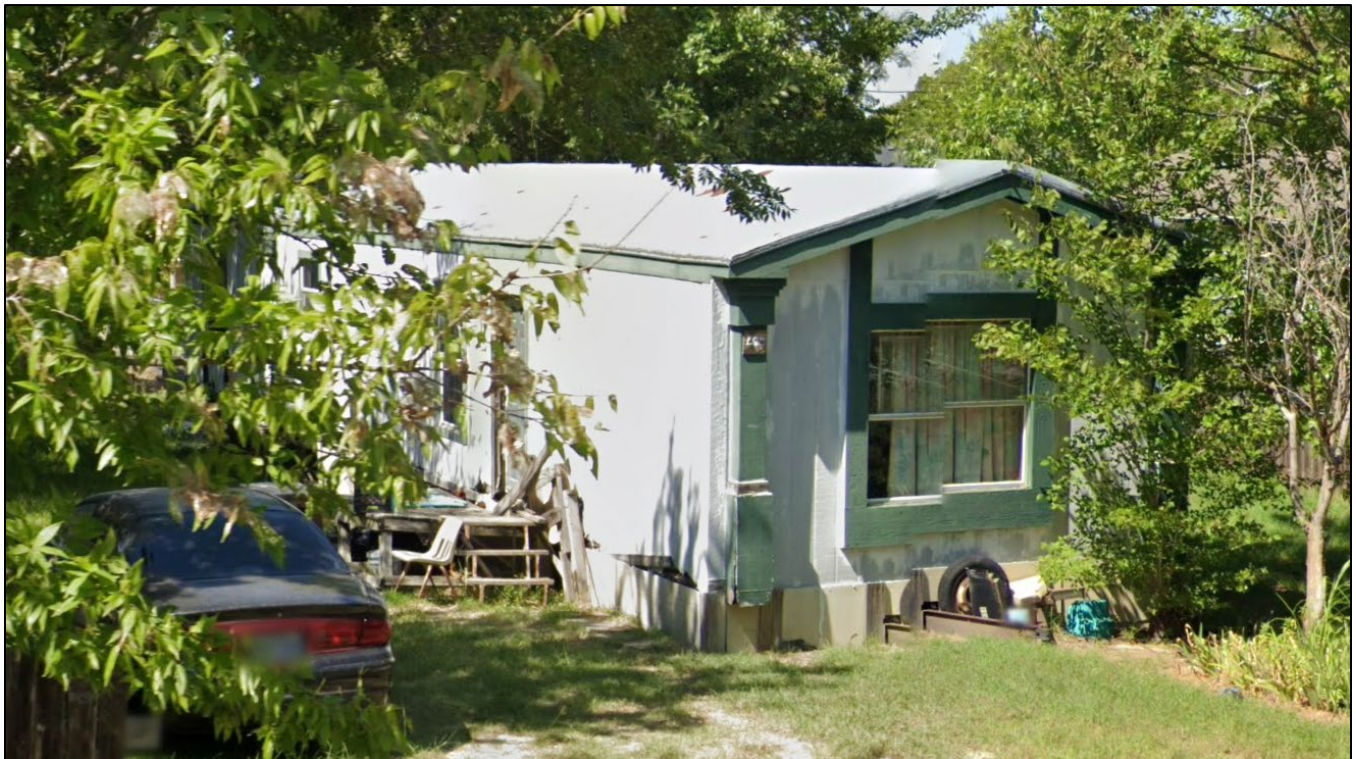
PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



202 Blanche Drive



214 Blanche Drive



CITY OF ROCKWALL

HOUSING ANALYSIS FOR CASE NO. Z2023-013

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM



226 Blanche Drive



238 Blanche Drive

CITY OF ROCKWALL

ORDINANCE NO. 23-XX

SPECIFIC USE PERMIT NO. S-2XX

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS, AMENDING PLANNED DEVELOPMENT DISTRICT 75 (PD-75) [ORDINANCE NO. 16-01] AND THE UNIFIED DEVELOPMENT CODE (UDC) [ORDINANCE NO. 20-02] OF THE CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS, AS PREVIOUSLY AMENDED, SO AS TO GRANT A SPECIFIC USE PERMIT (SUP) FOR *RESIDENTIAL INFILL IN AN ESTABLISHED SUBDIVISION* TO ALLOW THE CONSTRUCTION OF A SINGLE-FAMILY HOME ON A 0.1650-ACRE PARCEL OF LAND, IDENTIFIED AS LOT 847A OF THE LAKE ROCKWALL ESTATES #2 ADDITION, CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS; AND MORE SPECIFICALLY DESCRIBED AND DEPICTED IN *EXHIBIT 'A'* OF THIS ORDINANCE; PROVIDING FOR SPECIAL CONDITIONS; PROVIDING FOR A PENALTY OF FINE NOT TO EXCEED THE SUM OF TWO THOUSAND DOLLARS (\$2,000.00) FOR EACH OFFENSE; PROVIDING FOR A SEVERABILITY CLAUSE; PROVIDING FOR A REPEALER CLAUSE; PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City has received a request by Kevin Osornio of MBA Custom Homes for the approval of a *Specific Use Permit (SUP) for Residential Infill in an Established Subdivision* for the purpose of constructing a single-family home on a 0.1650-acre parcel of land identified as Lot 837A of the Lake Rockwall Estates #2 Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 75 (PD-75) for Single-Family 7 (SF-7) District land uses, addressed as 118 Blanche Drive, and being more specifically described and depicted in *Exhibit 'A'* of this ordinance, which herein after shall be referred to as the *Subject Property* and incorporated by reference herein; and

WHEREAS, the Planning and Zoning Commission of the City of Rockwall and the governing body of the City of Rockwall, in compliance with the laws of the State of Texas and the ordinances of the City of Rockwall, have given the requisite notices by publication and otherwise, and have held public hearings and afforded a full and fair hearing to all property owners generally, and to all persons interested in and situated in the affected area and in the vicinity thereof, the governing body in the exercise of its legislative discretion has concluded that Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall should be amended as follows:

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Rockwall, Texas;

SECTION 1. That Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and the Unified Development Code (UDC) [*Ordinance No. 20-02*] of the City of Rockwall, as heretofore amended, be and the same is hereby amended so as to grant a Specific Use Permit (SUP) for *Residential Infill in an Established Subdivision* to allow for the construction of a single-family home in an established subdivision in accordance with Article 04, *Permissible Uses*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] on the *Subject Property*; and,

SECTION 2. That the Specific Use Permit (SUP) shall be subject to the requirements set forth in Planned Development District 75 (PD-75) [*Ordinance No. 16-01*] and Subsection 03.01, *General Residential District Standards*, and Subsection 03.09, *Single-Family 7 (SF-7) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*] -- as heretofore amended and may be amended in the future -- and with the following conditions:

2.1 OPERATIONAL CONDITIONS

The following conditions pertain to the construction of a single-family home on the *Subject Property* and conformance to these operational conditions are required:

- 1) The development of the *Subject Property* shall generally conform to the *Residential Plot Plan* as depicted in *Exhibit 'B'* of this ordinance.
- 2) The construction of a single-family home on the *Subject Property* shall generally conform to the *Building Elevations* depicted in *Exhibit 'C'* of this ordinance.
- 3) Once construction of the single-family home has been completed, inspected, and accepted by the City of Rockwall, this Specific Use Permit (SUP) shall expire, and no further action by the property owner shall be required.

2.2 COMPLIANCE

Approval of this ordinance in accordance with Subsection 02.02, *Specific Use Permits (SUP)* of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC) will require the *Subject Property* to comply with the following:

- 1) Upon obtaining a *Building Permit*, should the contractor operating under the guidelines of this ordinance fail to meet the minimum operational requirements set forth herein and outlined in the Unified Development Code (UDC), the City may (*after proper notice*) initiate proceedings to revoke the Specific Use Permit (SUP) in accordance with Subsection 02.02(F), *Revocation*, of Article 11, *Development Applications and Revision Procedures*, of the Unified Development Code (UDC) [*Ordinance No. 20-02*].

SECTION 3. That the official zoning map of the City be corrected to reflect the changes in zoning described herein.

SECTION 4. That all ordinances of the City of Rockwall in conflict with the provisions of this ordinance be, and the same are hereby repealed to the extent of that conflict.

SECTION 5. Any person, firm, or corporation violating any of the provisions of this ordinance shall be deemed guilty of a misdemeanor and upon conviction shall be punished by a penalty of fine not to exceed the sum of *TWO THOUSAND DOLLARS (\$2,000.00)* for each offence and each and every day such offense shall continue shall be deemed to constitute a separate offense.

SECTION 6. If any section or provision of this ordinance or the application of that section or provision to any person, firm, corporation, situation or circumstance is for any reason judged invalid, the adjudication shall not affect any other section or provision of this ordinance or the application of any other section or provision to any other person, firm, corporation, situation or circumstance, and the City Council declares that it would have adopted the valid portions and applications of the

ordinance without the invalid parts and to this end the provisions of this ordinance shall remain in full force and effect.

SECTION 7. That this ordinance shall take effect immediately from and after its passage.

**PASSED AND APPROVED BY THE CITY COUNCIL OF THE CITY OF ROCKWALL, TEXAS,
THIS THE 3RD DAY OF APRIL, 2023.**

Kevin Fowler, *Mayor*

ATTEST:

Kristy Teague, *City Secretary*

APPROVED AS TO FORM:

Frank J. Garza, *City Attorney*

1st Reading: March 20, 2023

2nd Reading: April 3, 2023

**Exhibit 'B':
Residential Plot Plan**

Address: 118 Blanche Drive

Legal Description: Lot 837A of the Lake Rockwall Estates #2 Addition



**Exhibit 'B':
Residential Plot Plan**

limón

118 BLANCHE DR.
ROCKWALL, TX

DESIGNER:
Daisy Limon
489-A118224
118 Blanche Dr., Rockwall, TX 75080
daisy.limon@gmail.com

OWNER:
SCOTT GALLEGOS

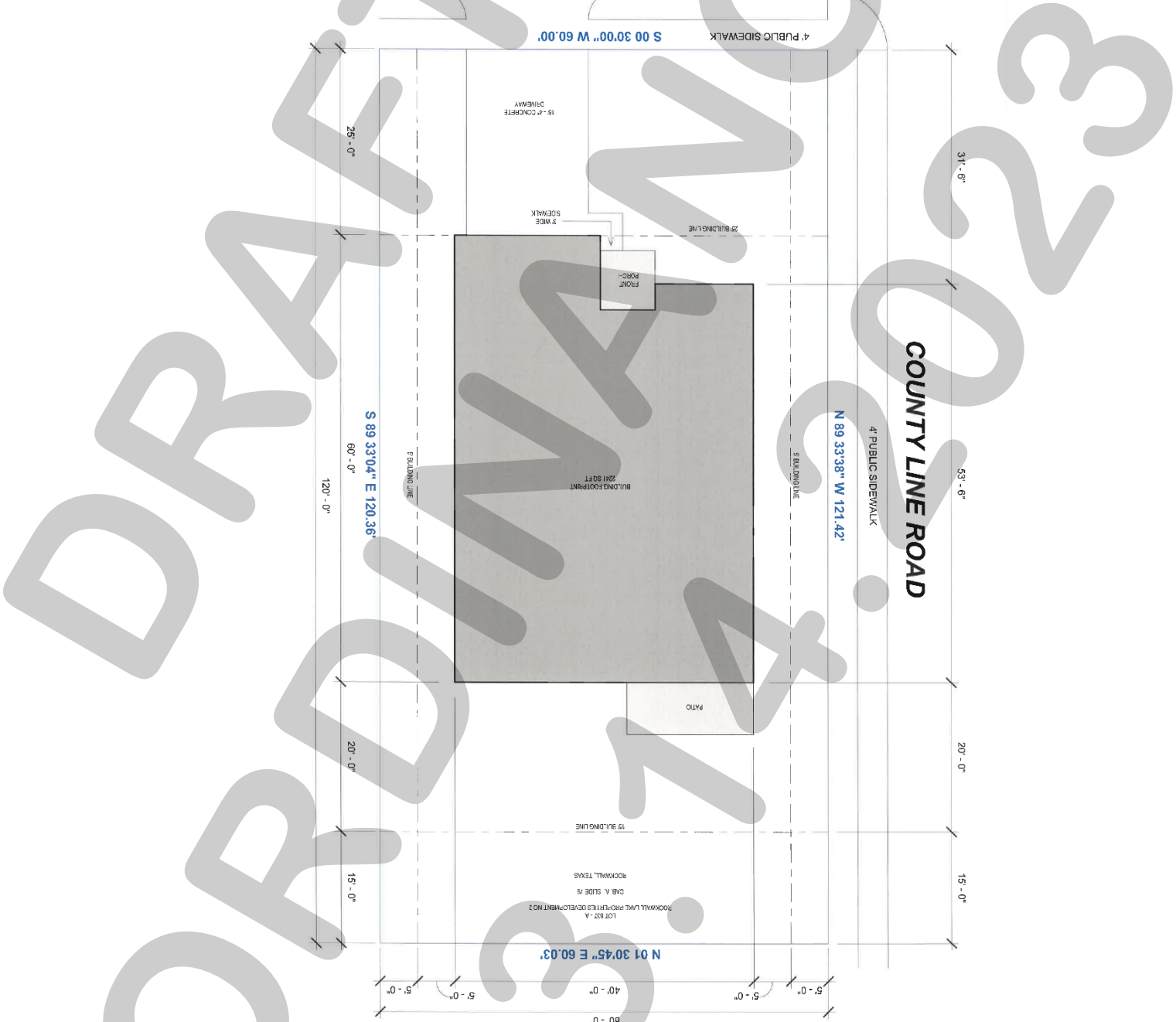


PROJECT NO. 11.01
DATE 05/22/2022

Site Plan

A-003

118 BLANCHE DR. - SITE PLAN
1" = 10'-0"



**Exhibit 'C':
Building Elevations**

limón

118 BLANCHE DR.
ROCKWALL, TX

DESY LITTON
2688411.0204
desly.litton@sumal.com

DESIGNER:
Desy Litton

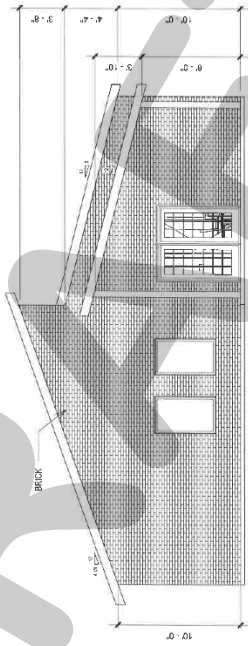
OWNER:
OCCAVO GOLF COURSE



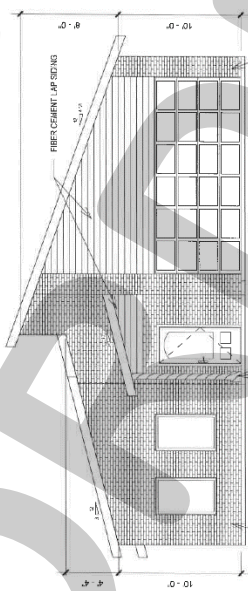
PROJECT NO. 11 01
DATE 06/27/2022

Elevations

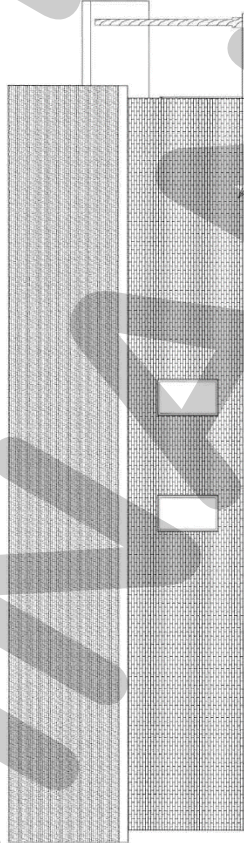
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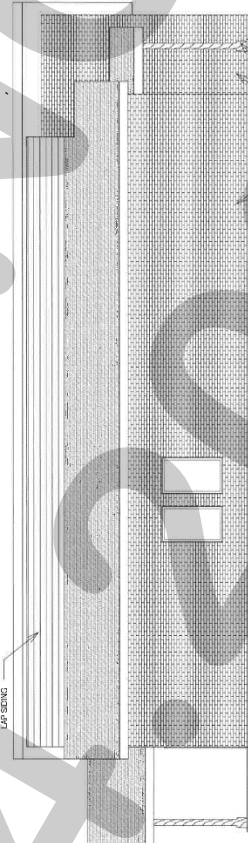
3 REAR ELEVATION
1/8" = 1'-0"



4 FRONT ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"



1 WEST ELEVATION
1/8" = 1'-0"



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 14, 2023
APPLICANT: Dylan Adame; *Kimley-Horn and Associates, Inc.*
CASE NUMBER: SP2023-006; *Amended Site Plan for STREAM*

SUMMARY

Discuss and consider a request by Dylan Adame of Kimley-Horn and Associates, Inc. on behalf of Grayson Hughes of Stream 1515 Corporate Crossing, LP for the approval of an Amended Site Plan for a *warehouse/distribution center facility* on a 43.237-acre parcel of land identified as Lot 1, Block A, Stream 549 Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, situated within the FM-549 Overlay (FM-549 OV) District, located east of the intersection of Corporate Crossing [FM-549] and Capital Boulevard, and take any action necessary.

BACKGROUND

The City Council approved *Ordinance No. 85-69* annexing the subject property on December 3, 1985. At the time of annexation, the subject property was zoned as Agricultural (AG) District. On July 6, 2021, the City Council approved *Ordinance No. 21-27 [Case No. Z2021-018]* changing the zoning from an Agricultural (AG) District to a Light Industrial (LI) District for the purpose of developing the subject property. On September 14, 2021, the Planning and Zoning Commission approved a site plan [Case No. SP2021-024] to allow the construction of a *warehouse/distribution center* on the subject property. On April 4, 2022, the City Council approved a final plat [Case No. P2022-011] that establish the subject property as Lot 1, Block A, Stream 549 Addition.

PURPOSE

On February 17, 2023, the applicant -- *Dylan Adame of Kimley-Horn and Associates, Inc.*-- requested the approval of an amended site plan for a ~301,120 SF *Warehouse/Distribution Center* for the purpose of adding additional outside storage areas in conjunction with a *Light Manufacturing* tenant.

ADJACENT LAND USES AND ACCESS

The subject property is located west of the intersection of Corporate Crossing [FM-549] and Capital Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property are several properties zoned Agricultural (AG) District and Light Industrial (LI) District (*i.e. Service King, Rockwall Kia, Lakeside Auto Auction, Pro Soap, Cavender's Boot City, Love's, etc.*), which are adjacent to the IH-30 Frontage Road. Beyond this are the eastbound frontage roads for IH-30, followed by the main lanes for IH-30, and the westbound frontage roads for IH-30.

South: Directly south of the subject property is the Phase 1 of the Rockwall Technology Park Addition, which is zoned Light Industrial (LI) District. This area includes several existing industrial and manufacturing businesses (*e.g. Rockwall Economic Development Corporation [REDC], Pegasus Foods, Interstate Wire Company, Lime Media, L-3 Communications, and etc.*). Adjacent to this portion of the Phase 1 of the Rockwall Technology Park Addition is Discovery Boulevard, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the continuation of the Phase 1 of the Rockwall Technology Park Addition, which includes several existing industrial and manufacturing businesses (*e.g. Fine Wire, Hatfield and Company, Specialty Products, and etc.*).

Following this is SH-276, which is identified as a TXDOT6D (i.e. a Texas Department of Transportation [TXDOT], six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Corporate Crossing [FM-3549], which is identified as a TXDOT4D (i.e. a Texas Department of Transportation [TXDOT], four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. East of and adjacent to Corporate Crossing [FM-3594] is Phase 4 of the Rockwall Technology Park Addition. This phase of the Technology Park includes a few tracts of vacant land and two (2) manufacturing businesses (i.e. Lolicup and Pratt Industries). These properties are zoned Light Industrial (LI) District. Beyond this are two (2) vacant tracts of land owned by the Rockwall Economic Development Corporation (i.e. Tract 6 [77.148-acres] and Tract 5 [60.3-acres], of the J. H. B. Jones Survey, Abstract No. 125) zoned Light Industrial (LI) District.

West: Directly west of the subject property is Rockwall Mini Storage (9.90-acres) and Park Place RV (4.9784-acres). Both properties are zoned Light Industrial (LI) District. Continuing east is Nissan of Rockwall (14.70-acres), which is zoned Commercial (C) District. Beyond this is John King Boulevard, which is identified as a P6D (i.e. principle arterial, six [6] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* and *Light Manufacturing* land uses are permitted by-right land uses in a Light Industrial (LI) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District and within the FM-549 Overlay (FM-549 OV) District with the exception of the item listed in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	43.3-Acres; In Conformance
<i>Minimum Lot frontage</i>	100-Feet	948-Feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	2,689-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	50-Feet [FM-549 OV]	106-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	20-Feet	650-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	15-Feet + ½ H>36	130-Feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	46-Feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	16%; In Conformance
<i>Minimum Masonry Requirement</i>	90%	X<90%; <i>Previously Approved</i>
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/1000 SF (302 Required)	x=302; In Conformance
<i>Minimum Stone Requirement</i>	20% Each Façade – Natural Stone	X<20%; <i>Previously Approved</i>
<i>Minimum Landscaping Percentage</i>	15%	15%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	x<90%; In Conformance

TREESCAPE PLAN

The Treescape Plan provided by the was approved as part of the previous site plan case [Case No. SP2021-024]. Staff reviewed the treescape plan and determined that no changes have been made and that this part of the request does not need approval from the Planning and Zoning Commission.

CONFORMANCE WITH THE CITY'S CODES

Subsection 05.02, *Light Industrial (LI) District*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), states that the "... Light Industrial (LI) District is a zoning district intended to create a limited industrial zone that provides for modern types of industrial land uses." In this case, the *Warehouse/Distribution Center* and *Light Manufacturing*

land uses are permitted by-right land uses in the Light Industrial (LI) District, and the facility has already been constructed based off of the previously approved site plan approval [Case No. SP2021-024].

The approved site plan [Case No. SP2021-024] had included the outside storage of service vehicles (*i.e. large semi-trucks and trailers*) screened with three (3) tiered screening and additional trees adjacent to the parking spaces. This provided better screening of -- *and in a closer proximity to* -- the vehicle storage areas. In addition to the three (3) tiered screening -- *and within the 50-foot landscape buffer along Corporate Crossing* -- the applicant provided two (2), four (4) inch caliper canopy trees, four (4) accent trees, and one (1) Cedar Tree per 100-feet of frontage. This provided additional screening for the site. In this case, the applicant is amending the approved site plan [Case No. SP2021-024] to include the outside storage of materials and silos. The applicant has indicated that the previously approved three (3) tiered screening and detention pond landscaping, coupled with the trees in the floodplain will provide all of the necessary screening for the added outside storage. That being said, Subsection 01.05. (E), *Outside Storage*, of Article 05, *District Development Standards*, of the UDC requires outside storage to be fully screened adjacent to the storage area; however, after review, the use of the floodplain vegetation as screening appears to meet the intent of the UDC and fully screens the outside storage areas from the north and west; however, the use of the floodplain vegetation as screening is a discretionary item for the Planning and Zoning Commission

The proposed site plan also generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, and the *General Overlay District Standards* of the Unified Development Code (UDC) with the exception of the *Exception* being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exception:

- (1) Outside Storage. Subsection 01.05.(E), *Outside Storage*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC) states that the "(o)utside storage of materials or vehicles shall be screened from all public streets, any residential zoning district or residentially used property, and parks and open space that abuts or is directly across a public street or alley from the subject property." In addition, the screening shall be "at least one (1) foot taller than the material or vehicles being stored... and have Canopy Trees on 20-foot centers" or utilize three (3) tiered screening. In this case, the applicant is requesting to utilize the existing floodplain vegetation that runs the length of the property on the north side to screen a portion of the outside storage. This will require an Exception from the Planning and Zoning Commission.

According to Section 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), unless otherwise specified by the UDC, "(a)n applicant may request the Planning and Zoning Commission grant an exception to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the...(UDC) would create an undue hardship. Requests for *Exceptions* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (*e.g. six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- is required for the approval of an exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan indicates that the subject property is located in the Technology District which is "...primarily characterized as an employment heavy district containing all phases of the Rockwall Economic Development Corporation's (REDC's) Technology Park, which supports a wide range of clean industrial businesses that help to diversify the City's tax base." Additionally, the *District Strategies* for the Technology District state that the City desires to "...preserve the current residential to non-residential land use ratio, encroachment of incompatible land uses (*e.g. residential, commercial, etc.*) should be discouraged in areas designated for *Technology/Employment Center* land uses." The District Strategies go on to state "(t)hese areas should be preserved for larger clean industrial businesses that can help to diversify the City's tax base."

According to the Comprehensive Plan, industrial developments should be adequately buffered and/or screened from residential land uses. In addition, the Comprehensive Plan states that “(b)uffers utilizing a combination of berms, landscaping and trees should be used for industrial properties that are adjacent to non-industrial land uses or agricultural land.” While the adjacent properties north of the subject property (*i.e.* 1810 E IH-30 and two [2] tracts of land [Tract 9-07 & Tract 9-08, of the J. Lockhart Survey, Abstract No. 134]) are zoned Agricultural (AG) District -- *which is considered to be a residential zoning district* -- the properties are considered legal non-conforming, and are developed with a non-residential land uses (*i.e.* Lakeside Auto Auction & a manufactured home sales lot). Additionally, the SWBC Rockwall Addition [PD-83] -- *which is located adjacent to the southwestern portion of the subject property* --, is zoned for multi-family residential land uses. These properties are naturally screened by the floodplain and trees that bisects these land uses from the proposed development. Based on these facts, the proposed operations of the *Warehouse/Distribution Center with Light Manufacturing* will have a minimal visual impact on adjacent properties.

ARCHITECTURAL REVIEW BOARD (ARB):

This property, being in the FM-549 Overlay (FM-549 OV) District, requires the review of the Architecture Review Board. On February 28, 2023, the Architecture Review Board (ARB) reviewed the proposed building elevations and made a motion to recommend approval of the site plan by a vote of 6-0, with Board Member Miller absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s request for an amended site plan for a *Warehouse/Distribution Center with Light Manufacturing*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of a building permit;
- (2) Any construction resulting from the approval of this Amended Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A **\$1,000.00** FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **1351 Corporate Crossing Rockwall, TX 75032**

SUBDIVISION **Platted - John Lockhard Survey Abstract No. 134** LOT **1** BLOCK **A**

GENERAL LOCATION **West of intersection of Corporate Crossing and Capital Blvd**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **LI** CURRENT USE **Undeveloped**

PROPOSED ZONING _____ PROPOSED USE **Warehouse**

ACREAGE **43.237 AC** LOTS [CURRENT] **N/A** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	Stream 1515 Corporate Crossing, L.P.	<input checked="" type="checkbox"/> APPLICANT	Kimley-Horn and Associates, Inc.
CONTACT PERSON	Grayson Hughes	CONTACT PERSON	Dylan Adame
ADDRESS	2001 Ross Avenue Suite 400	ADDRESS	13455 Noel Road Suite 700
CITY, STATE & ZIP	Dallas, TX 75201	CITY, STATE & ZIP	Dallas, TX 75240
PHONE	214-208-0519	PHONE	972-776-1769
E-MAIL	Grayson.Hughes@streamrealty.com	E-MAIL	dylan.adame@kimley-horn.com

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Grayson Hughes [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 100.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF February 2023. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16 DAY OF February, 2023

OWNER'S SIGNATURE

Grayson Hughes
Margarita Ruiz

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES Feb. 13, 2026

0 140 280 560 840 1,120 Feet

SP2023-006: Site Plan for Stream

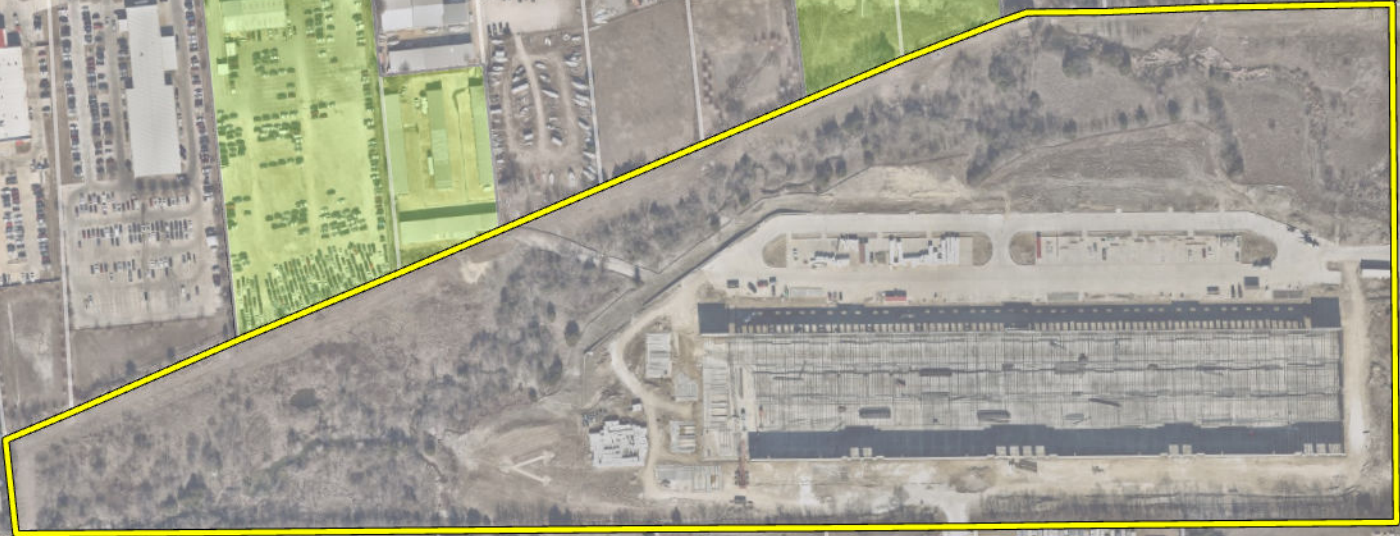
549

CONVEYOR ST

AG



C



LI

TECHNOLOGY WAY

OBSERVATION TRL

PD-83

INNOVATION DR

SCIENCE PL

DISCOVERY BLVD

CORPORATE CROSSING

Case Location Map =



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.





February 17, 2023

Mr. Ryan Miller
Planning Director
City of Rockwall
385 S. Goliad
Rockwall, TX 75087

Re: Amended Site Plan for 1515 Corporate Crossing

Mr. Miller:

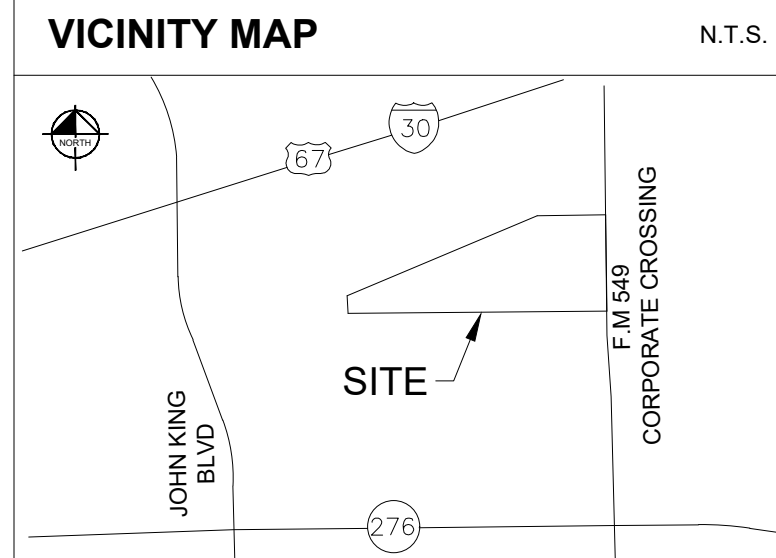
The Rockwall Economic Development Corporation (REDC) is pursuing an economic development attraction project that requires an amended site plan at 1515 Corporate Crossing. The project – codenamed Project Fulton – represents a publicly-traded international manufacturer that plans to open a new manufacturing facility in Rockwall. The new project will contribute to the REDC's mission by adding tens of millions of dollars of taxable investment to the Rockwall tax rolls and creating dozens of high-quality, high-wage manufacturing jobs for the area.

Project Fulton has been vetted by the REDC and has the unanimous support of the REDC Board of Directors. We are aware of the outside storage requirement and the installation of external raw material storage silos to accommodate the project's manufacturing process. Given 1515 Corporate Crossing's proximity to light industrial land use within the Rockwall Technology Park, the commercial land uses fronting I-30, and the significant landscape screening, the REDC supports the proposed modifications to the site plan.

We respectfully ask that the Planning & Zoning Commission consider approval of the amended site plan request. REDC staff will be in attendance at the P&Z work session along with representatives of the property ownership group in order to answer any questions the commissioners may have.

Sincerely,

Matt Wavering
Vice President



SITE PLAN SIGNATURE BLOCK

APPROVED: I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

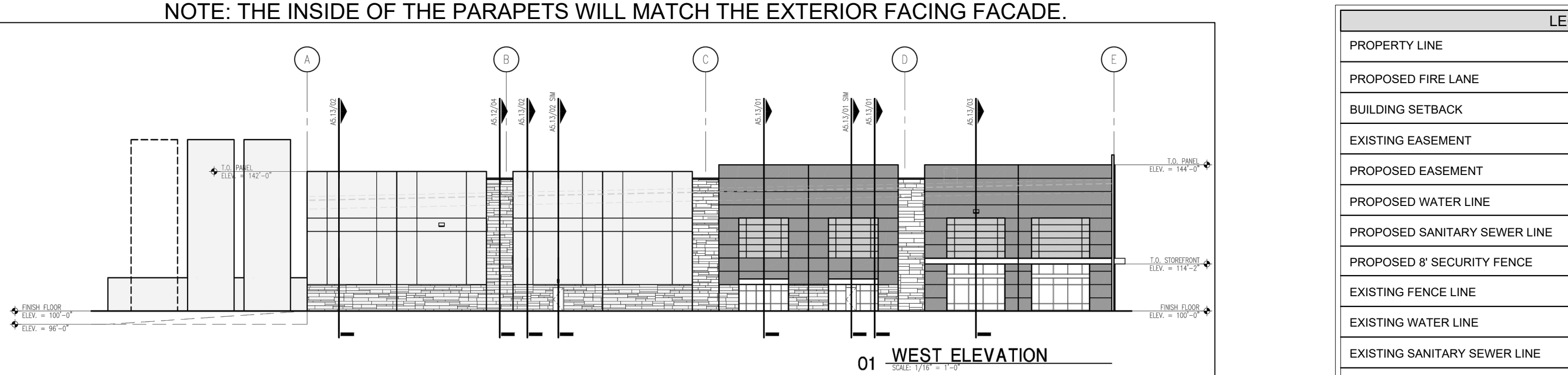
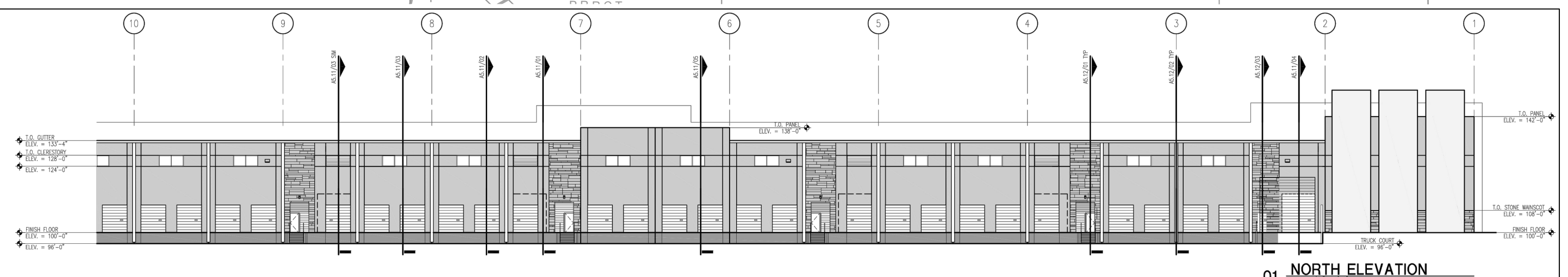
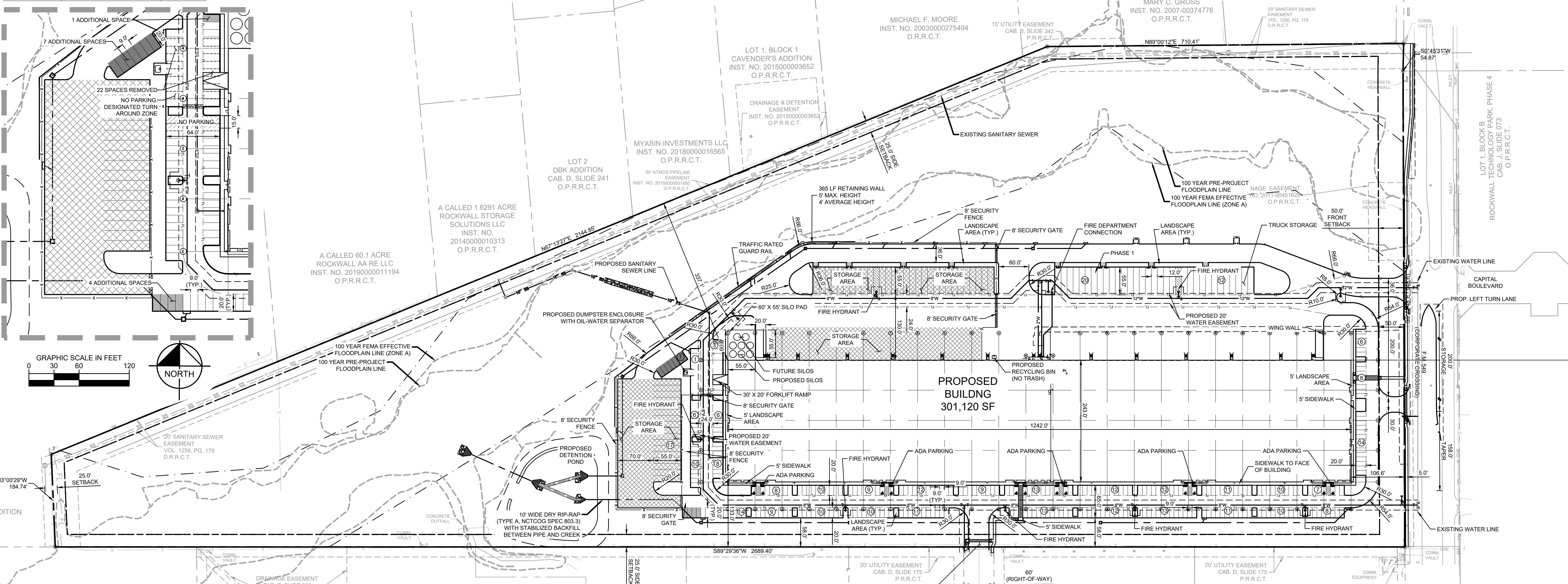
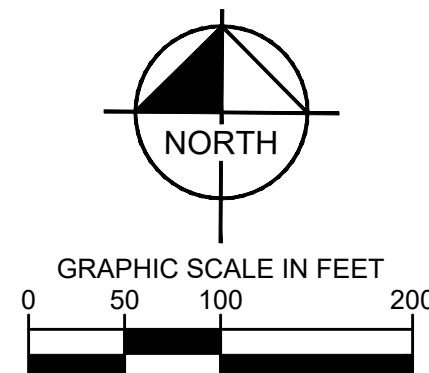
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

DEVELOPER

STREAM INDUSTRIAL DEVELOPMENT SERVICES
 CONTACT: BATES ARNOT
 2001 ROSS AVENUE, SUITE 400
 DALLAS, TEXAS 75201
 PHONE NUMBER: (214) 560-2433
 EMAIL: BATES.ARNOT@STREAMREALTY.COM

OWNER

STREAM 1515 CORPORATE CROSSING, L.P.
 CONTACT: GRAYSON HUGHES
 2001 ROSS AVENUE, SUITE 400
 DALLAS, TEXAS 75201
 PHONE NUMBER: (214) 208-0519
 EMAIL: GRAYSON.HUGHES@STEAMREALTY.COM



NOTE: THE INSIDE OF THE PARAPETS WILL MATCH THE EXTERIOR FACING FACADE.

LEGEND	
PROPERTY LINE	---
PROPOSED FIRE LANE	— FL — FL
BUILDING SETBACK	---
EXISTING EASEMENT	---
PROPOSED EASEMENT	---
PROPOSED WATER LINE	— W — W
PROPOSED SANITARY SEWER LINE	— SS — SS
PROPOSED 8" SECURITY FENCE	— X — X
EXISTING FENCE LINE	— X — X
EXISTING WATER LINE	— W — W
EXISTING SANITARY SEWER LINE	— SS — SS
EXISTING STORM DRAIN LINE	— SD — SD
EXISTING OVERHEAD ELECTRIC LINE	— OHE — OHE
EXISTING UNDERGROUND ELECTRIC LINE	— UGE — UGE
PROPOSED SILO	○
FUTURE SILO	○

HATCH LEGEND	
STORAGE AREA	[Hatch Pattern]
NEW PARKING STALLS	[Hatch Pattern]

SITE SUMMARY TABLE	
ZONING	LIGHT INDUSTRIAL
PROPOSED USE	WAREHOUSE
PROPOSED TOTAL BUILDING AREA	301,120 SF
TOTAL LAND AREA	1,887,324 SF/43.3 AC
BUILDING COVERAGE	16%
PROPOSED AUTO PARKING	302
REQUIRED AUTO PARKING	302
PHASE 1 TRUCK PARKING	78
PROPOSED ACCESSIBLE PARKING	12
REQUIRED ACCESSIBLE PARKING	8

NOTES	
1.	THESE DOCUMENTS ARE SCHEMATIC IN NATURE ONLY. A COMPLETE DESIGN HAS NOT BEEN PERFORMED IN PREPARATION OF THESE SHEETS. DESIGN INTENT, LOCATIONS, AND QUANTITIES MAY CHANGE DURING THE DESIGN PROCESS.

WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA. THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.



Kimley Horn

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-8820
 WWW.KIMLEY-HORN.COM TX F-28
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

STREAM ROCKWALL
 PREPARED FOR
STREAM REALTY ACQUISITION, L.L.C.
 ROCKWALL, TEXAS

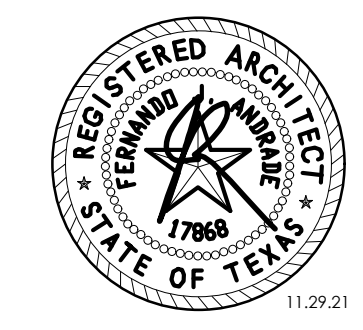
SITE PLAN

SHEET NUMBER
SP-1

CITY FILE NO. **SP2023-006**

NO.	REVISIONS	DATE

KHA PROJECT: 068213100
 DATE: MARCH 2023
 SCALE: AS SHOWN
 DESIGNED BY: DSA
 DRAWN BY: CAL
 CHECKED BY: DFG



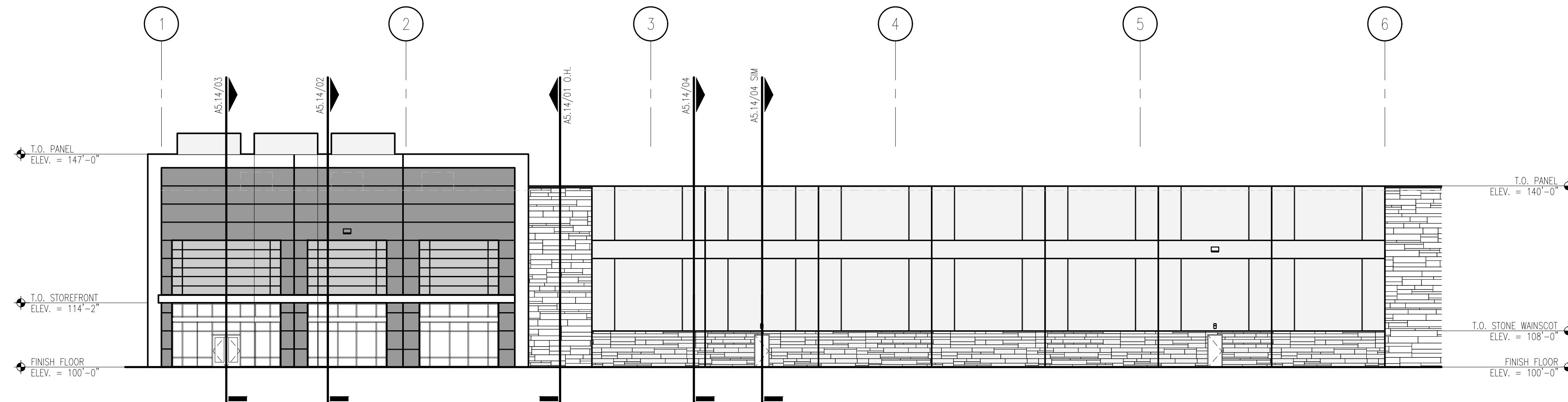
g s r andrade
 ARCHITECTS
 4021 Commerce St., Ste. 1
 Dallas, Texas 75226
 P 214.826.7040
 F 214.887.0599

Fernando Andrade, AIA
Architect
Kimley-Horn
Civil Engineer
Engineering Analysts, Inc.
Structural Engineer
Venture Mechanical, Inc.
Mechanical Engineer
Kilgore Industries
Electrical Engineer
J.L. Parker Plumbing, Inc.
Plumbing Engineer
Kimley-Horn
Landscape Architect

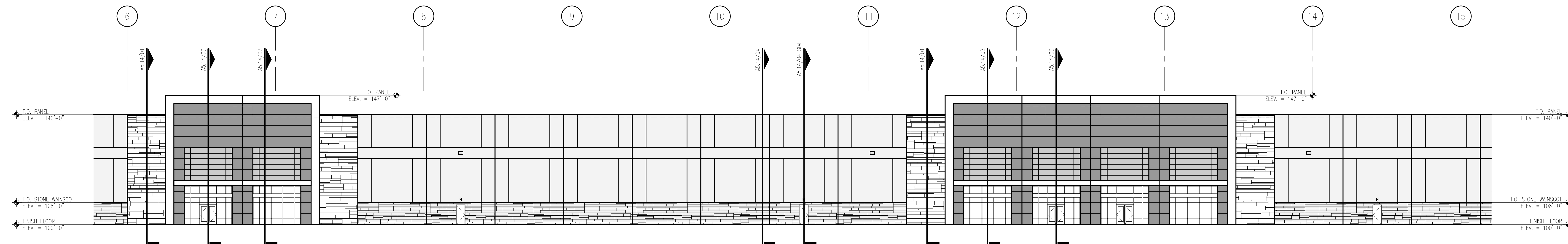


ELEVATION FINISHES:

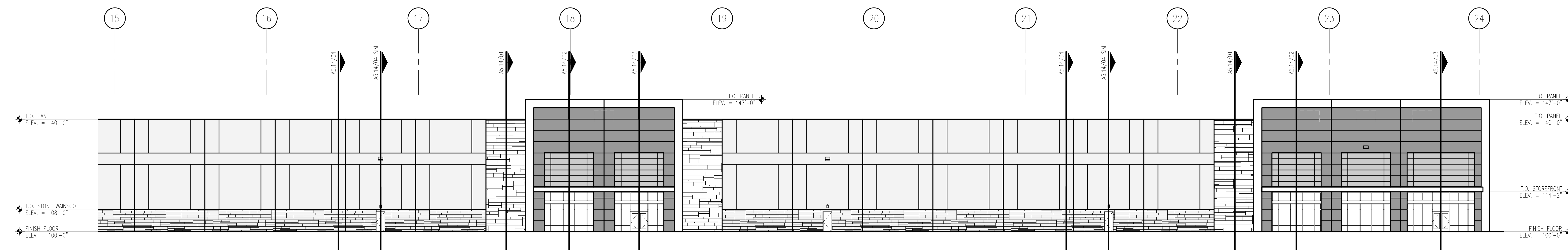
[White Box]	PAINTE 1 COLOR TO MATCH SW 7005 (255-C1); "PURE WHITE"
[Light Gray Box]	PAINTE 2 COLOR TO MATCH SW 6188 (258-C6); "MODERNE WHITE"
[Medium Gray Box]	PAINTE 3 COLOR TO MATCH SW 7017 (244-C3); "DORIAN GRAY"
[Dark Gray Box]	PAINTE 4 COLOR TO MATCH SW 7018 (244-C5); "DOVETAIL"
[Stone Pattern Box]	STONE 1 COLOR & PATTERN TO MATCH CORONADO - ELEMENT LEDGESTONE: "WHITE"
[Stone Pattern Box]	STONE 2 COLOR & PATTERN TO MATCH CORONADO - ELEMENT LEDGESTONE: "SILVER ASH"



01 SOUTH ELEVATION cont'd
 SCALE: 1/16" = 1'-0"



01 SOUTH ELEVATION cont'd
 SCALE: 1/16" = 1'-0"

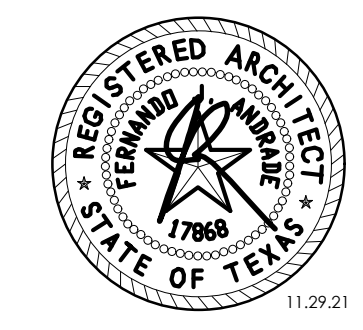


01 SOUTH ELEVATION
 SCALE: 1/16" = 1'-0"

ROCKWALL DISTRIBUTION CENTER
 1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

PROJECT NO.: 2966
 DATE: 11.29.21
 REVISIONS:

11.29.21	ISSUE FOR PERMIT



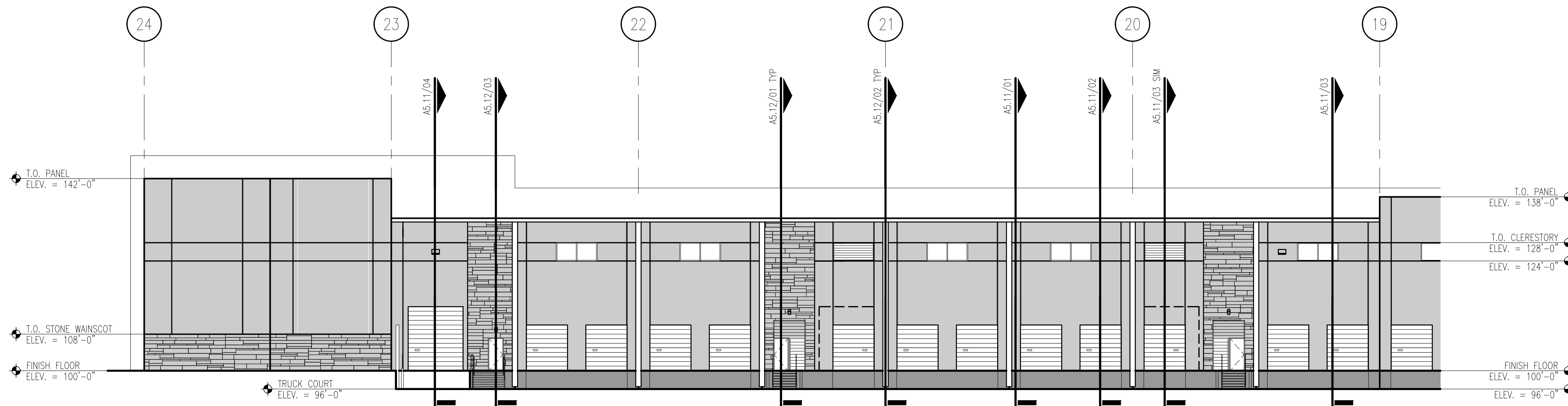
gsr andrade
 4121 Commerce St., Ste. 1
 Dallas, Texas 75226
 P 214.826.7040
 F 214.887.0599

Fernando Andrade, AIA	Architect
Kimley-Horn	Civil Engineer
Engineering Analysts, Inc.	Structural Engineer
Venture Mechanical, Inc.	Mechanical Engineer
Kilgore Industries	Electrical Engineer
J.L. Parker Plumbing, Inc.	Plumbing Engineer
Kimley-Horn	Landscape Architect

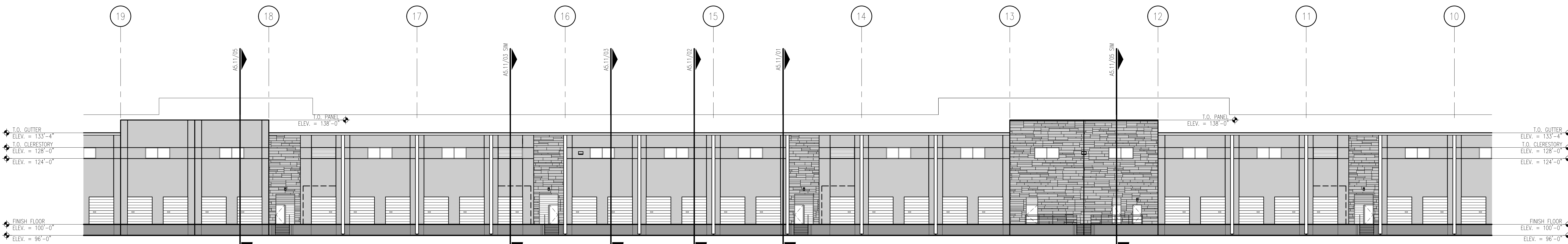


ELEVATION FINISHES:

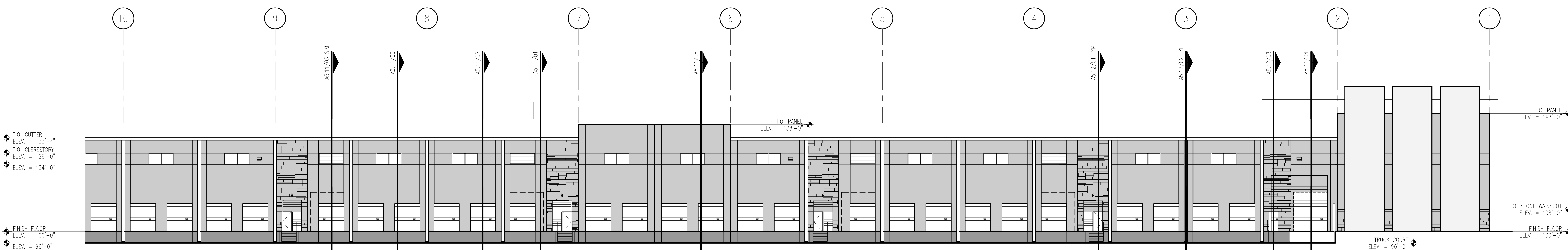
[White Box]	PAIN 1 COLOR TO MATCH SW 7005 (255-C1); "PURE WHITE"
[Light Gray Box]	PAIN 2 COLOR TO MATCH SW 6188 (258-C6); "MODERNE WHITE"
[Medium Gray Box]	PAIN 3 COLOR TO MATCH SW 7017 (244-C3); "DORIAN GRAY"
[Dark Gray Box]	PAIN 4 COLOR TO MATCH SW 7018 (244-C5); "DOVETAIL"
[Stone Pattern Box]	STONE 1 COLOR & PATTERN TO MATCH CORONADO - ELEMENT LEDGESTONE: "WHITE"
[Stone Pattern Box]	STONE 2 COLOR & PATTERN TO MATCH CORONADO - ELEMENT LEDGESTONE: "SILVER ASH"



01 NORTH ELEVATION cont'd
 SCALE: 1/16" = 1'-0"



01 NORTH ELEVATION cont'd
 SCALE: 1/16" = 1'-0"

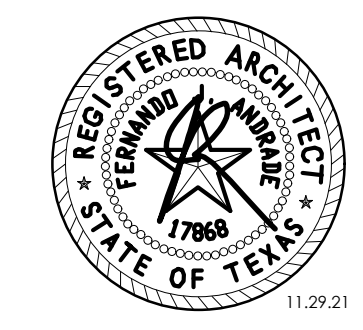


01 NORTH ELEVATION
 SCALE: 1/16" = 1'-0"

ROCKWALL DISTRIBUTION CENTER
 1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

PROJECT NO.: 2966
 DATE: 11.29.21
 REVISIONS:

NO.	DATE	DESCRIPTION
1	11.29.21	ISSUE FOR PERMIT



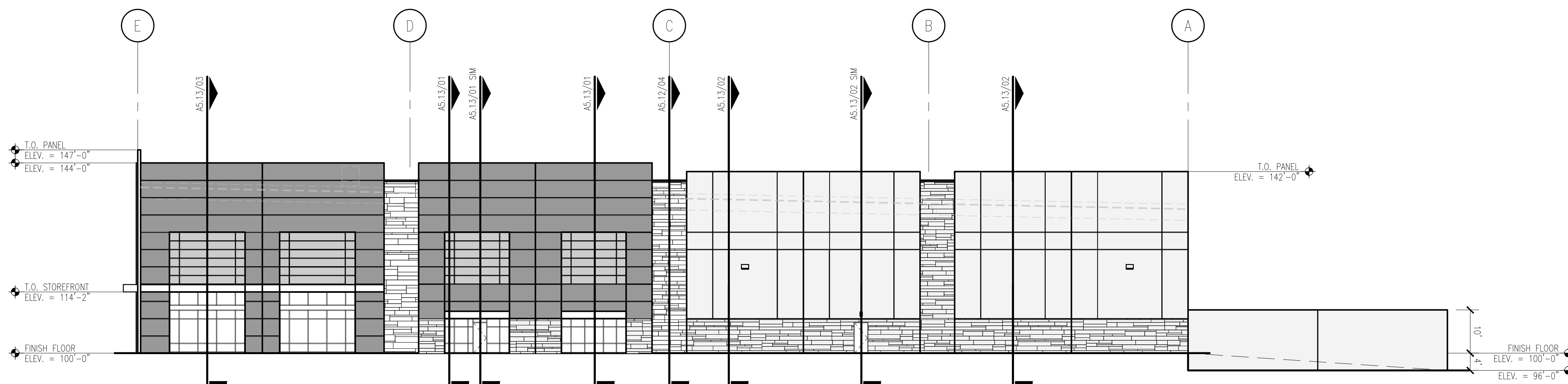
g s r andrade
 ARCHITECTS
 4021 Commerce St., Ste. 1
 Dallas, Texas 75226
 P 214.826.7040
 F 214.887.0599

Fernando Andrade, AIA Architect
Kimley-Horn Civil Engineer
Engineering Analysts, Inc. Structural Engineer
Venture Mechanical, Inc. Mechanical Engineer
Kilgore Industries Electrical Engineer
J.L. Parker Plumbing, Inc. Plumbing Engineer
Kimley-Horn Landscape Architect

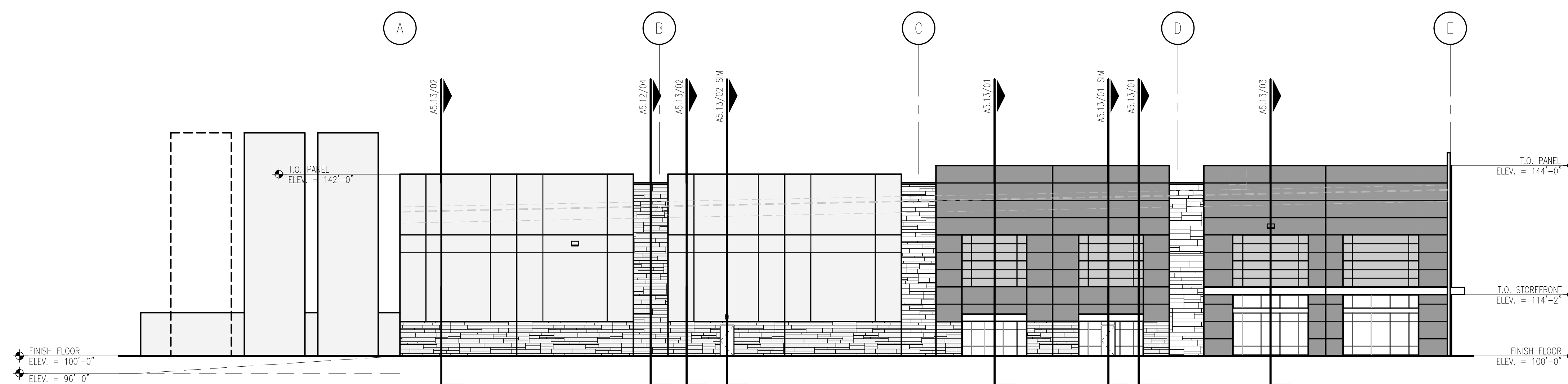


ELEVATION FINISHES:

[White Box]	PAIN 1 COLOR TO MATCH SW 7005 (255-C1); "PURE WHITE"
[Light Gray Box]	PAIN 2 COLOR TO MATCH SW 6188 (258-C6); "MODERNE WHITE"
[Medium Gray Box]	PAIN 3 COLOR TO MATCH SW 7017 (244-C3); "DORIAN GRAY"
[Dark Gray Box]	PAIN 4 COLOR TO MATCH SW 7018 (244-C5); "DOVETAIL"
[White Stone Pattern]	STONE 1 COLOR & PATTERN TO MATCH CORONADO - ELEMENT LEDGESTONE; "WHITE"
[Dark Stone Pattern]	STONE 2 COLOR & PATTERN TO MATCH CORONADO - ELEMENT LEDGESTONE; "SILVER ASH"



02 EAST ELEVATION
 SCALE: 1/16" = 1'-0"



01 WEST ELEVATION
 SCALE: 1/16" = 1'-0"

ROCKWALL DISTRIBUTION CENTER

1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

PROJECT NO.: 2966
 DATE: 11.29.21
 REVISIONS:

NO.	DATE	DESCRIPTION
1	11.29.21	ISSUE FOR PERMIT

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	CAL.	SIZE	REMARKS
	UA	34	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	TD	38	TAXODIUM DISTICHUM / BALD CYPRESS	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	QC	28	QUERCUS MUEHLENBERGII / CHINKAPII OAK	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	CL	57	CHILOPSIS LINEARIS / DESERT WILLOW	CONT.	2" CAL.	8' - 10' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	JE	28	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	US	38	UNGUADIA SPECIOSA / MEXICAN BUCKEYE	CONT.	2" CAL.	8' - 10' HT.	SINGLE STEM, FULL
	QS	23	QUERCUS SHUMARDII / SHUMARD RED OAK	B & B	4" CAL.	16' - 18' HT.	SINGLE STRAIGHT CENTRAL LEADER, FULL AND MATCHING
	CC	53	CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD	CONT.	2" CAL.	8' - 10' HT.	SINGLE STEM, FULL
	HP	15	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM / BRAKELIGHTS RED YUCCA	5 GAL. MIN.	18" HT.	24" O.C.	FULL AND MATCHING
	IC	102	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY	5 GAL. MIN.	38" HT.	38" O.C.	FULL AND MATCHING

SHRUBS

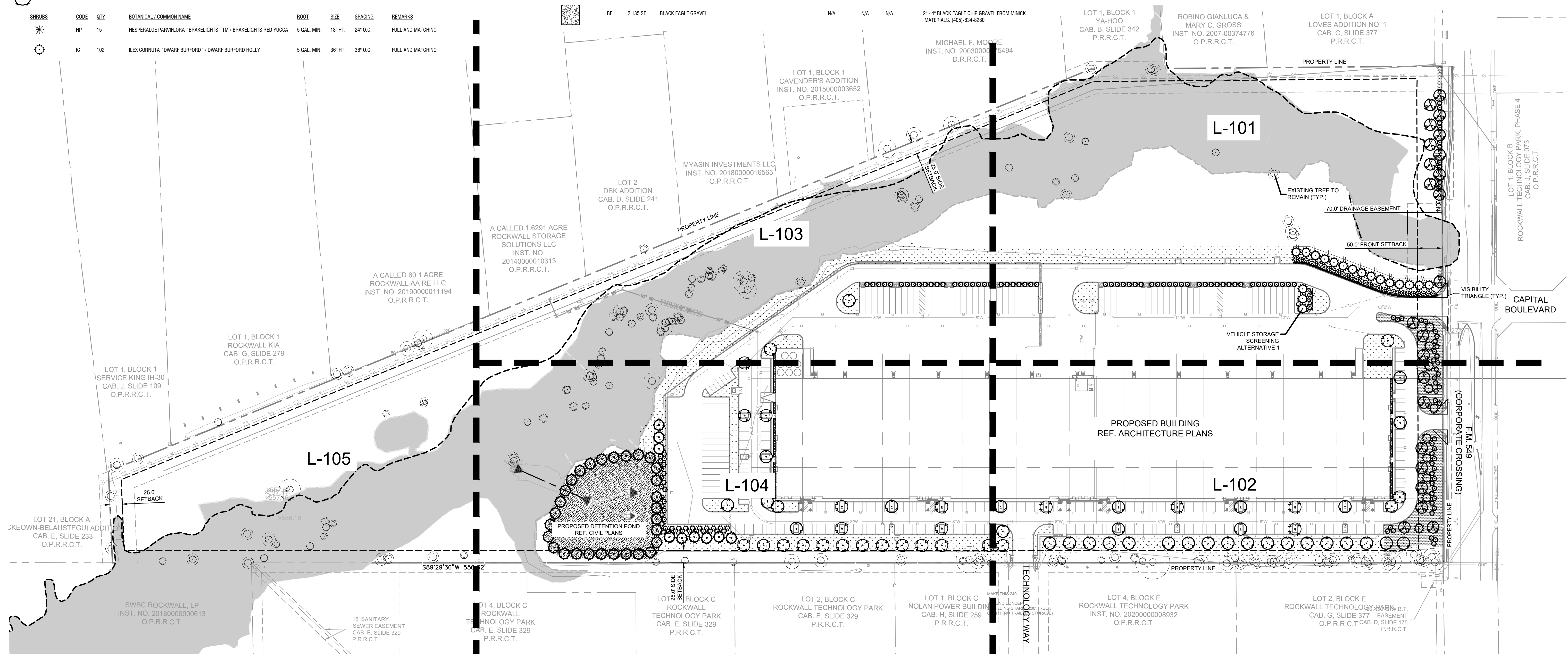
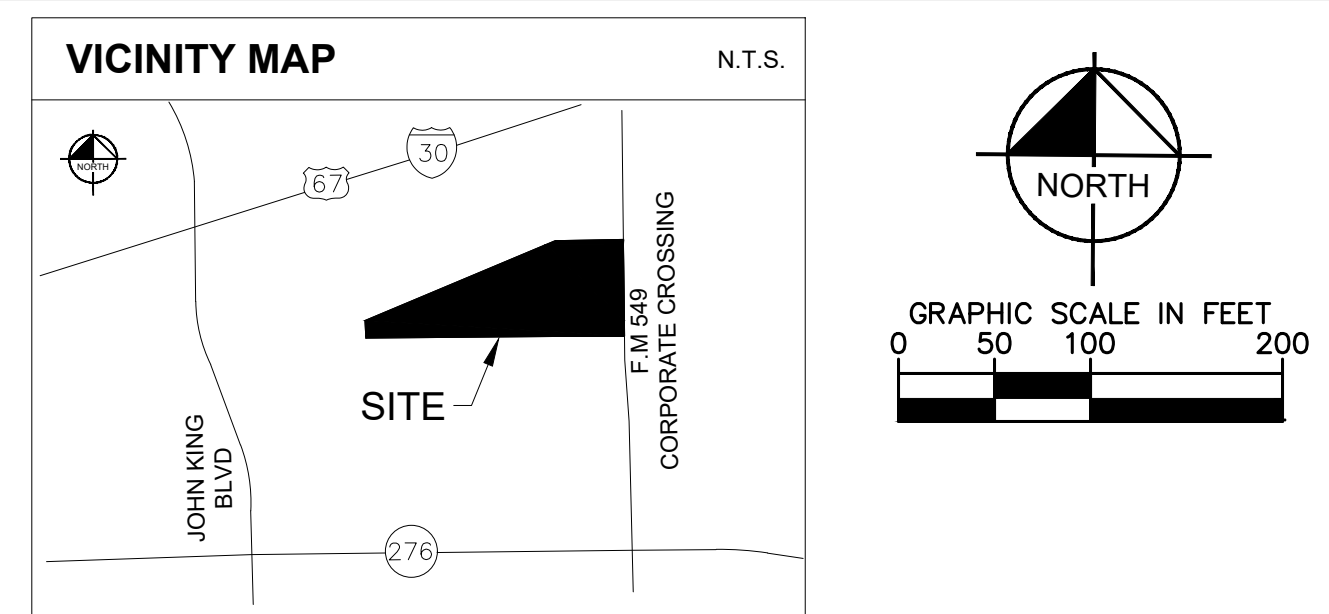
CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	SPACING	REMARKS
HP	15	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM / BRAKELIGHTS RED YUCCA	5 GAL. MIN.	18" HT.	24" O.C.	FULL AND MATCHING
IC	102	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY	5 GAL. MIN.	38" HT.	38" O.C.	FULL AND MATCHING

PLANT SCHEDULE

SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	ROOT	SIZE	SPACING	REMARKS
	LC	30	LOROPETALUM CHINENSE / LOROPETALUM	5 GAL. MIN.	48" HT.	60" O.C.	FULL AND MATCHING
	LF	9	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE	5 GAL. MIN.	38" HT.	48" O.C.	FULL AND MATCHING

GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
	SEED	138,797 SF	CYNODON DACTYLON / BERMUDA GRASS	N/A	N/A	N/A	HYDROSEED
	SOD	30,779 SF	CYNODON DACTYLON / COMMON BERMUDA GRASS	N/A	N/A	N/A	SOD TO HAVE TIGHT, SAND FILLED JOINTS AND BE FREE OF WEEDS.
	DM	40,990 SF	DRAINFIELD MIX / DRAINFIELD MIX	N/A	N/A	N/A	DRAINFIELD SEED MIX, REF. NATIVE AMERICAN SEED COMPANY.

AGGREGATE	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SIZE	SPACING	REMARKS
	BE	2,135 SF	BLACK EAGLE GRAVEL	N/A	N/A	N/A	2" - 4" BLACK EAGLE CHIP GRAVEL FROM MINNICK MATERIALS. (405) 834-8280



City of Rockwall Landscape Requirements - Article 08

Required	Provided
50' wide landscape buffer along FM 549	50' wide landscape buffer along FM 549
Yes	Yes
20 Canopy Trees 40 Accent Trees 10 Cedar Trees	23 Canopy Trees 53 Accent Trees 10 Cedar Trees
Required	Provided
Yes	Yes
N/A	N/A
N/A	N/A

Required	Provided
15% 283,099 SF Required Landscaping	15% 283,099 SF Required Landscaping
Required	Provided
Yes	Yes
37 Canopy & Accent Trees	37 Canopy & Accent Trees
Required	Provided
31 Trees	31 Trees
Required	Provided
Yes	Yes

NOTE:
 1. CONTRACTOR TO SEED LIMITS OF DISTURBANCE.
 2. ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS. THE IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL, INSTALLED BY A LICENSED IRRIGATOR, AND COMPLY WITH THE CITY OF ROCKWALL IRRIGATION STANDARDS.
 3. CONTRACTOR TO ESTABLISH, MAINTAIN, AND IRRIGATE ALL SEEDED/SODDED AREAS UNTIL A "PERMANENT STAND OF GRASS" IS OBTAINED AT WHICH TIME THE PROJECT WILL BE ACCEPTED BY THE CITY. A "STAND OF GRASS" SHALL CONSIST OF 75% TO 80% COVERAGE AND A MINIMUM OF ONE-INCH (1") IN HEIGHT AS DETERMINED BY THE CITY. (SECTION 4.2. ENGINEERING STANDARDS OF DESIGN AND CONSTRUCTION).
 4. NO TREES WITHIN 5' OF ANY PUBLIC UTILITY LESS THAN 10" IN DIAMETER. NO TREES WITHIN 10' OF ANY PUBLIC UTILITY 10" OR GREATER IN DIAMETER.

SITE PLAN SIGNATURE BLOCK
 APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.
 WITNESS OUR HANDS, THIS ____ DAY OF ____.
 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA. THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.

DATE: _____

REVISIONS: _____

No. _____

Kimley

13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER, SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-528
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

REGISTERED LANDSCAPE ARCHITECT
 STATE OF TEXAS
 03/08/2023

KHA PROJECT: 068213100
 DATE: MARCH 2023
 SCALE: AS SHOWN
 DESIGNED BY: AMP
 DRAWN BY: MLF
 CHECKED BY: BDM

STREAM ROCKWALL
 PREPARED FOR
 STREAM REALTY ACQUISITION, L.L.C.
 ROCKWALL, TEXAS

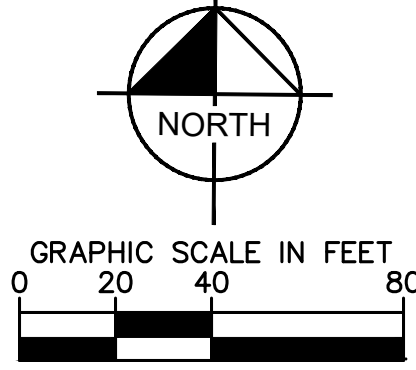
OVERALL
 LANDSCAPE PLAN

SHEET NUMBER
 L-100

IMAGES: XREFS AND PLOTTED BY: DATE: 03/08/2023
 PLOTTED BY: FLETCHER, MEGAN 08/02/2023 2:24 PM
 DRAWN BY: L.P.O. LANDSCAPE PLAN, NEW YORK
 CHECKED BY: L.P.O. LANDSCAPE PLAN, NEW YORK
 The document, together with the concepts and design presented herein, is an instrument of service, it is intended only for the specific purpose and client for which it was prepared. House of and proper reliance on this document without written authorization and adaptation by Kinley Horn and Associates, Inc. shall be without liability to Kinley Horn and Associates, Inc.



MICHAEL F. MOORE
INST. NO. 20030000275494
D.R.R.C.T.



MATCHLINE, SEE SHEET L-105

MATCHLINE, SEE SHEET L-101

MATCHLINE, SEE SHEET L-104

REF. SHEET L-100 FOR FULL PLANT SCHEDULE

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	UA	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM
	TD	TAXODIUM DISTICHUM / BALD CYPRESS
	QC	QUERCUS MUEHLENBERGII / CHINKAPIN OAK
	CL	CHILOPSIS LINEARIS / DESERT WILLOW
	JE	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR
	US	UNGNADIA SPECIOSA / MEXICAN BUCKEYE
	QS	QUERCUS SHUMARDII / SHUMARD RED OAK
	CC	CERDIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD
SHRUBS	CODE	BOTANICAL / COMMON NAME
	HP	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM / BRAKELIGHTS RED YUCCA
	IC	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY
	LC	LOROPETALUM CHINENSE / LOROPETALUM
	LF	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	SEED	CYNODON DACTYLON / BERMUDA GRASS
	SOD	CYNODON DACTYLON / COMMON BERMUDA GRASS
	DM	DRAINFIELD MIX / DRAINFIELD MIX
AGGREGATE	CODE	BOTANICAL / COMMON NAME
	BE	BLACK EAGLE GRAVEL



KHA PROJECT	068213100
DATE	MARCH 2023
SCALE	AS SHOWN
DESIGNED BY	AMP
DRAWN BY	MLF
CHECKED BY	BDW

STREAM ROCKWALL
 PREPARED FOR
STREAM REALTY ACQUISITION, LLC,
 ROCKWALL, TEXAS

LANDSCAPE PLAN
 (3 OF 5)

SHEET NUMBER
L-103

SITE PLAN SIGNATURE BLOCK

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ___ DAY OF ___, ___.

WITNESS OUR HANDS, THIS ___ DAY OF ___, ___.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

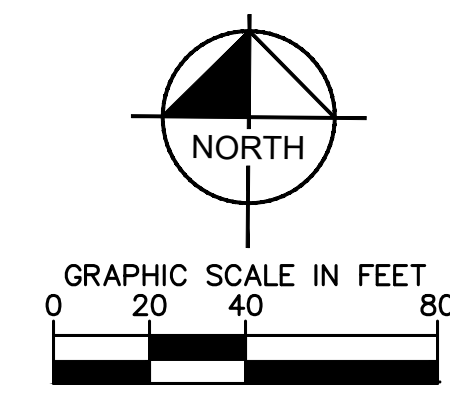
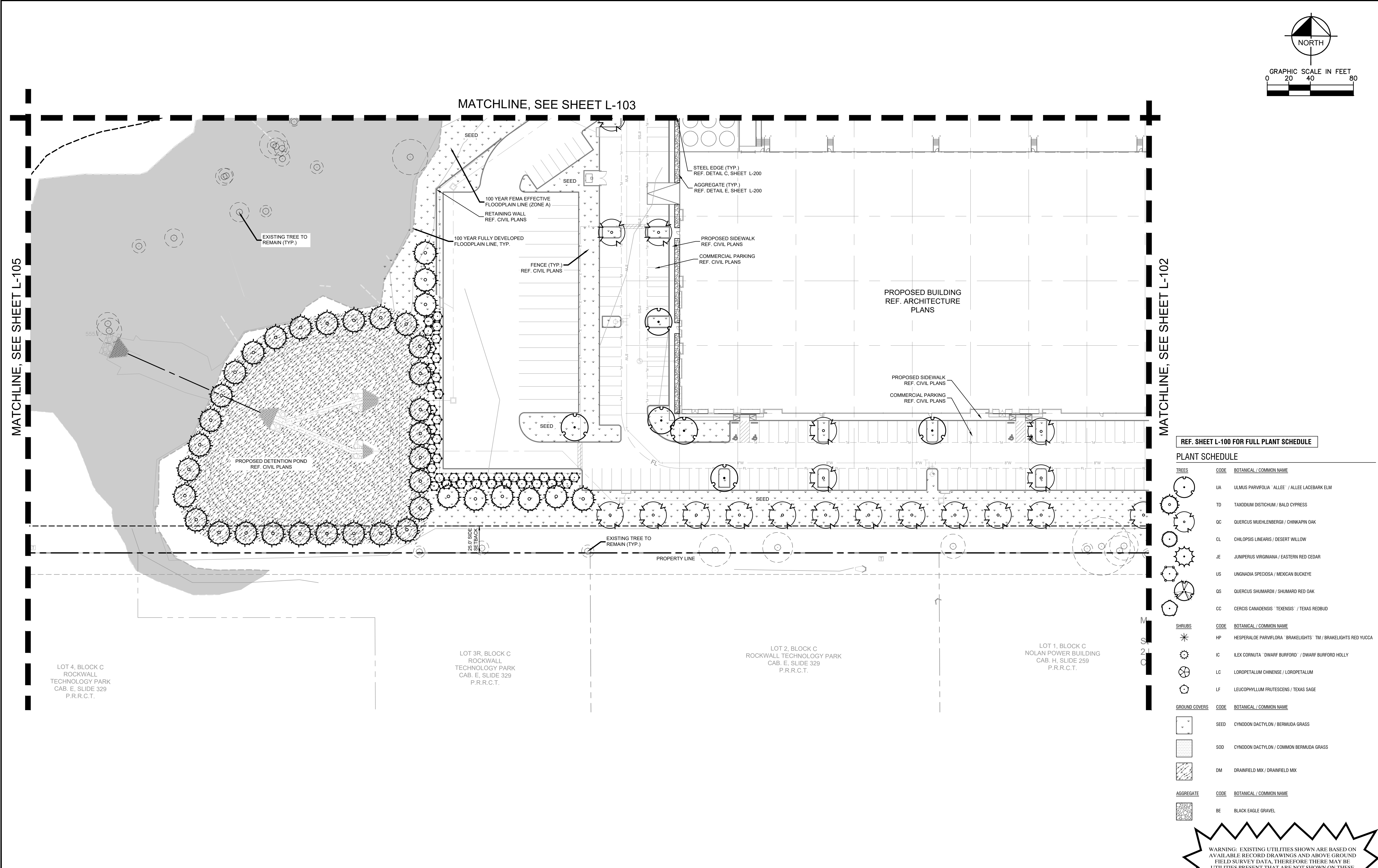
WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA, THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.



No.	REVISIONS	DATE

Kimley Horn
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-928
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC.

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REF. SHEET L-100 FOR FULL PLANT SCHEDULE

PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME
	UA	ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM
	TD	TAXODIUM DISTICHUM / BALD CYPRESS
	OC	QUERCUS MUEHLENBERGII / CHINKAPIN OAK
	CL	CHLOPSIS LINEARIS / DESERT WILLOW
	JE	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR
	US	UNGNADA SPECIOSA / MEXICAN BUCKEYE
	OS	QUERCUS SHUMARDII / SHUMARD RED OAK
	CC	CERCIS CANADENSIS 'TEXENSIS' / TEXAS REDBUD
SHRUBS	CODE	BOTANICAL / COMMON NAME
	HP	HESPERALOE PARVIFLORA 'BRAKELIGHTS' TM / BRAKELIGHTS RED YUCCA
	IC	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY
	LC	LOROPETALUM CHINENSIS / LOROPETALUM
	LF	LEUCOPHYLLUM FRUTESCENS / TEXAS SAGE
GROUND COVERS	CODE	BOTANICAL / COMMON NAME
	SEED	CYNODON DACTYLON / BERMUDA GRASS
	SOD	CYNODON DACTYLON / COMMON BERMUDA GRASS
	DM	DRANFIELD MIX / DRANFIELD MIX
AGGREGATE	CODE	BOTANICAL / COMMON NAME
	BE	BLACK EAGLE GRAVEL

WARNING: EXISTING UTILITIES SHOWN ARE BASED ON AVAILABLE RECORD DRAWINGS AND ABOVE GROUND FIELD SURVEY DATA, THEREFORE THERE MAY BE UTILITIES PRESENT THAT ARE NOT SHOWN ON THESE CONSTRUCTION PLANS. CONTRACTOR TO FIELD VERIFY PRESENCE AND EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND USE CAUTION DURING CONSTRUCTION. NOTIFY ENGINEER AND OWNER OF ANY DISCREPANCIES.

SITE PLAN SIGNATURE BLOCK
 APPROVED:
 I HEREBY CERTIFY THAT THE ABOVE FOREGOING SITE PLAN FOR DEVELOPEMENT IN THE CITY, OF ROCKWALL, TEXAS WAS APPROVED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.
 WITNESS OUR HANDS, THIS ____ DAY OF ____, ____

 PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING



No.	REVISIONS	DATE

Kimley **Horn**
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
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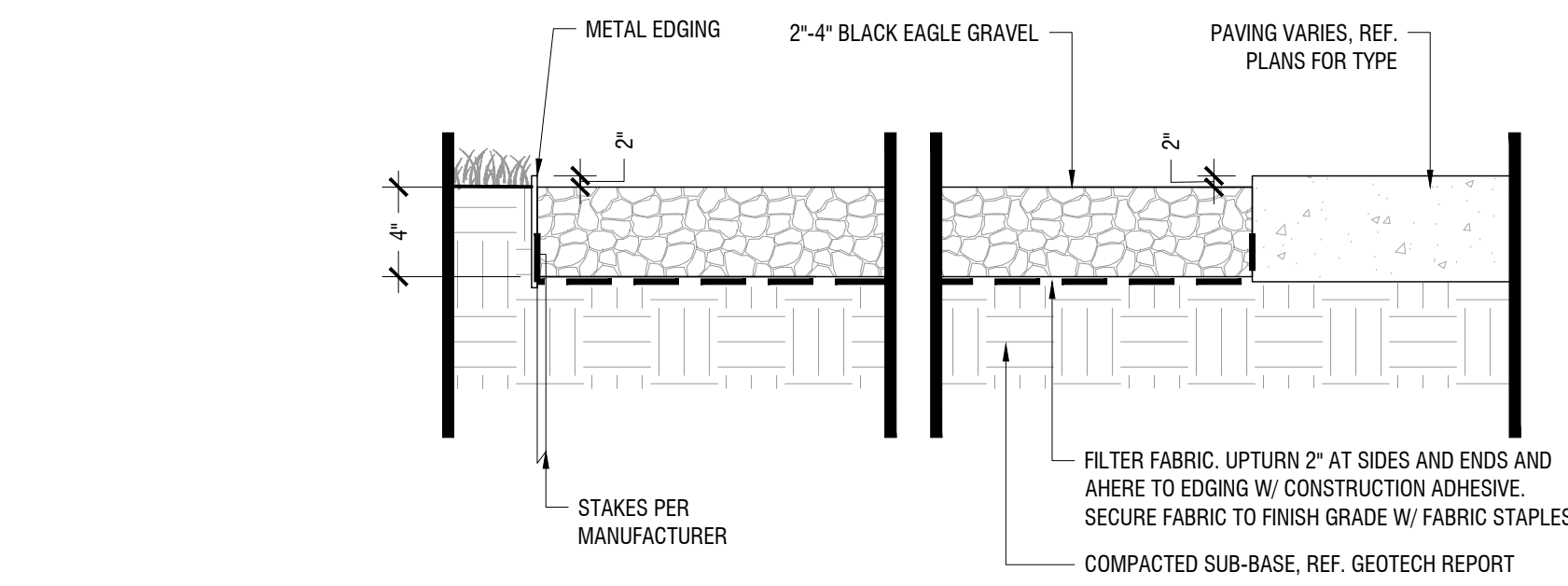


KHA PROJECT	068213100
DATE	MARCH 2023
SCALE	AS SHOWN
DESIGNED BY	AMP
DRAWN BY	MLF
CHECKED BY	BDM

STREAM ROCKWALL
 PREPARED FOR
STREAM REALTY ACQUISITION, LLC,
 ROCKWALL, TEXAS

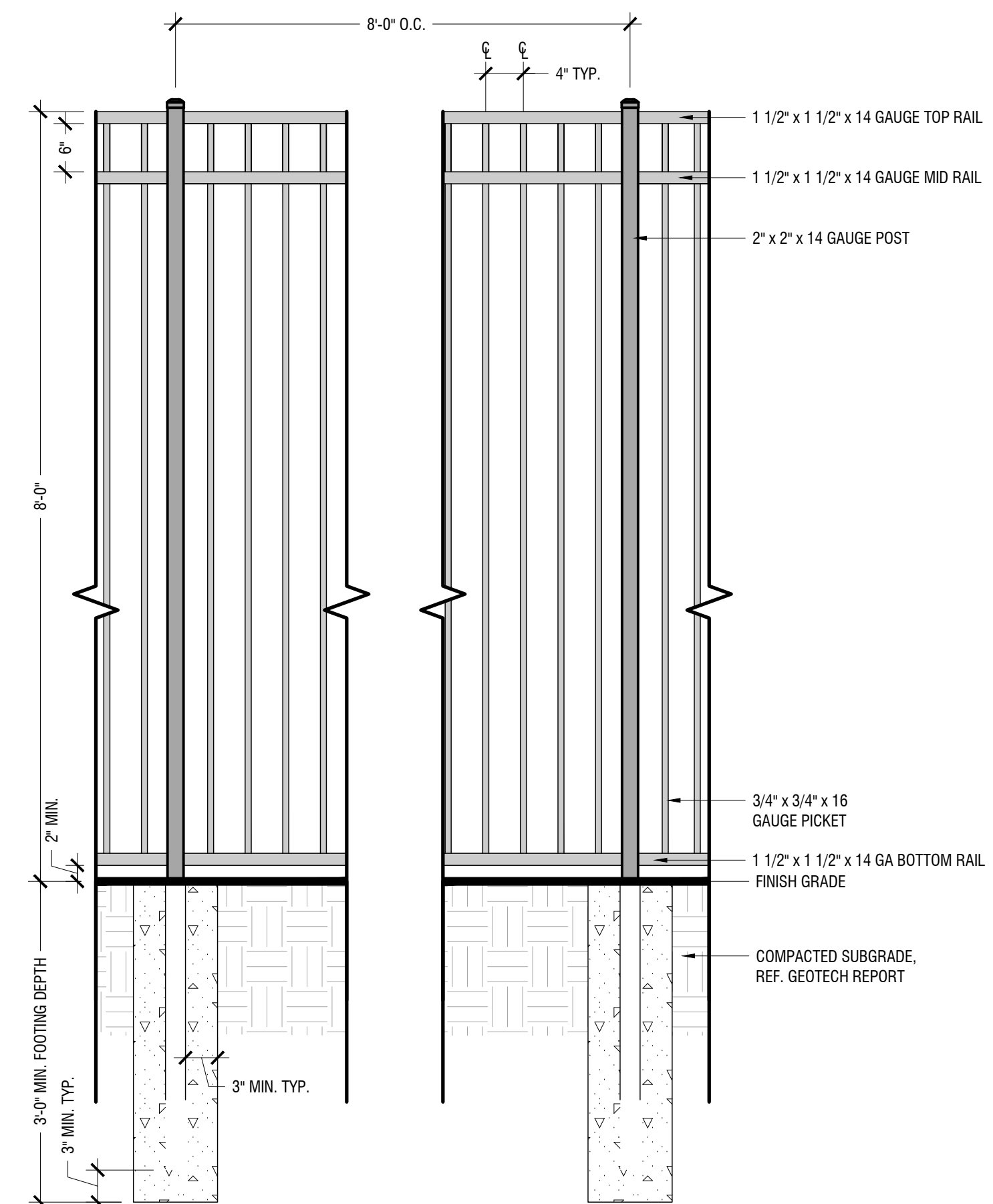
LANDSCAPE PLAN
(4 OF 5)
 SHEET NUMBER
L-104

IMAGES: 06777602 decomposed granite - Stone Planting Details - Steel Edge @ Rock Cobble - ATB - LA - 06/06/2023 (mimo) - Aggregate Detail
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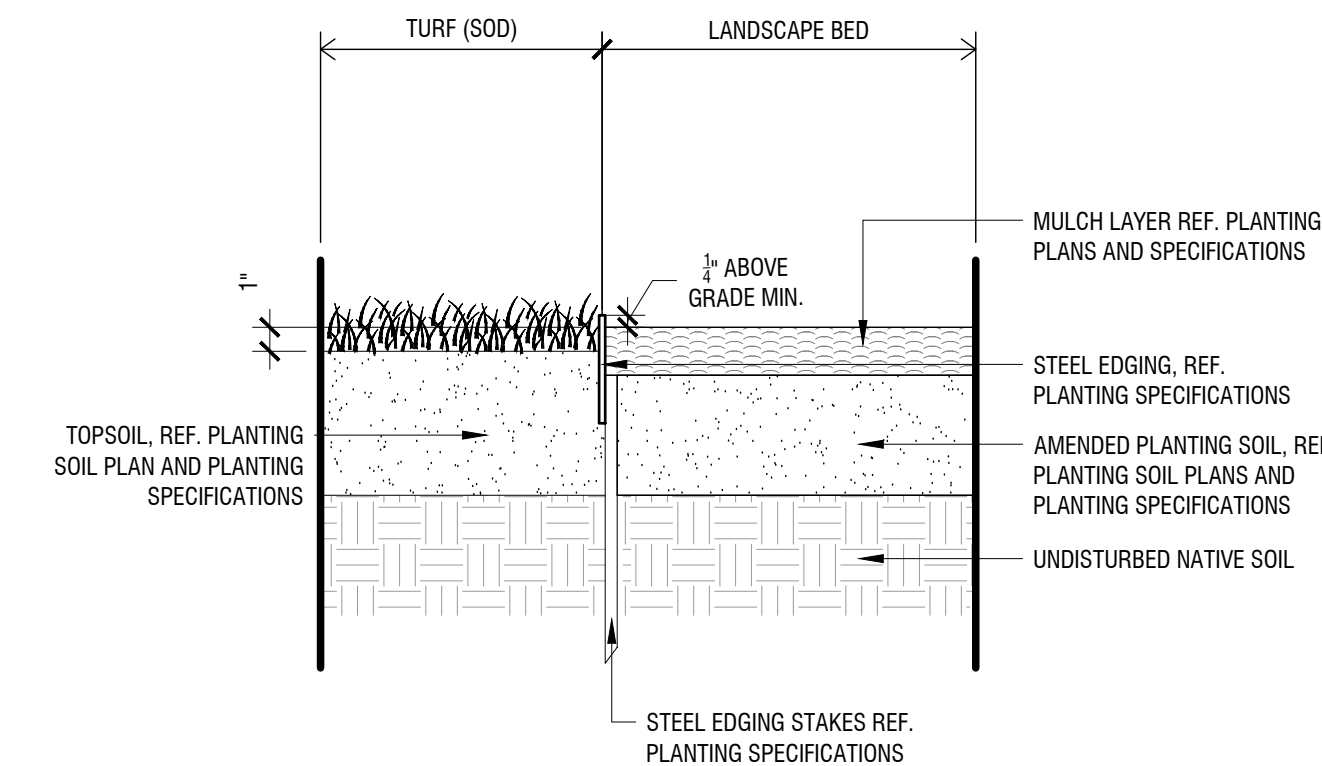
AGGREGATE AT CONCRETE AND PLANTING

Scale: NTS



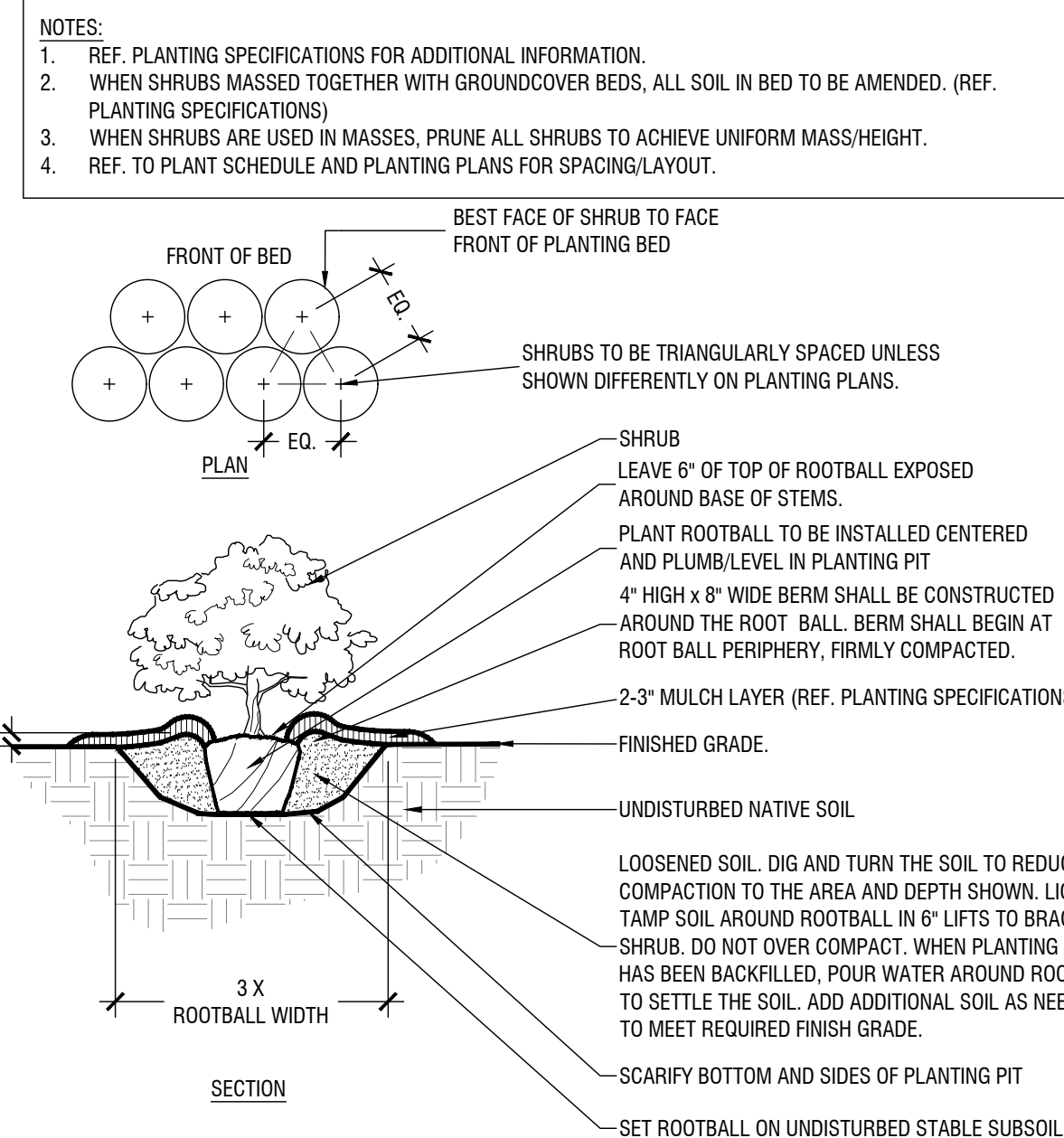
8' HT. WROUGHT IRON SCREENING FENCE

Scale: 3/4" = 1'-0"



STEEL EDGING (AT TURF & LANDSCAPE BED)

Scale: 1 1/2" = 1'-0"

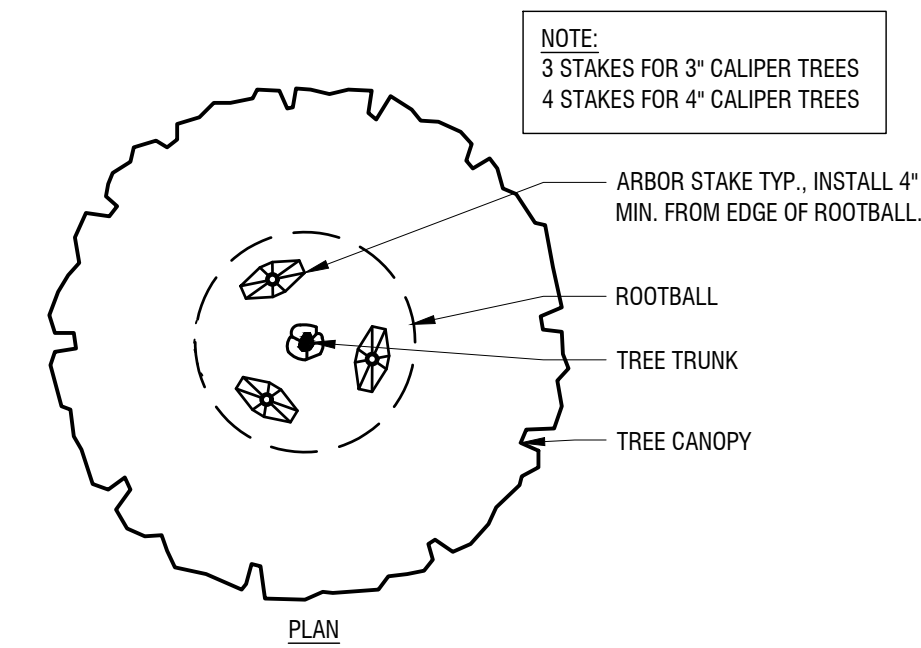


TYPICAL SHRUB PLANTING

Scale: NTS

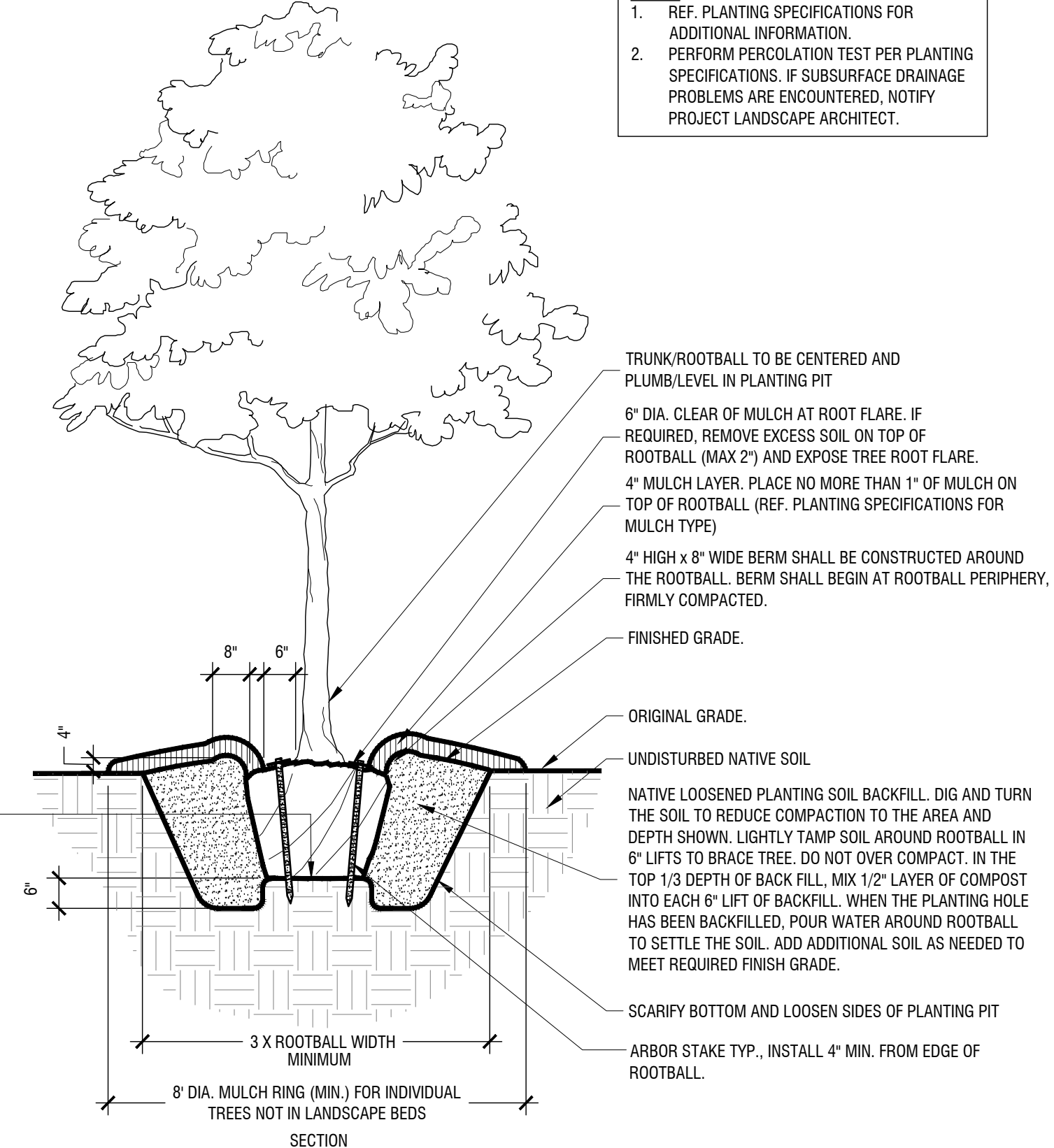
PLANTING NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATIONS OF ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, AND LINE RUNS IN THE FIELD PRIOR TO THE INSTALLATION OF ANY PLANT MATERIAL.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ADVISE THE LANDSCAPE ARCHITECT OF ANY CONDITION FOUND ON SITE WHICH PERMITS INSTALLATION AS SHOWN ON THESE DRAWINGS.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY, GROWING CONDITION AND MUST BE REPLACED WITHIN 30 DAYS WITH PLANT MATERIAL OF THE SAME VARIETY AND SIZE IF DAMAGED, DESTROYED, OR REMOVED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR FINE GRADING AND REMOVAL OF DEBRIS PRIOR TO PLANTING IN ALL AREAS.
- FINAL FINISH GRADING SHALL BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY ADDITIONAL TOPSOIL REQUIRED TO CREATE A SMOOTH CONDITION PRIOR TO PLANTING.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. ALL PLANT QUANTITIES ARE LISTED FOR INFORMATION PURPOSES ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE FULL COVERAGE IN ALL PLANTING AREAS AS SHOWN ON THE PLANS AND SPECIFIED IN THE PLANT SCHEDULE.
- CONTRACTOR TO PROVIDE STEEL EDGING BETWEEN ALL PLANTING BEDS AND TURF AREAS UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE SPECIFICATIONS GIVEN IN THE PLANT SCHEDULE, PLANTING DETAILS, AND PLANTING SPECIFICATIONS.
- ALL PLANT MATERIAL SHALL MEET INDUSTRY STANDARDS AS INDICATED IN THE CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- ALL PLANT MATERIAL SUBSTITUTIONS SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE.
- CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH OTHER CONTRACTORS ON SITE AS REQUIRED TO ACCOMPLISH ALL PLANTING OPERATIONS.
- ALL PLANTING AREAS SHALL RECEIVE SOIL AMENDMENTS.
- PLANT MATERIAL SHALL BE PRUNED PER PLANTING DETAILS UNLESS OTHERWISE NOTED ON DRAWINGS.
- PLANTING AREAS SHALL BE KEPT FREE OF TRASH, WEEDS, DEBRIS, AND DEAD PLANT MATERIAL.
- ALL LIME STABILIZED SOIL AND ORGANIC SELECT FILL FOR BUILDING OR PAVING CONSTRUCTION SHALL BE REMOVED FROM ALL PLANTING BEDS TO A MINIMUM DEPTH OF 2" UNLESS OTHERWISE NOTED. REPLACE MATERIAL REMOVED WITH IMPORTED TOPSOIL.
- TREES OVERHANGING PEDESTRIAN WALKS AND WITHIN VISIBILITY TRIANGLES AS NOTED ON THE PLANS SHALL BE LIMBED TO A HEIGHT OF SEVEN FEET (7'). TREE OVERHANGING PUBLIC STREETS AND FREELANES SHALL BE LIMBED TO A HEIGHT OF FOURTEEN FEET (14').
- TREES PLANTED NEXT TO ACCESSIBLE ROUTES AND ACCESSIBLE AREAS SHALL BE LIMBED TO 7'6" (80" MIN.) AFF.
- ALL PROPOSED TREES SHALL BE STAKED WITH AN AT-GRADE ROOT BALL SECURING SYSTEM AS SHOWN IN THE PLANTING DETAILS AND SPECIFICATIONS. NO ABOVE-GROUND STAKING SYSTEMS, GUY WIRES/WIRES, HOSES, STRAPS, POSTS (METAL OR WOOD) SHALL BE ALLOWED UNLESS AUTHORIZED IN WRITING BY THE LANDSCAPE ARCHITECT.



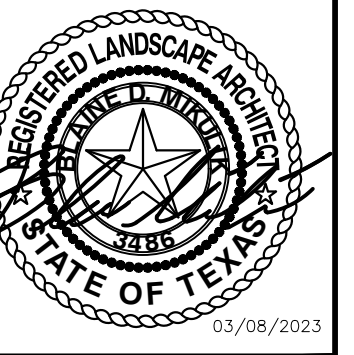
NOTE:
3 STAKES FOR 3" CALIPER TREES
4 STAKES FOR 4" CALIPER TREES

- NOTES:
- REF. PLANTING SPECIFICATIONS FOR ADDITIONAL INFORMATION.
 - PERFORM PERCOLATION TEST PER PLANTING SPECIFICATIONS. IF SUBSURFACE DRAINAGE PROBLEMS ARE ENCOUNTERED, NOTIFY PROJECT LANDSCAPE ARCHITECT.



TYPICAL TREE PLANTING

Scale: NTS



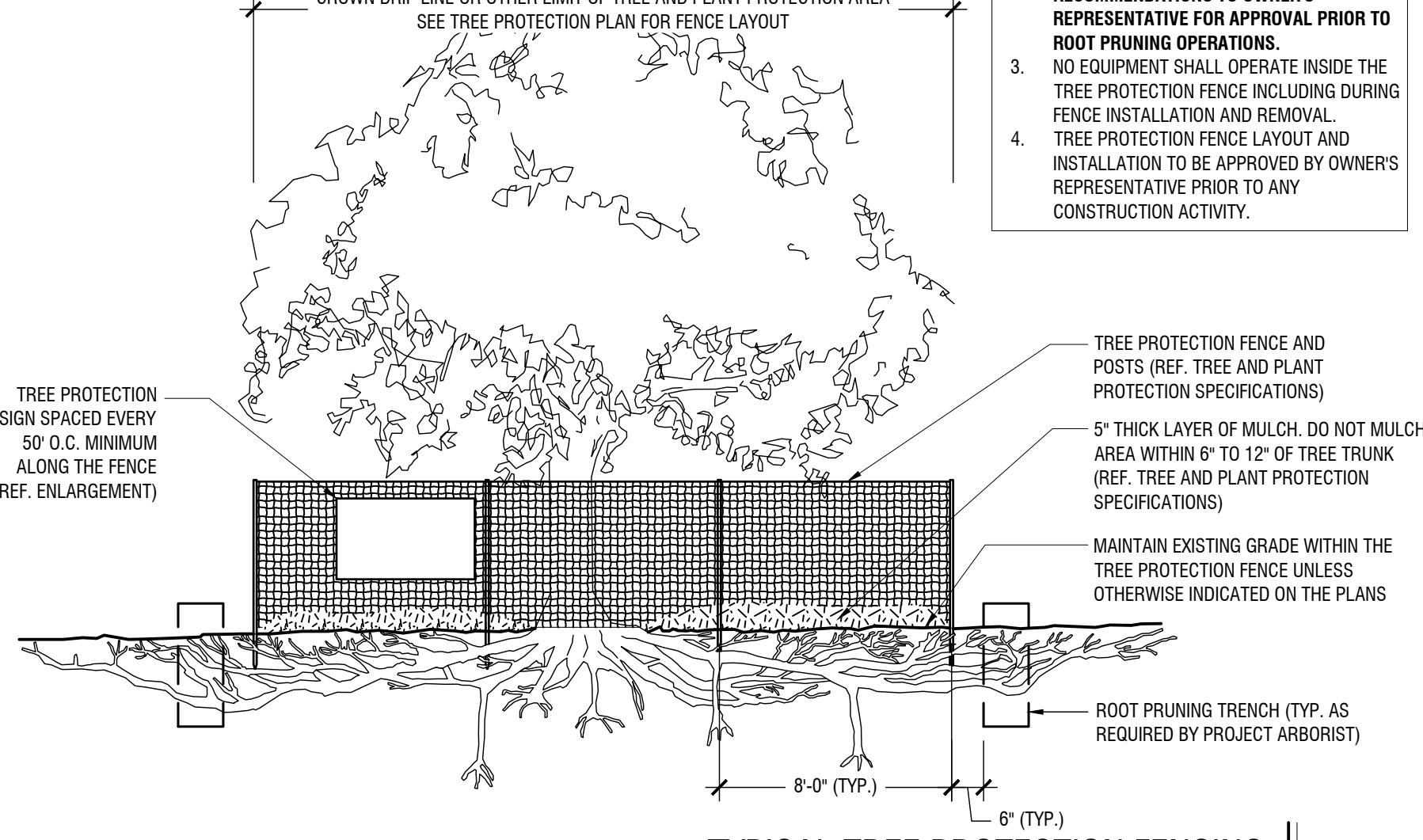
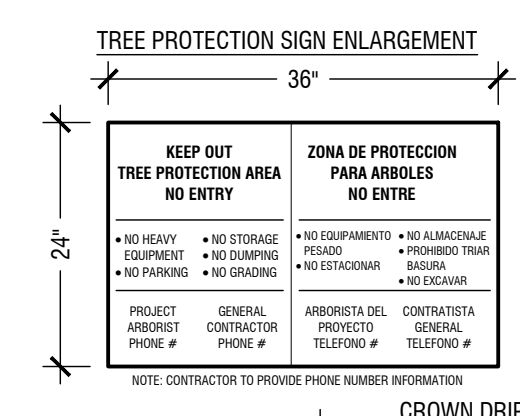
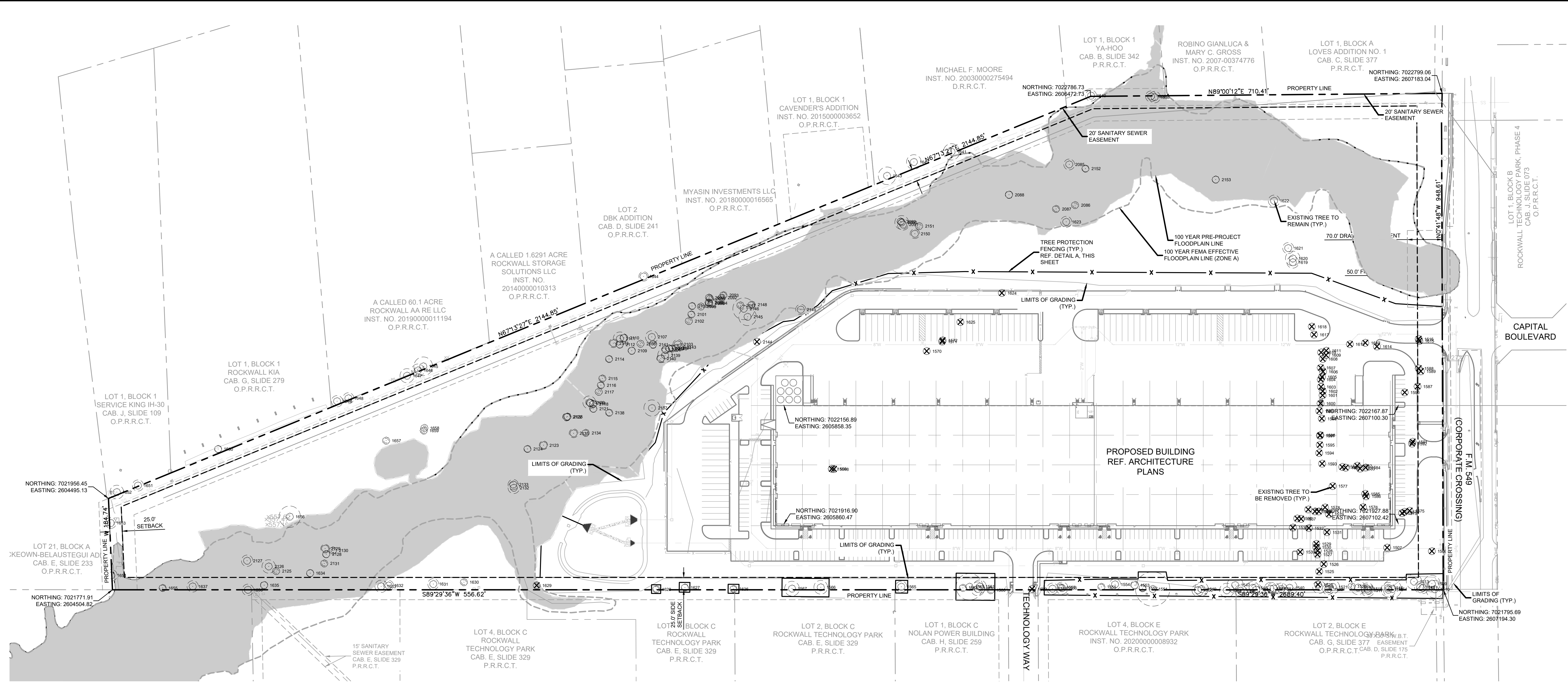
KHA PROJECT	068213100
DATE	MARCH 2023
SCALE	AS SHOWN
DESIGNED BY	AMP
DRAWN BY	MLF
CHECKED BY	BDW

STREAM ROCKWALL
 PREPARED FOR
STREAM REALTY ACQUISITION, L.L.C.
 ROCKWALL, TEXAS

LANDSCAPE DETAILS

No.	REVISIONS	DATE

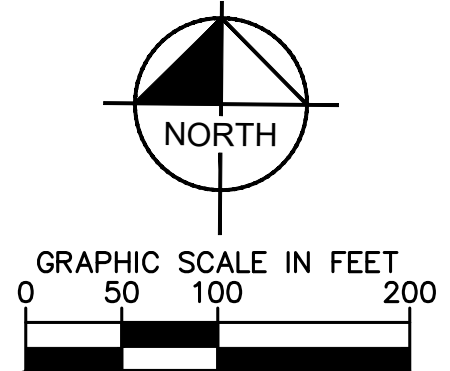
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 PLOTTED BY: FLETCHER MCGRAW 3/28/2023 2:24 PM
 DWG NAME: T-100 - TREE PROTECTION PLAN & DETAIL
 The document, together with the concepts and design presented herein, are an instrument of service, it is intended only for the specific purpose and client for which it was prepared. House of and/or project names on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



- NOTES:
1. SEE TREE AND PLANT PROTECTION SPECIFICATIONS FOR WATERING AND OTHER ADDITIONAL REQUIREMENTS.
 2. ALL TREE AND ROOT PRUNING SHALL BE PERFORMED UNDER THE SUPERVISION OF AN I.S.A. CERTIFIED ARBORIST. ARBORIST SHALL MAKE ALL FINAL ROOT PRUNING RECOMMENDATIONS TO OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO ROOT PRUNING OPERATIONS.
 3. NO EQUIPMENT SHALL OPERATE INSIDE THE TREE PROTECTION FENCE INCLUDING DURING FENCE INSTALLATION AND REMOVAL. TREE PROTECTION FENCE LAYOUT AND INSTALLATION TO BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO ANY CONSTRUCTION ACTIVITY.
 - 4.

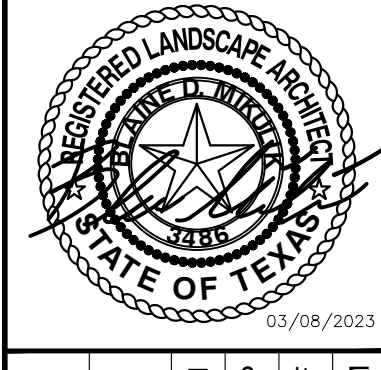
LEGEND

	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO BE PROTECTED
	TREE PROTECTION FENCING
	EXISTING CONTOUR
	PROPOSED CONTOUR



NO.	REVISIONS	DATE

Kimley-Horn
 13455 NOEL ROAD, TWO GALLERIA OFFICE TOWER,
 SUITE 700, DALLAS, TX 75240
 PHONE: 972-770-1300 FAX: 972-239-3820
 WWW.KIMLEY-HORN.COM TX F-528
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KHA PROJECT	068213100
DATE	MARCH 2023
SCALE	AS SHOWN
DESIGNED BY	AMP
DRAWN BY	MLF
CHECKED BY	BDW

STREAM ROCKWALL & TREESCAPE PLAN & DETAIL
 PREPARED FOR
STREAM REALTY ACQUISITION, L.L.C.
 ROCKWALL, TEXAS

TREESCAPE PLAN & DETAIL
 SHEET NUMBER
T-100

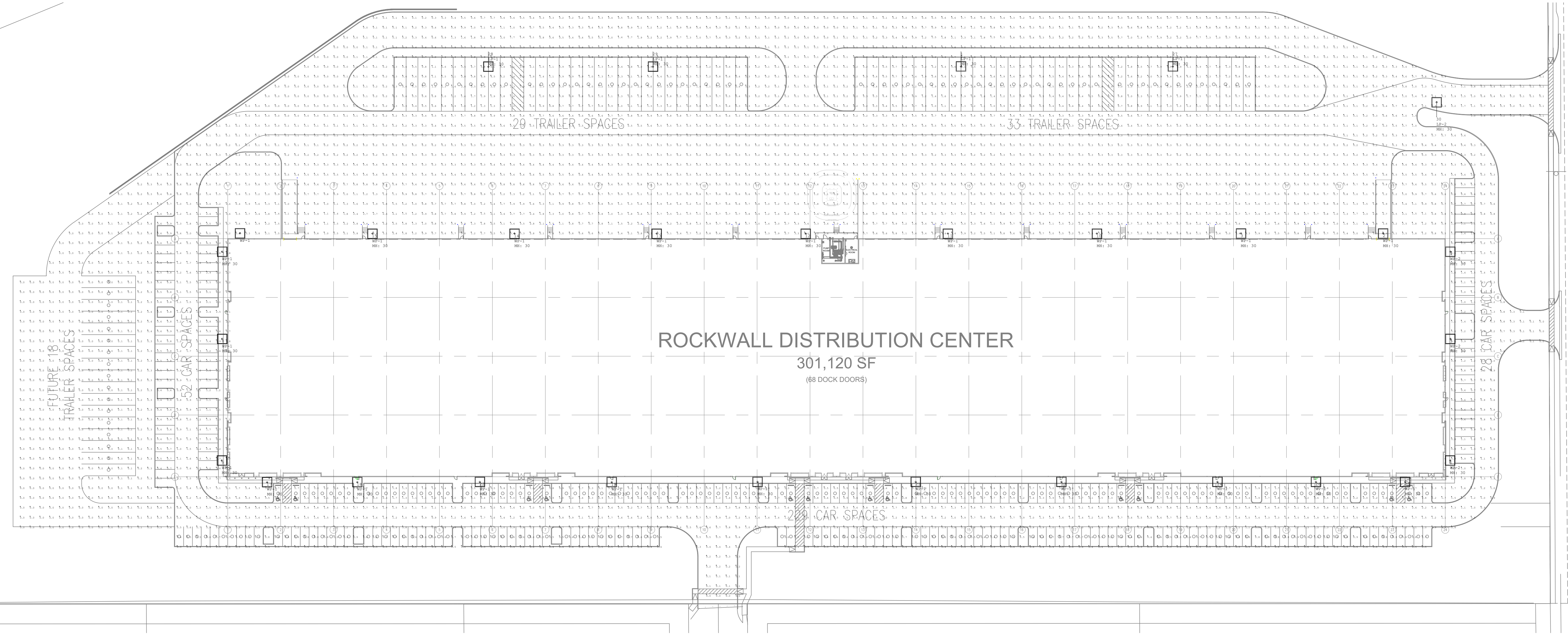
Luminaire Location Summary	X	Y	Z	Orient	
1	LP-1	967.066	484.192	30	270
2	WP-1	1397.705	298.577	30	90
3	WP-1	1252.705	298.577	30	90
4	WP-2	1466.216	280.07	30	0
5	WP-2	1466.216	191.07	30	0
6	WP-2	1465.957	166.951	30	0
7	WP-1	213.485	280.07	30	180
8	WP-1	213.485	191.07	30	180
9	WP-1	213.226	166.951	30	180
10	WP-1	1105.727	298.435	30	90
11	WP-1	953.727	298.435	30	90
12	WP-1	808.695	298.39	30	90
13	WP-1	656.695	298.39	30	90
14	WP-1	511.691	298.375	30	90
15	WP-1	366.691	298.375	30	90
16	WP-1	231.621	298.823	30	90
17	WP-1	231.298	44.943	30	270
18	WP-1	351.295	44.997	30	270
19	WP-1	616.817	44.997	30	270
20	WP-1	759.569	45.232	30	270
21	WP-1	920.921	45.232	30	270
22	WP-1	476.294	45.213	30	270
23	WP-1	1069.536	45.232	30	270
24	WP-1	1228.664	45.232	30	270
25	WP-1	1420.193	45.232	30	270
26	WP-1	1329.129	45.232	30	270
27	LP-1	1183.211	484.192	30	270
28	LP-1	484.285	484.288	30	270
29	LP-1	652.886	484.033	30	270
30	LP-2	1452.272	417.535	30	90

Luminaire Schedule	Qty	Label	Description	Arrangement	LF	Lum. Lumens	Arr. Watts	Total Watts
□	4	LP-1	LEDPEK10W40K4V4-	SINGLE	0.900	34751	200.505	1002.02
□	1	LP-2	LEDPEK10W40K4-	SINGLE	0.900	13200	99.99	99.99
□	22	WP-1	LEDPEK10W40K4V4-	SINGLE	0.900	19800	150.312	3306.864
□	3	WP-2	LEDPEK10W40K4-	SINGLE	0.900	9743	63	189

Calculation Summary	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance Fc	0.50	0.0	0.0	N.A.	N.A.
Site	Illuminance Fc	0.92	6.1	0.0	N.A.	N.A.
Car Parking	Illuminance Fc	1.31	5.2	0.3	4.37	17.33
Northeast Trailer Parkin	Illuminance Fc	1.44	6.1	0.2	7.20	30.50
Northeast Trailer Parkin	Illuminance Fc	1.64	6.1	0.3	5.47	20.33
Truck Court	Illuminance Fc	1.19	3.6	0.4	2.98	5.00

Car Parking
Illuminance (Fc)
Average = 1.31
Maximum = 5.2
Minimum = 0.3
Avg/Min Ratio = 4.37
Max/Min Ratio = 17.33

NOTE:
Per Rockwall UDC, no wallpacks or site lighting shall be mounted above 20'-0", typical



ELECTRICAL LIGHTING PHOTOMETRIC PLAN

SCALE: 1/48" = 1'

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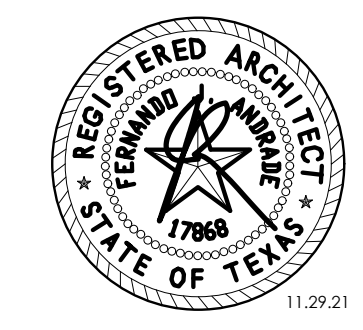
STREAM
Architect
Kimley-Horn
Civil Engineer
KILGORE
Professional Engineer
Firm Registration # F - 18270

KILGORE
10050 Houston Oaks Dr. Houston, Texas 77064
(713) 924-6900 • (713) 924-6900 (Fax)
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ROCKWALL DISTRIBUTION CENTER
1515 CORPORATE CROSSING (F.M. 549)
ROCKWALL, TEXAS 75087
PROJECT NO.: 2966
DATE: 11.29.21
REVISIONS:
11.29.21 ISSUE FOR PERMIT



E3.01-P
PHOTOMETRICS

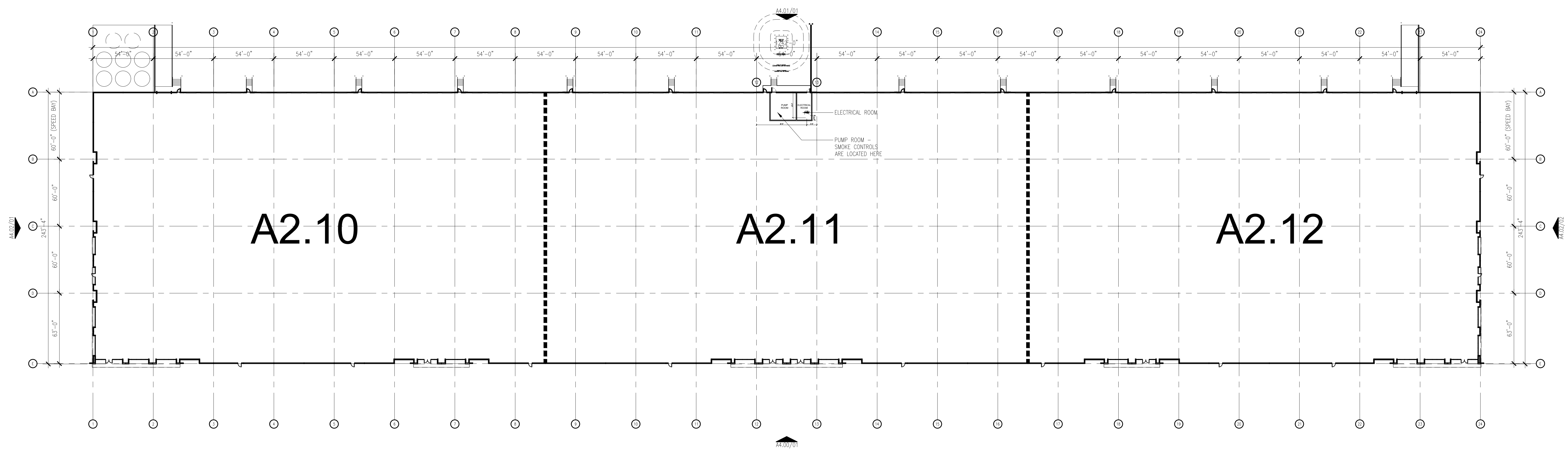


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Fernando Andrade, AIA Architect
Kimley-Horn Civil Engineer
Engineering Analysts, Inc. Structural Engineer
Venture Mechanical, Inc. Mechanical Engineer
Kilgore Industries Electrical Engineer
J.L. Parker Plumbing, Inc. Plumbing Engineer
Kimley-Horn Landscape Architect



- WAREHOUSE BUILDING**
- 10 MIL. VAPOR BARRIER UNDER ENTIRE SLAB, TYP.
 - EXPOSED STEEL ROOF STRUCTURE TO BE UNFINISHED & UNDERSIDE OF ROOF DECK TO BE FACTORY FINISHED WHITE
 - FULLY SPRINKLERED - ESFR SYSTEM
 - PAINT INTERIOR WALLS WHITE - OMIT PAINT WHERE INSULATION IS PROVIDED
 - PROVIDE EUCO 700 SEALANT (OR EQUAL) @ ALL CONSTRUCTION JOINTS IN SLAB
 - PROVIDE SEALANT & BACKER ROD @ BOTH INSIDE & OUTSIDE FACE OF TILT WALL PANELS
 - PAINT INSIDE FACE OF MAN DOORS WHITE TO MATCH ADJACENT WALLS
 - PROVIDE 2-LINE GUARD RAIL PROTECTION @ ALL FIRE RISERS & ELECTRICAL PANELS (OMEGA RAIL OR EQUAL)



ROCKWALL DISTRIBUTION CENTER

1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

01 OVERALL FLOOR PLAN
 SCALE: 1" = 30'-0"

PROJECT NO.:	2966
DATE:	11.29.21
REVISIONS:	
11.29.21	ISSUE FOR PERMIT

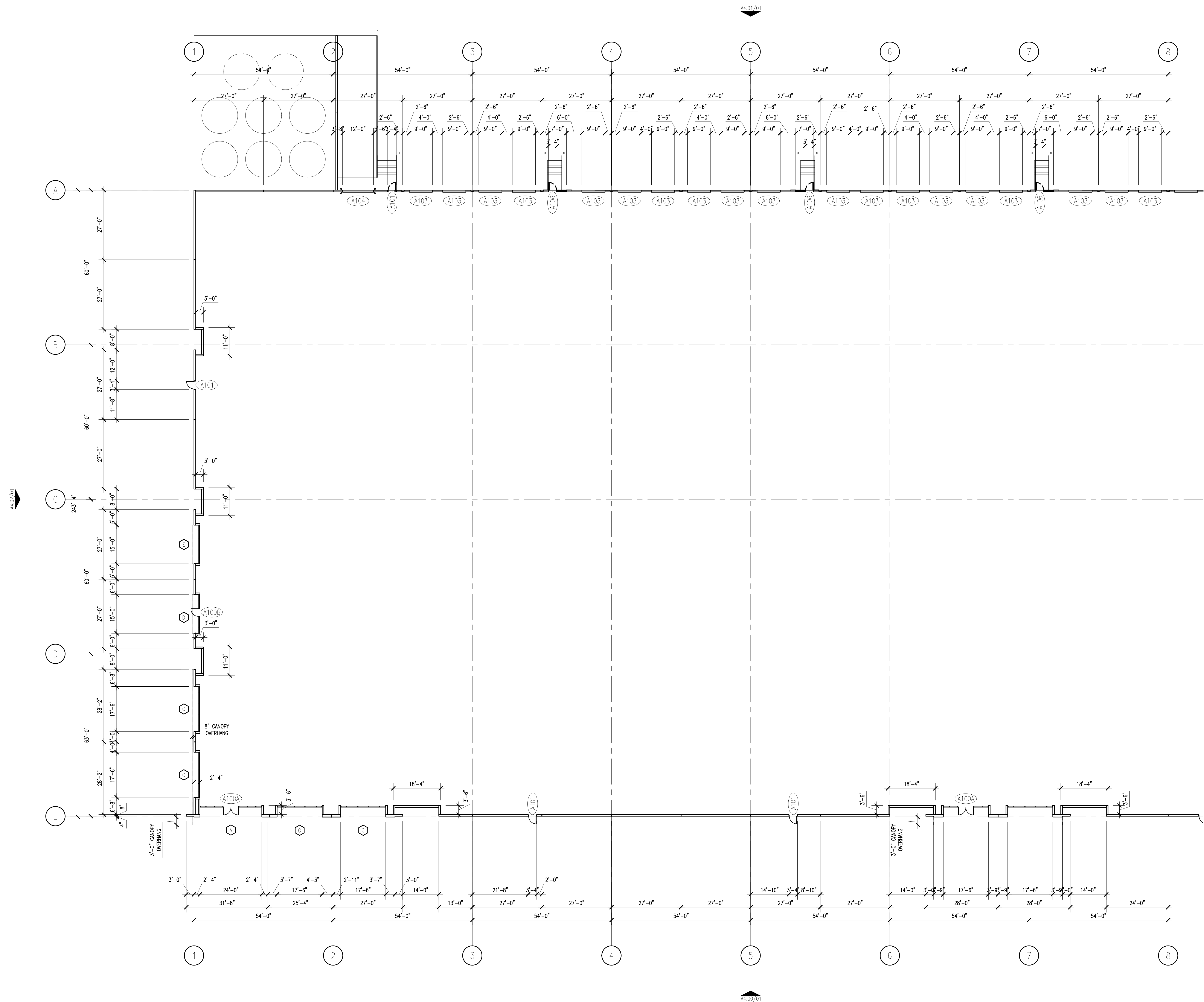
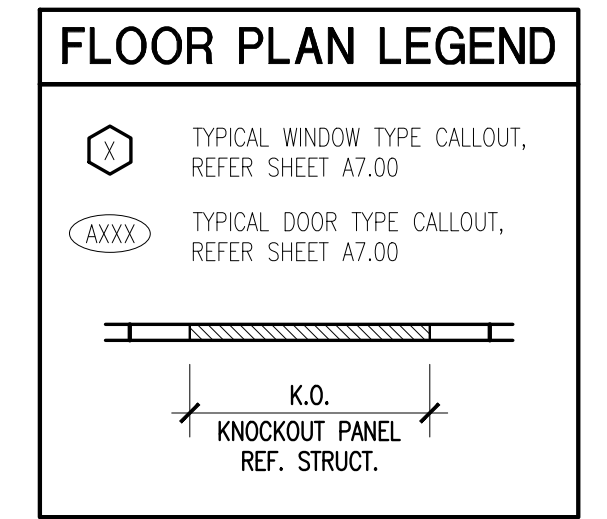
A2.00
 OVERALL FLOOR PLAN



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Fernando Andrade, AIA Architect
Kimley-Horn Civil Engineer
Engineering Analysts, Inc. Structural Engineer
Venture Mechanical, Inc. Mechanical Engineer
Kilgore Industries Electrical Engineer
J.L. Parker Plumbing, Inc. Plumbing Engineer
Kimley-Horn Landscape Architect

- FLOOR PLAN GENERAL NOTES**
- 10 MIL VAPOR BARRIER UNDER ENTIRE SLAB, TYP.
 - EXPOSED STEEL ROOF STRUCTURE TO BE UNFINISHED & UNDERSIDE OF ROOF DECK TO BE FACTORY FINISHED WHITE
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 - FULLY SPRINKLERED THROUGHOUT ENTIRE BUILDING WITH ESFR SYSTEM
 - PROVIDE EUCC 700 SEALANT (OR EQUAL) @ ALL CONSTRUCTION JOINTS IN SLAB
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ROCKWALL DISTRIBUTION CENTER
 1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087

01 ENLARGED FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 PLAN NORTH TRUE NORTH

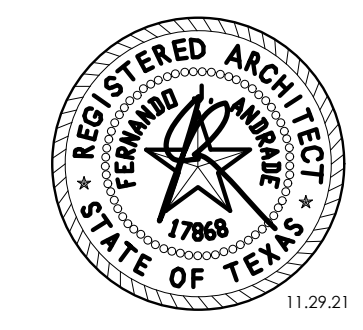
A2.10	A2.11	A2.12
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KEY PLAN

PROJECT NO.: 2966
 DATE: 11.29.21
 REVISIONS:

11.29.21	ISSUE FOR PERMIT

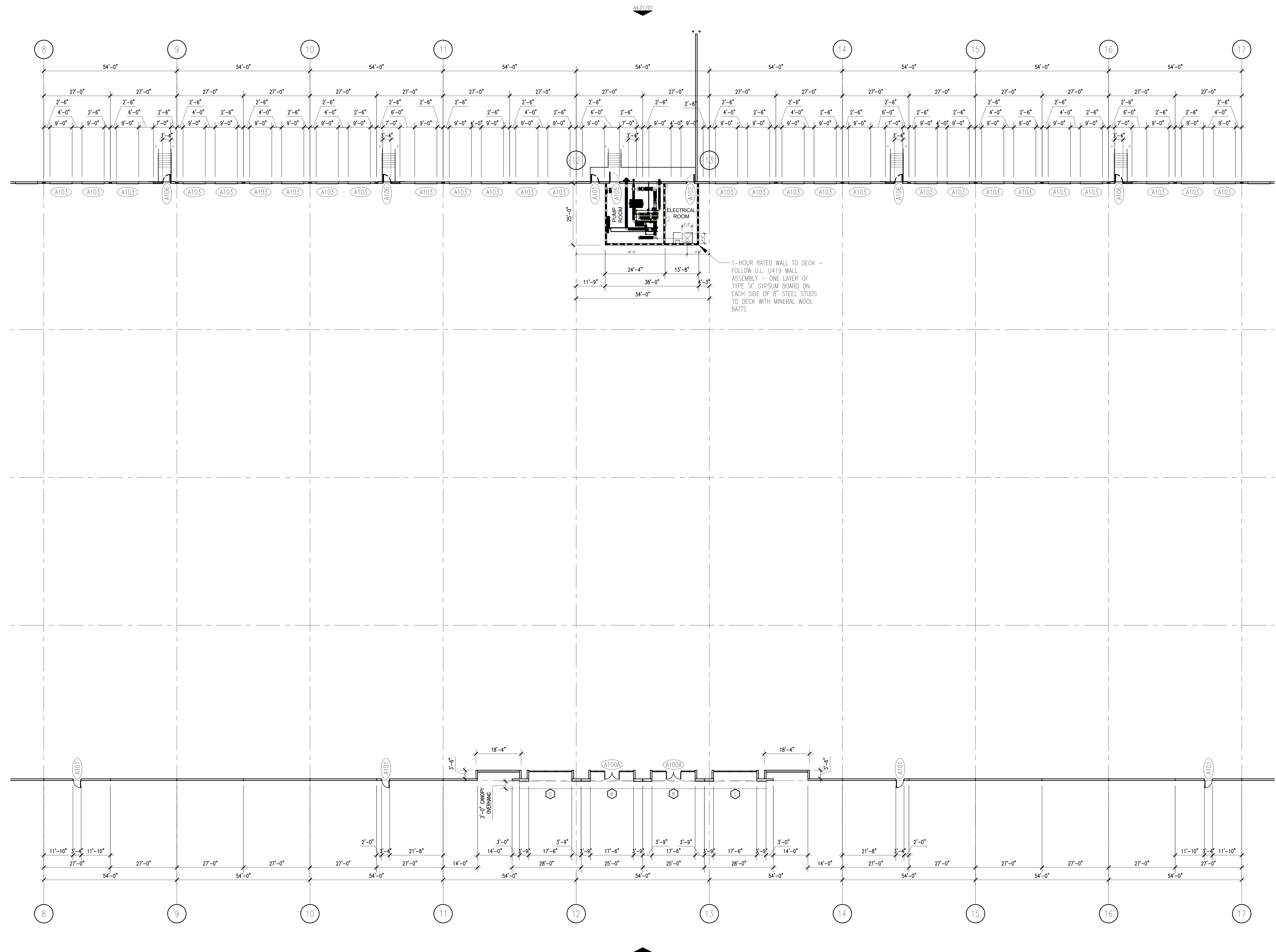
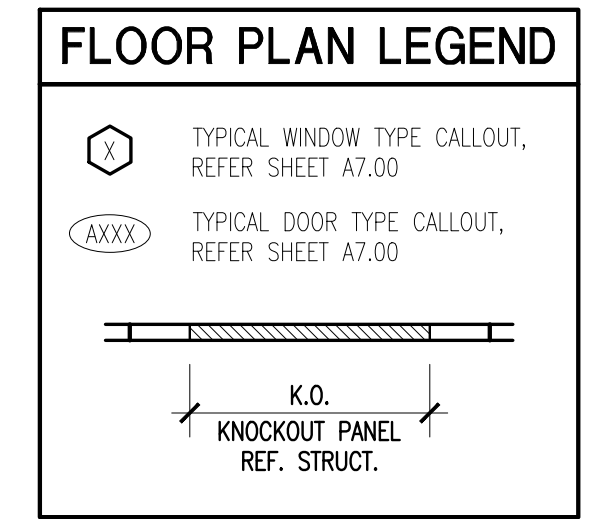
A2.10
 ENLARGED FLOOR PLAN



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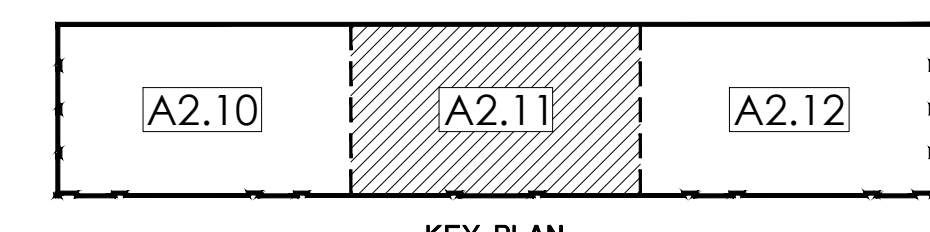
Fernando Andrade, AIA
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Structural Engineer
Venture Mechanical, Inc.
Mechanical Engineer
Kilgore Industries
Electrical Engineer
J.L. Parker Plumbing, Inc.
Plumbing Engineer
Kimley-Horn
Landscape Architect

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 - PROVIDE 2-LINE GUARD RAIL PROTECTION @ ALL FIRE RISERS & ELECTRICAL PANELS (OMEGA RAIL OR EQUAL)



1-HOUR RATED WALL TO DECK - FOLLOW U.L. U419 WALL ASSEMBLY - ONE LAYER OF TYPE "X" GYPSUM BOARD ON EACH SIDE OF 8" STEEL STUDS TO DECK WITH MINERAL WOOL BATTIS

01 ENLARGED FLOOR PLAN
SCALE: 1/16" = 1'-0"
PLAN NORTH TRUE NORTH



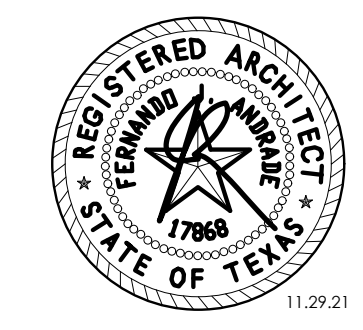
ROCKWALL DISTRIBUTION CENTER

1515 CORPORATE CROSSING (F.M. 549)
ROCKWALL, TEXAS 75087

PROJECT NO.: 2966
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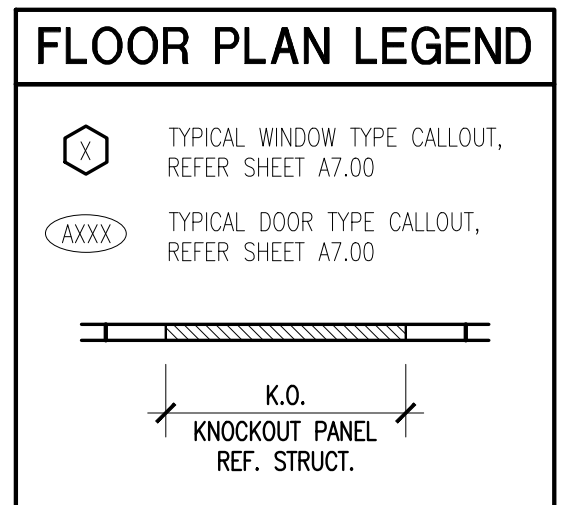
A2.11
ENLARGED FLOOR PLAN



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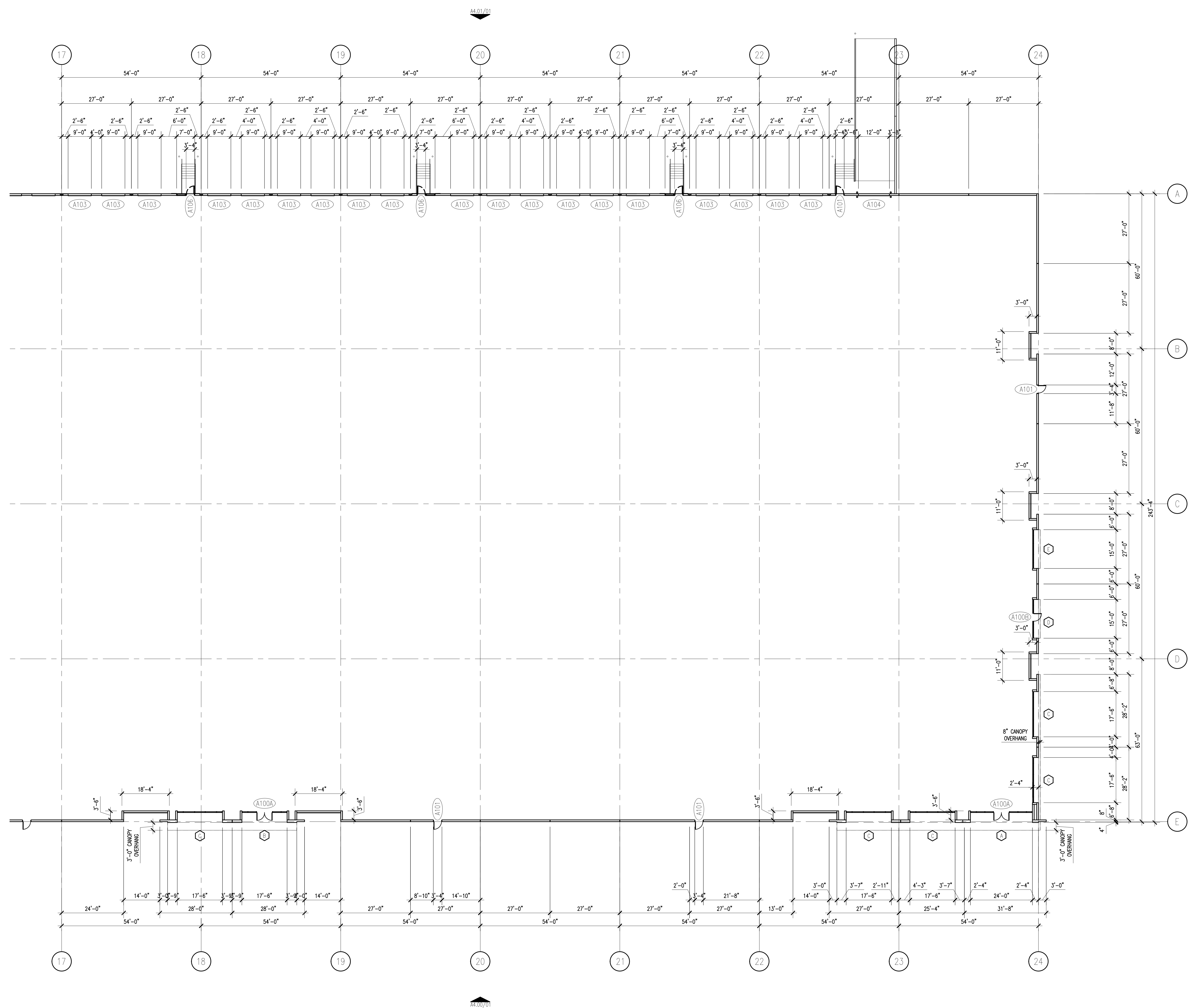
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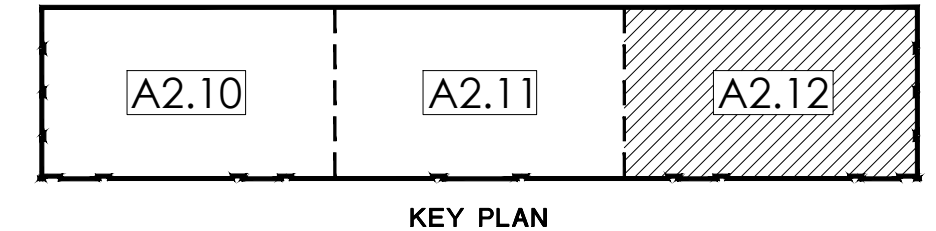


ROCKWALL DISTRIBUTION CENTER

1515 CORPORATE CROSSING (F.M. 549)
 ROCKWALL, TEXAS 75087



01 ENLARGED FLOOR PLAN
 SCALE: 1/16" = 1'-0"
 PLAN NORTH TRUE NORTH



PROJECT NO.:	2966
DATE:	11.29.21
REVISIONS:	
11.29.21	ISSUE FOR PERMIT

A2.12
 ENLARGED FLOOR PLAN



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 14, 2023
APPLICANT: Dan Whalen II; *BradStone Design Group*
CASE NUMBER: SP2023-007; *Site Plan for the McKinney Building*

SUMMARY

Discuss and consider a request by Dan Whalen II of BradStone Design Group on behalf of John McKinney and Michael Daul of M & J Ranch Trail Holdings, LLC for the approval of a Site Plan for an *office building* on a 1.798-acre parcel of land identified as a portion of Lot 18 & 19 of the Rainbo Acres Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, generally located at the southeast corner of the intersection of County Line Road and Ranch Trail, and take any action necessary.

BACKGROUND

On October 25, 1962, a final plat was filed with Rockwall County that establish the subject property as Lot 18 and the south portion of Lot 19, of the Rainbo Acres Addition. The subject property was annexed into the City of Rockwall on May 17, 2004 [Case No. A2004-001] by Ordinance No. 04-34. At the time of annexation the subject property was zoned Agricultural (AG) District. On December 2, 2013, the City Council approved a rezoning request [Case No. Z2013-030] for the subject property changing the zoning from an Agricultural (AG) District to a Commercial (C) District. The Planning and Zoning Commission has previously approved two (2) site plans [Case No. SP2019-003 & SP2019-043], however the subject property has remained vacant since the time of annexation.

PURPOSE

On February 17, 2023, the applicant -- *Dan Whalen II of BradStone Design Group* -- submitted an application requesting the approval of a Site Plan for the purpose of constructing an *Office Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located at the southeast corner of County Line Road and Ranch Trail. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is County Line Road, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is the Lake Rockwall Estates residential subdivision, zoned Planned Development District 75 (PD-75) for Single Family 7 (SF-7) District land uses.

South: Directly south of the subject property are several parcels of land that make up the remainder of the Rainbo Acres Subdivision. These properties are developed with a range of commercial land uses (*i.e. Office, Mini-Warehouse, Retail/Showroom*) and are zoned Commercial (C) District. Beyond this is Horizon Road, which is classified as a TXDOT4D (*i.e. a Texas Department of Transportation, four [4] lane, divided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is a vacant 131.39-acre tract of land (*i.e. Tract 43-01, of the W. W. Ford Survey, Abstract No. 80*) zoned Agricultural (AG) District.

West: Directly west of the subject property is Ranch Trail, which is identified as a *Minor Collector* on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 1.203-acre parcel of land (i.e. Lot 1, Block A, Maverick Ranch Addition) developed with two (2) commercial buildings. Following this are several tracts of land (i.e. Tracts 20 – 20-02, 20-01 - 20-07, & 26-1 - 26-6, of the W. W. Ford Survey, Abstract No. 80) developed with a range of commercial land uses (i.e. Sports Arena, Office, Mini-Warehouse, Retail). All of these properties are zoned Commercial (C) District.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building* is a permitted *by-right* in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Commercial (C) District with the exception of the item noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=1.798-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 216-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=361-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=27-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=16.7%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space/300 SF (44 Required)	X=78; In Conformance
<i>Minimum Landscaping Percentage</i>	20%	X=30.4%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X=69.6%; In Conformance

TREESCAPE PLAN

The treescape plan provided by the applicant indicates a total of 31 Eastern Red Cedars greater than eight (8) feet in height are to be removed from the site. Given this, the required tree mitigation for this site equals 124-caliper inches (i.e. 31 Eastern Red Cedars x 4 caliper inches of mitigation = 124 caliper inches). The applicant is providing approximately 136-caliper inches of canopy trees on site, which will satisfy the required tree mitigation.

CONFORMANCE WITH THE CITY’S CODES

The applicant is requesting to construct an *Office Building* on the subject property. According to Subsection 02.02(C)(9), *Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC), an *Office Building* is defined as a “facility that provides executive, management, administrative, or professional services...but not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices.” In this case, the applicant’s request for the *Office Building* is permitted by right.

The subject property is not located within an Overlay District and is therefore only subject to the *General Commercial District Standards*. Given this, the proposed *Office Building* is not subject to any building material requirements. That being said, the applicant has provided building elevations that include 55%-70% masonry material. The use of masonry material is *like-in-kind* with the new development along Ranch Trail. Currently this area is designated as a *Transitional Area* per the OURHometown Vision 2040 Comprehensive Plan. This *Transitional Area* should be transitioning “from interim land uses and building types to more permanent structures with conforming land uses.” In this case, the applicant is providing a permanent structure, a conforming land use, and incorporating building materials that are similar to recent development along Ranch Trail. The proposed site plan also generally conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the *Exception* being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exception:

(1) Building Articulation.

- (a) Secondary Building Facades. According to Subsection 04.01. (C)(2), of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed three (3) times the wall height. In this case, the wall length requirement is not met on the south side of the building. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] increased landscaped area, [2] increased open space, [3] provided four (4) sided architecture, and [4] increased architectural elements. Compensatory measures 1-3 go beyond what the code requires for the property. Compensatory measure 1 provides 68.5% landscaped area along Ranch Trail, where only 50% of Ranch Trail is required. In addition, the applicant is proposing 37.3% of the total site be landscaped. The minimum for the Commercial (C) District is 20.00%. The applicant has also incorporated four (4) sided architecture, which is a requirement only within the *General Overlay District Standards*. The applicant's variance letter indicates that the increased architectural elements are shown as increased depth to the roof overhangs and entry porticos "...to provide additional interest and depth to the building facades." Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Southwest Residential District. The Southwest Residential District "...contains a mixture of land uses that include existing medium and low density residential, heavy commercial/retail land uses...and commercial land uses." *Strategy #3* in the Southwest Residential District indicates Ranch Trail and the subject property as a *Transitional Area*. The *Transitional Area* is described as "currently transitioning from interim land uses and building types to more permanent structures with conforming land uses. These areas should be given special consideration with regard to requests that further the establishment of uses and structures that will improve the property values of the adjacent properties..." In this case, the proposed *Office Building* is a permanent structure and a conforming land use. Based on this the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On February 28, 2023 the Architecture Review Board reviewed the building elevations provided by the applicant and approved a motion to recommend approval by a vote of 6-0, with Board Member Miller absent.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of an *Office Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.

- (2) The applicant must provide staff a Photometric Plan that addresses all of staff's comments before Engineering/Civils Plans are submitted.

- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- REPLAT (\$300.00 + \$20.00 ACRE) ¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 405 Ranch Trail

SUBDIVISION Rainbo Acres

LOT 18 BLOCK

GENERAL LOCATION 600 feet south from the intersection of County Line Road and Ranch Trail

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C Commercial

CURRENT USE Vacant Property

PROPOSED ZONING C Commercial

PROPOSED USE Office Building

ACREAGE 1.798

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

OWNER M&J Ranch Trail Holdings, LLC

APPLICANT BroadStone Design Group

CONTACT PERSON John McKinney / Michael Daul

CONTACT PERSON Dan Whalen II

ADDRESS 315 Ranch Trail

ADDRESS 401 Pinson Road

CITY, STATE & ZIP Rockwall, TX 75023

CITY, STATE & ZIP Forney, TX 75126

PHONE (214) 304-2979

PHONE (214) 295-5280

E-MAIL JMCKINNEY@SNAPMGA.COM
MDAUL@SNAPMGA.COM

E-MAIL DWHALEN@BROADSTONEDG.COM

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

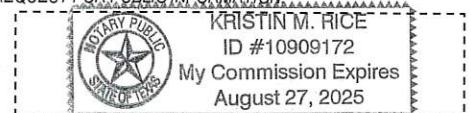
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 16th DAY OF February, 2023

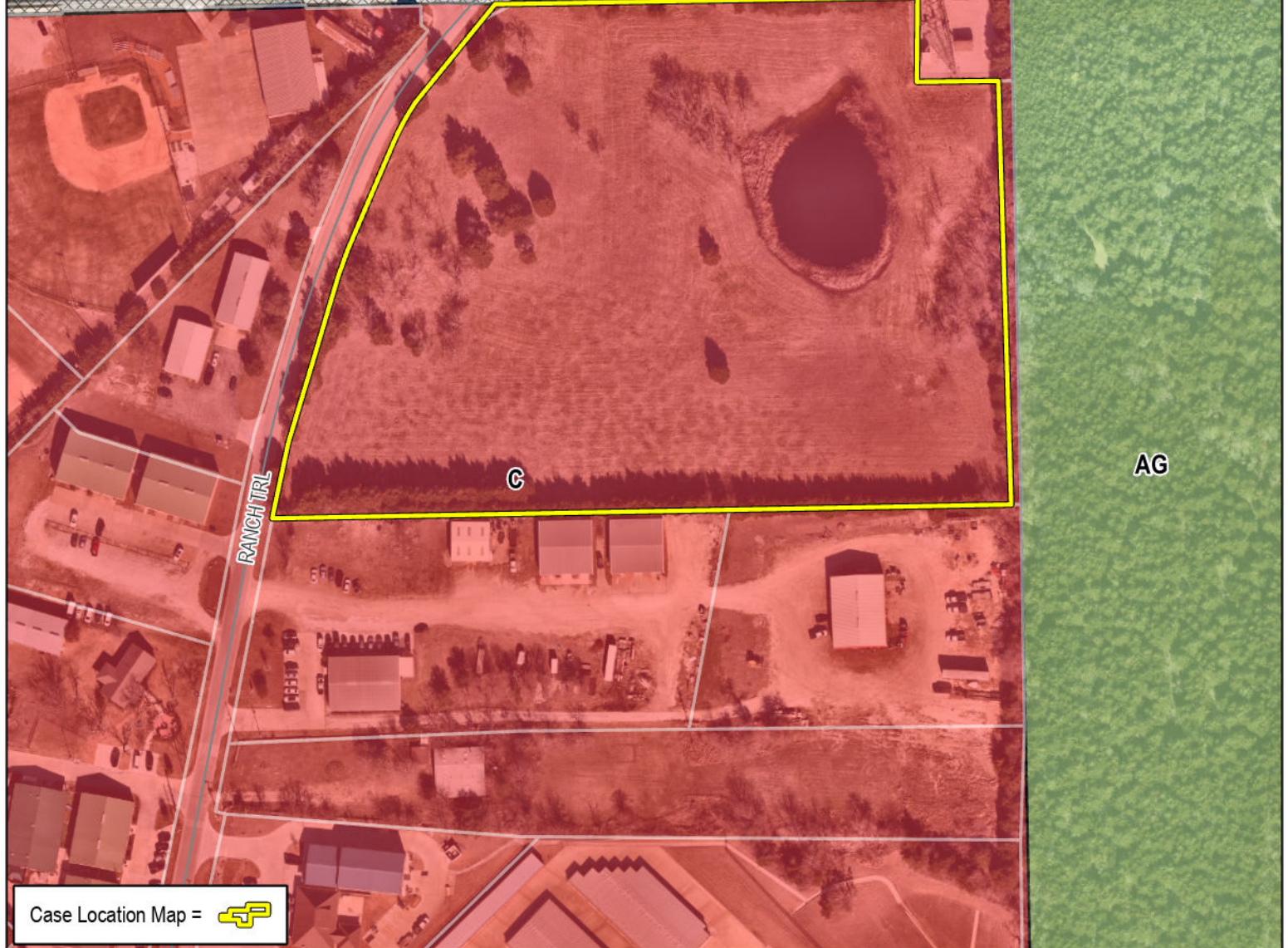
OWNER'S SIGNATURE

John McKinney
[Signature]

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



MY COMMISSION EXPIRES



Case Location Map = 



City of Rockwall

Planning & Zoning Department
 385 S. Goliad Street
 Rockwall, Texas 75087
 (P): (972) 771-7745
 (W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



PROJECT SITE PLAN DATA

GENERAL
 EXISTING USE: VACANT PROPERTY
 PROPOSED USE: OFFICE BUILDING
 EXISTING ZONING DISTRICT: C COMMERCIAL
 PROPOSED ZONING DISTRICT: C COMMERCIAL
 APPLICABLE ZONING OVERLAYS: N/A
 ROCKWALL COUNTY APPRAISAL DISTRICT
 ACCOUNT NUMBER: 87534

OVERALL SITE
 GROSS SITE AREA: 78,315 SF OR 1.798 ACRES
 SITE FRONTAGE: 216 FT
 SITE WIDTH: 200 FEET
 SITE DEPTH: VARIES 361 FEET TO 416 FEET
 IMPERVIOUS SURFACE AREA: 45,529 SF
 PERVIOUS SURFACE AREA: 32,777 SF

BUILDING
 TOTAL GROSS INTENSITY (FAR): 0.16: 1
 TOTAL SQUARE FOOTAGE: 13,080 SF
 COMMERCIAL (SF): 13,080 SF
 INDUSTRIAL (SF): N/A
 OTHER (SF): N/A

PROPERTY DEVELOPMENT REGULATIONS
 MAXIMUM BUILDING COVERAGE PERMITTED: 60%
 MAXIMUM BUILDING COVERAGE PROPOSED: 16.7%
 MINIMUM LOT AREA (REQUIRED & PROPOSED): 10,000 SF / 78,315 SF
 MINIMUM LOT WIDTH (REQUIRED & PROPOSED): 60 FEET / 200 FEET
 MINIMUM LOT DEPTH (REQUIRED & PROPOSED): 100 FEET / VARIES

SETBACKS (REQUIRED & PROPOSED):
 FRONT SETBACK: 15 FEET / 42'-5"
 SIDE SETBACK: 10 FEET / 18'-5" SOUTH & 96'-7" NORTH
 REAR SETBACK: 10 FEET / 188'-8"
 MAX STRUCTURE HEIGHT PERMITTED: 60 FEET
 MAX STRUCTURE HEIGHT PROPOSED: 27 FEET (RIDGE LINE)

FLOOD MAP DATA

SUBJECT PROPERTY IS LOCATED WITHIN AN AREA HAVING A ZONE DESIGNATION OF "X" BY THE U.S. DEPARTMENT OF HOMELAND SECURITY ON FLOOD INSURANCE RATE MAP, NO. 48397C0040L, EFFECTIVE DATE OF 09-26-2008, FOR COMMUNITY PANEL NO. 480547, CITY OF ROCKWALL, TX

PARKING REQUIREMENTS

PARKING RATIO: 1/300 OFFICE
 OFFICE AREA: 13,080 SF

REQUIRED PARKING: 44
 PROVIDED PARKING: 70

REQUIRED ADA PARKING: 4
 PROVIDED ADA PARKING: 4

PARKING SPACE: 9' X 20'
 ADA VAN SPACE: 11' X 20' & 5' AISLE OR 8' X 20' & 8' AISLE
 ADA STANDARD: 9' X 20'

SITE AREA CALCULATIONS

NAME	COVERAGE TYPE	AREA
BUILDING ROOF AREA	IMPERVIOUS	13516 SF
GROSS PARKING AREA	IMPERVIOUS	28840 SF
OUTDOOR AREA	IMPERVIOUS	900 SF
SIDEWALK	IMPERVIOUS	939 SF
SIDEWALK	IMPERVIOUS	932 SF
SIDEWALK	IMPERVIOUS	339 SF
SIDEWALK	IMPERVIOUS	62 SF
IMPERVIOUS		45529 SF

LANDSCAPE (GENERAL)	PERVIOUS	29218 SF
LANDSCAPE BUFFER	PERVIOUS	1582 SF
LANDSCAPE BUFFER	PERVIOUS	219 SF
INTERIOR LANDSCAPE	PERVIOUS	435 SF
INTERIOR LANDSCAPE	PERVIOUS	692 SF
INTERIOR LANDSCAPE	PERVIOUS	631 SF
PERVIOUS		32777 SF
Grand total		78366 SF

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____

WITNESS OUR HANDS, this _____ day of _____

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning

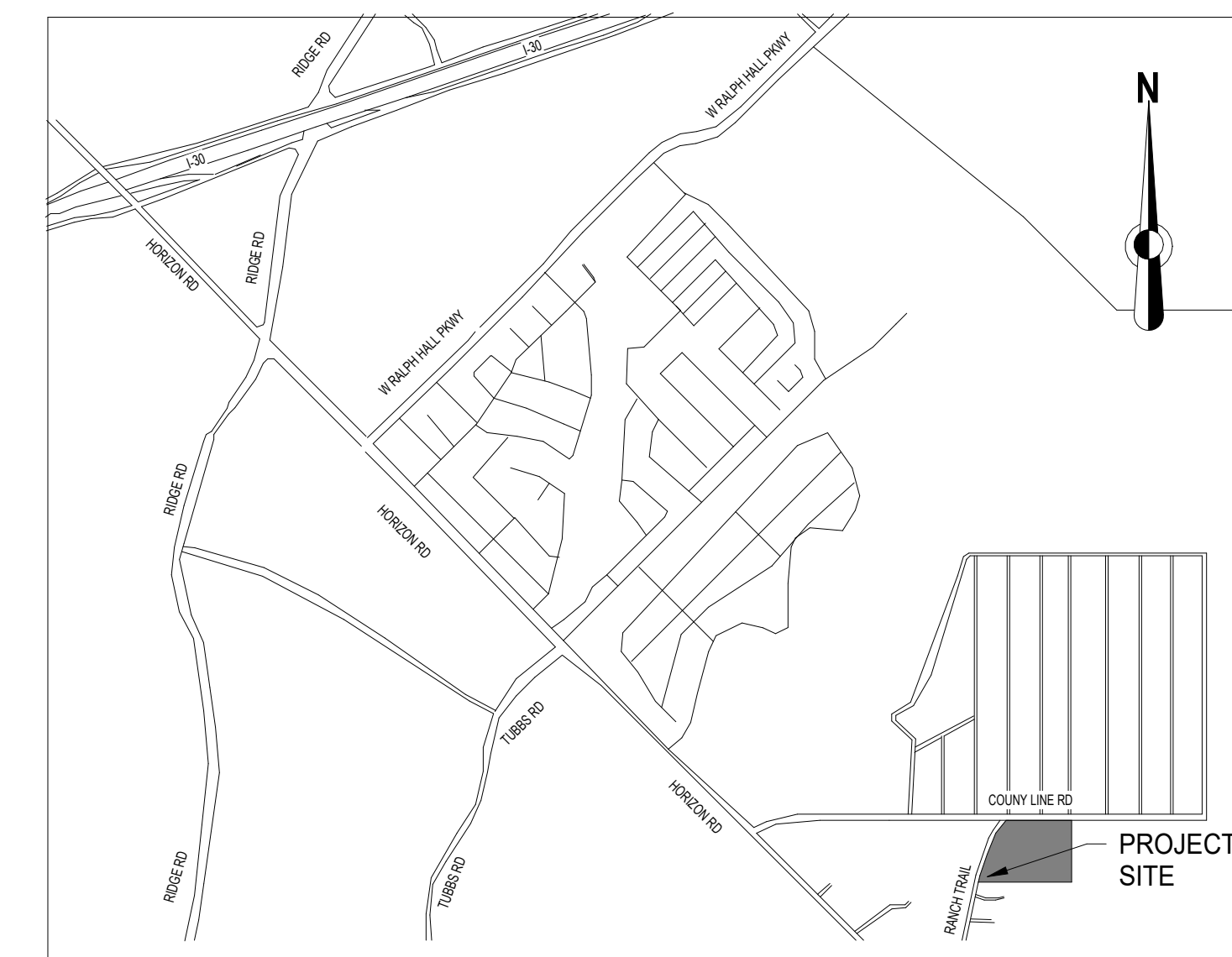
SITE PLAN - DETAIL

MCKINNEY BUILDING
 365 RANCH TRAIL
 ROCKWALL, TEXAS 75032
 RAINBOW ACRES, LOTS 18 & 5 PART OF 19
 ROCKWALL COUNTY
 MCKINNEY BUILDING

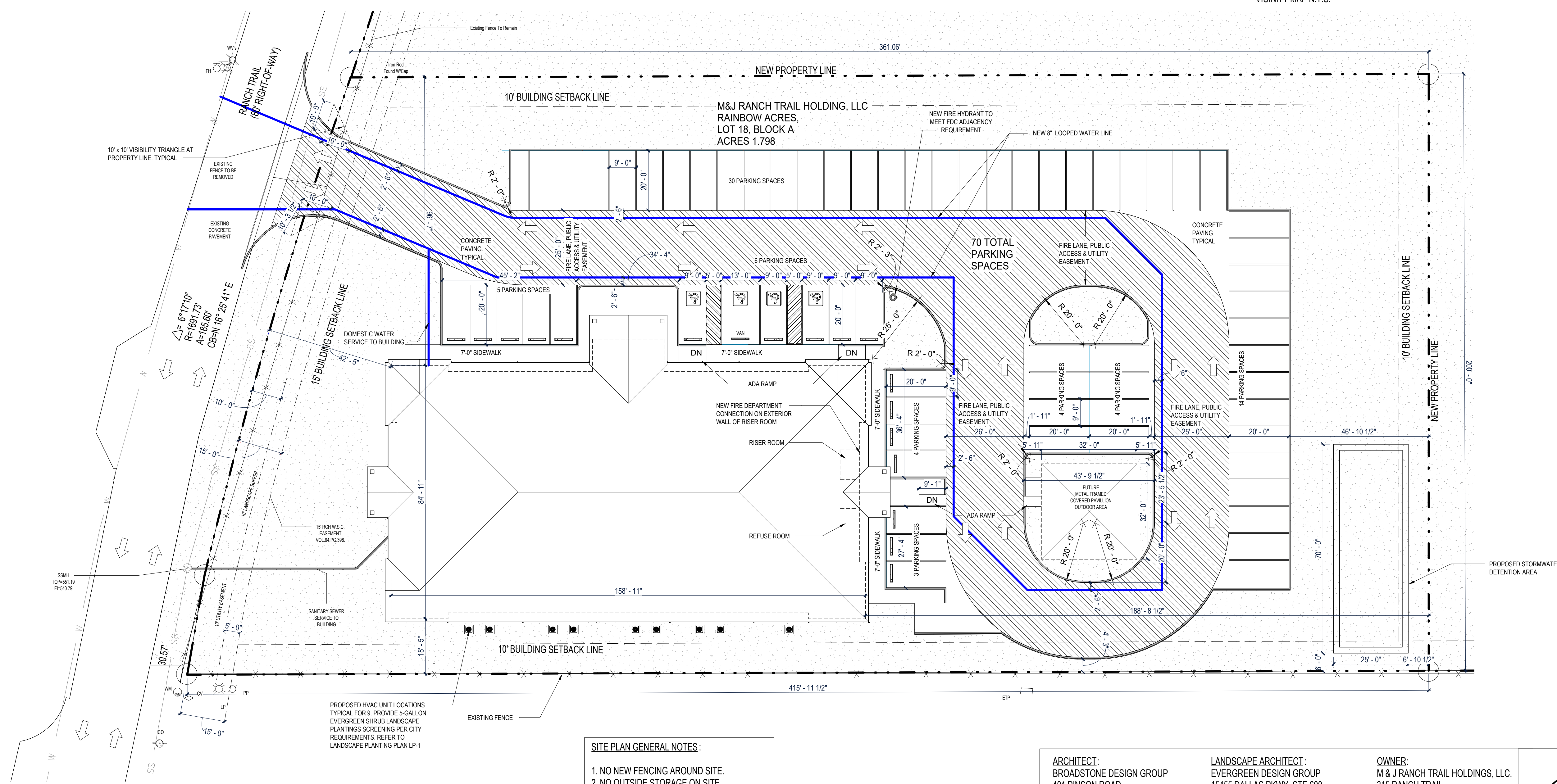
SP-1.1

CASE NUMBER: SP2023-007

03-08-2023



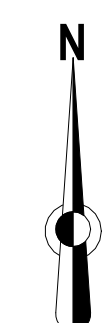
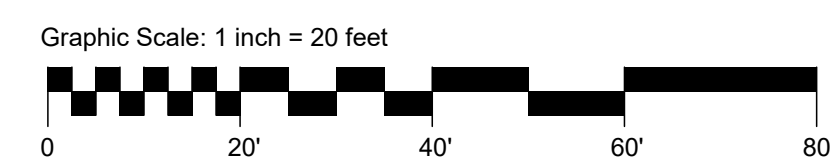
VICINITY MAP N.T.S.



- SITE PLAN GENERAL NOTES:**
1. NO NEW FENCING AROUND SITE.
 2. NO OUTSIDE STORAGE ON SITE.
 3. TRASH RECEPTACLES SHALL BE ROLL-OUT DOLLY CARTS STORED INSIDE REFUSE ROOM. DUMPSTER NOT REQUIRED.

PROPOSED HVAC UNIT LOCATIONS. TYPICAL FOR 9. PROVIDE 5-GALLON EVERGREEN SHRUB LANDSCAPE PLANTINGS SCREENING PER CITY REQUIREMENTS. REFER TO LANDSCAPE PLANTING PLAN LP-1

1 SITE PLAN - DETAIL
 1" = 20'-0"



ARCHITECT:
 BROADSTONE DESIGN GROUP
 401 PINSON ROAD
 FORNEY, TX 75126
 DAN WHALEN II
 (214) 295-5280
 DWHALEN@ELDENGEINER.COM

CIVIL ENGINEER:
 ERIC L. DAVIS ENGINEERING, INC.
 401 PINSON ROAD
 FORNEY, TX 75126
 MITCH LENAMOND
 (972) 564-0592
 MLENAMOND@ELDENGEINER.COM

LANDSCAPE ARCHITECT:
 EVERGREEN DESIGN GROUP
 15455 DALLAS PKWY, STE 600
 ADDISON, TX 75001
 ERIC SHEPLEY
 (800) 680-6630 X 11
 ERIC@EVERGREENDESIGNGROUP.COM

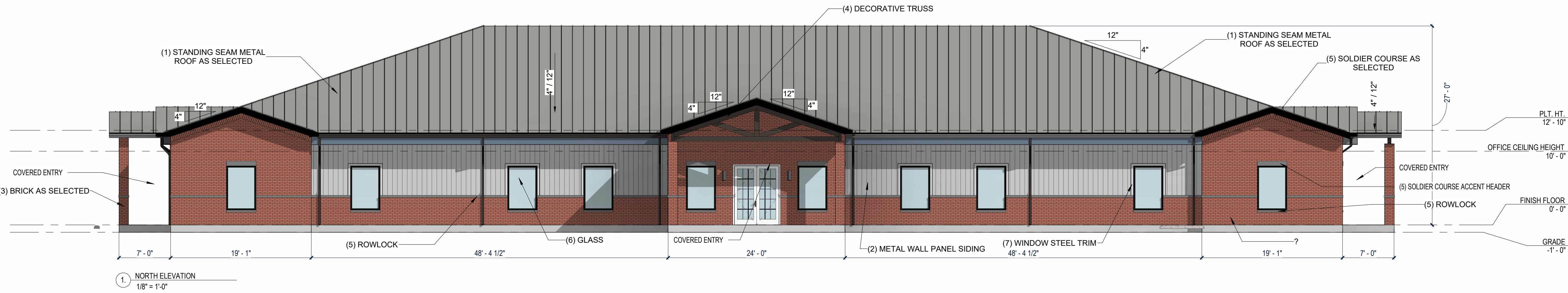
MEP ENGINEER:
 APE ENGINEERING
 1340 DOVE DRIVE
 MIDLOTHIAN, TX 76065
 RUSSELL LAQUEY
 (972) 351-7550
 RUSLAQUEY@YAHOO.COM

OWNER:
 M & J RANCH TRAIL HOLDINGS, LLC.
 315 RANCH TRAIL
 ROCKWALL, TX 75023
 JOHN MCKINNEY / MICHAEL DAUL
 (214) 304-2979
 JMCINNEY@SNAPMGA.COM
 MDAUL@SNAPMGA.COM



Eric L. Davis Engineering, Inc.
 401 Pinson Road
 Forney, TX 75126
 772.564.0592
 www.eldengineering.com

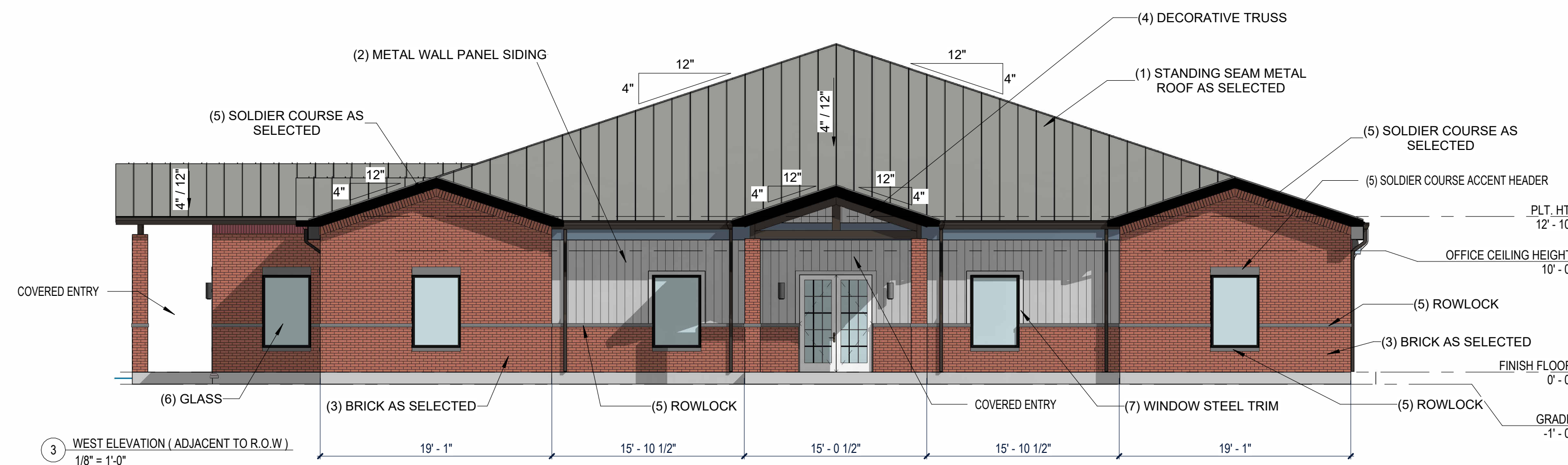
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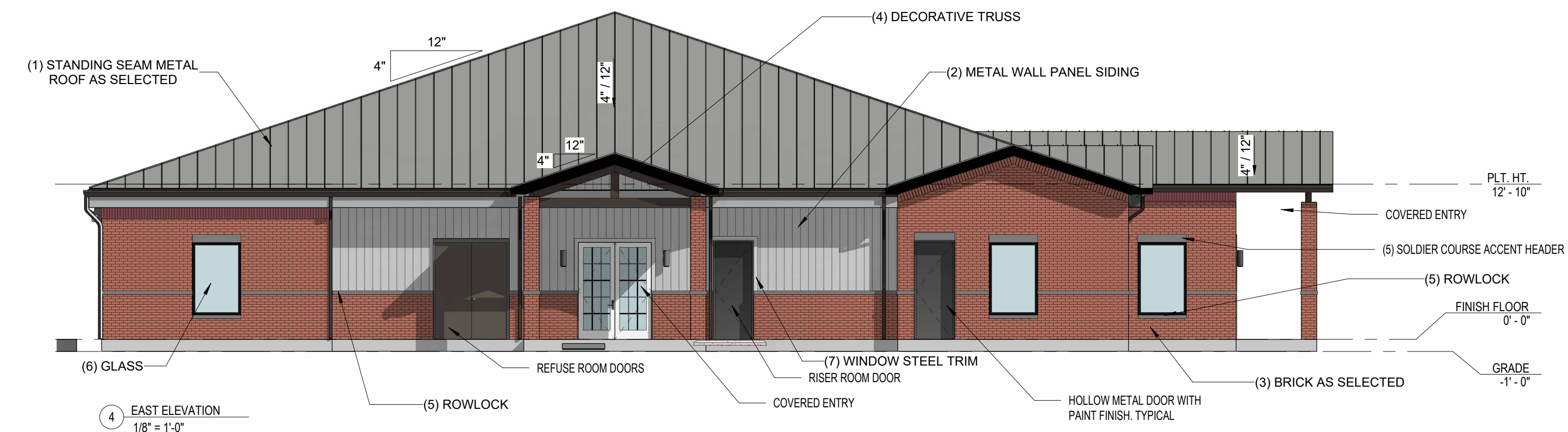
MATERIAL INFORMATION - NORTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	1394 SF	66%
(MC) Metal Siding	707 SF	34%
	2101 SF	100%



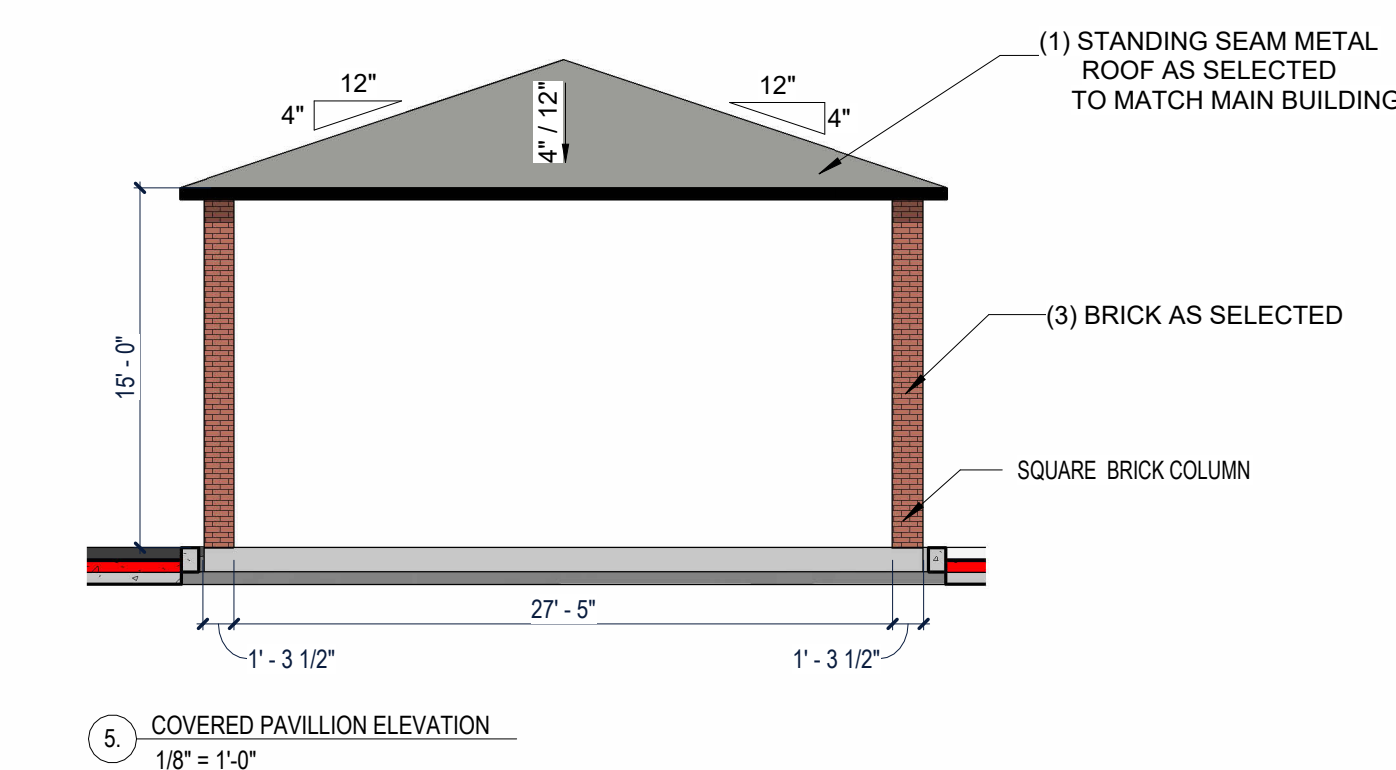
MATERIAL INFORMATION - SOUTH ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	918 SF	55%
(MC) Metal Siding	738 SF	45%
Grand total: 6	1656 SF	100%



MATERIAL INFORMATION - WEST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	743 SF	70%
(MC) Metal Siding	322 SF	30%
	1064 SF	100%



MATERIAL INFORMATION - EAST ELEVATION		
Material: Name	Material: Area	MATERIAL PERCENTAGE
(MC) ACME - Roxbury	669 SF	68%
(MC) Metal Siding	310 SF	32%
	980 SF	100%



FACADE FINISH MATERIALS SCHEDULE				
ID	TYPE	MANUFACTURER	MODEL	COLOR
1	STANDING SEAM METAL ROOF	BERRIDGE	ZEE-LOCK	ZINC GREY
2	METAL WALL PANEL	BERRIDGE	FW-12	PARCHMENT
3	BRICK	ACME	DTP157	ROXBURY
4	DECORATIVE TRUSS	-	-	CHARCOAL GREY
5	ACCENT BRICK	ACME	DTP157	ROXBURY
6	GLASS	VITRO	SOLARBAN 60 (2)	SOLARBLUE
7	WINDOW TRIM	-	-	CHARCOAL GREY

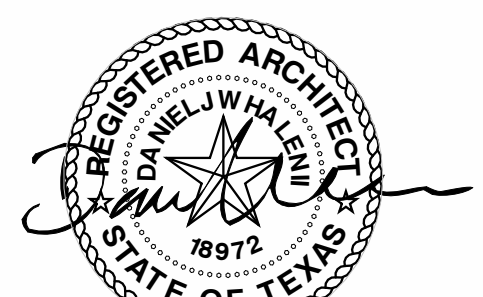
ARCHITECT:
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(214) 295-5280
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15455 DALLAS PKWY, STE 600
ADDISON, TX 75001
ERIC SHEPLEY
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MEP ENGINEER:
APE ENGINEERING
1340 DOVE DRIVE
MIDLOTHIAN, TX 76065
RUSSELL LAQUEY
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OWNER:
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315 RANCH TRAIL
ROCKWALL, TX 75023
JOHN MCKINNEY / MICHAEL DAUL
(214) 304-2979
JMCKINNEY@SNAPMGA.COM
MDAUL@SNAPMGA.COM



03-08-2023

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

BROADSTONE DESIGN

BSDG
401 Pinson Road
Forney, TX 75126
214.295.5280
www.broadstongd.com

Eric L. Davis Engineering, Inc.
401 Pinson Road
Forney, TX 75126
972.564.0592
www.eldengineering.com

BUILDING ELEVATIONS

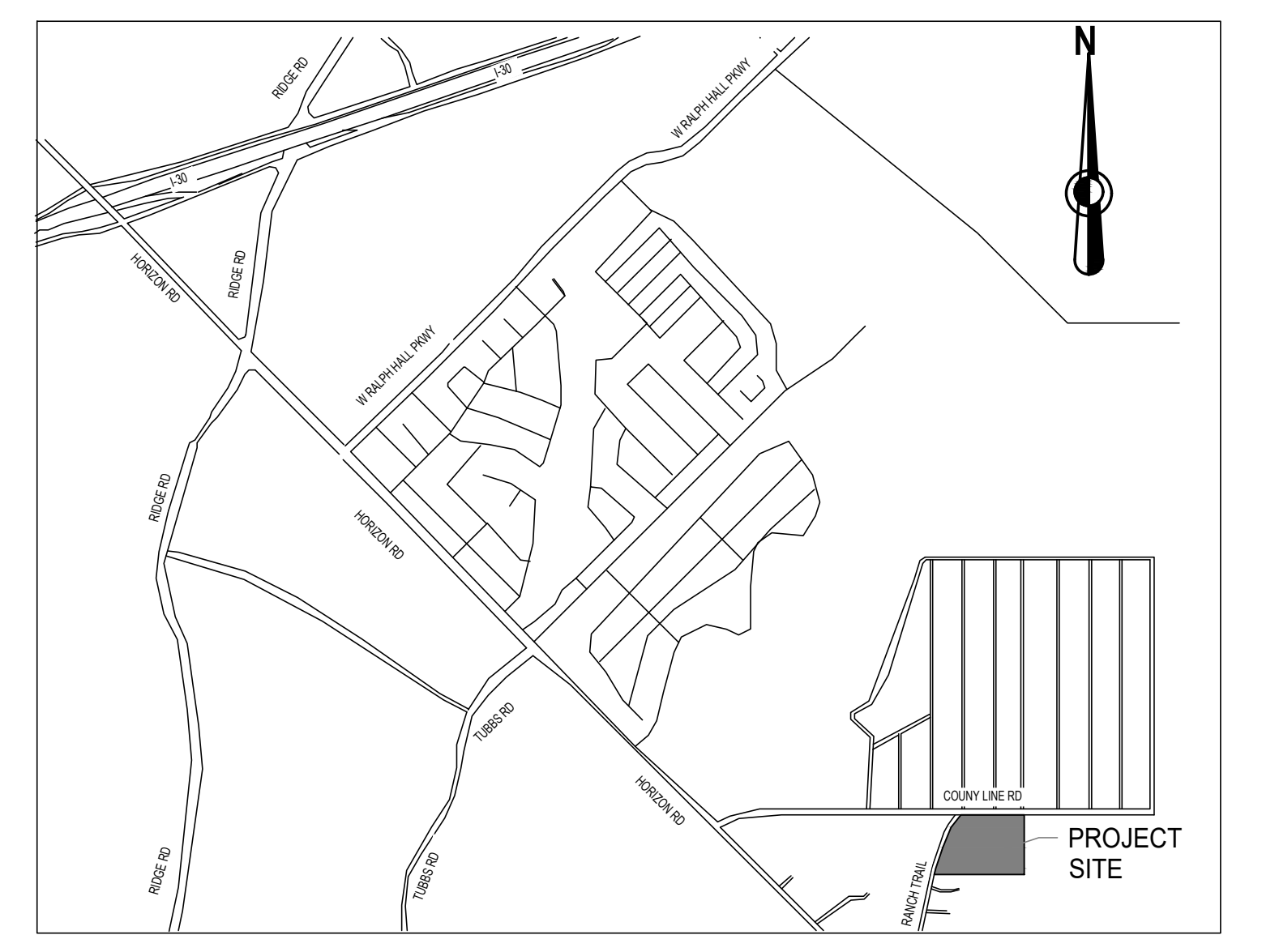
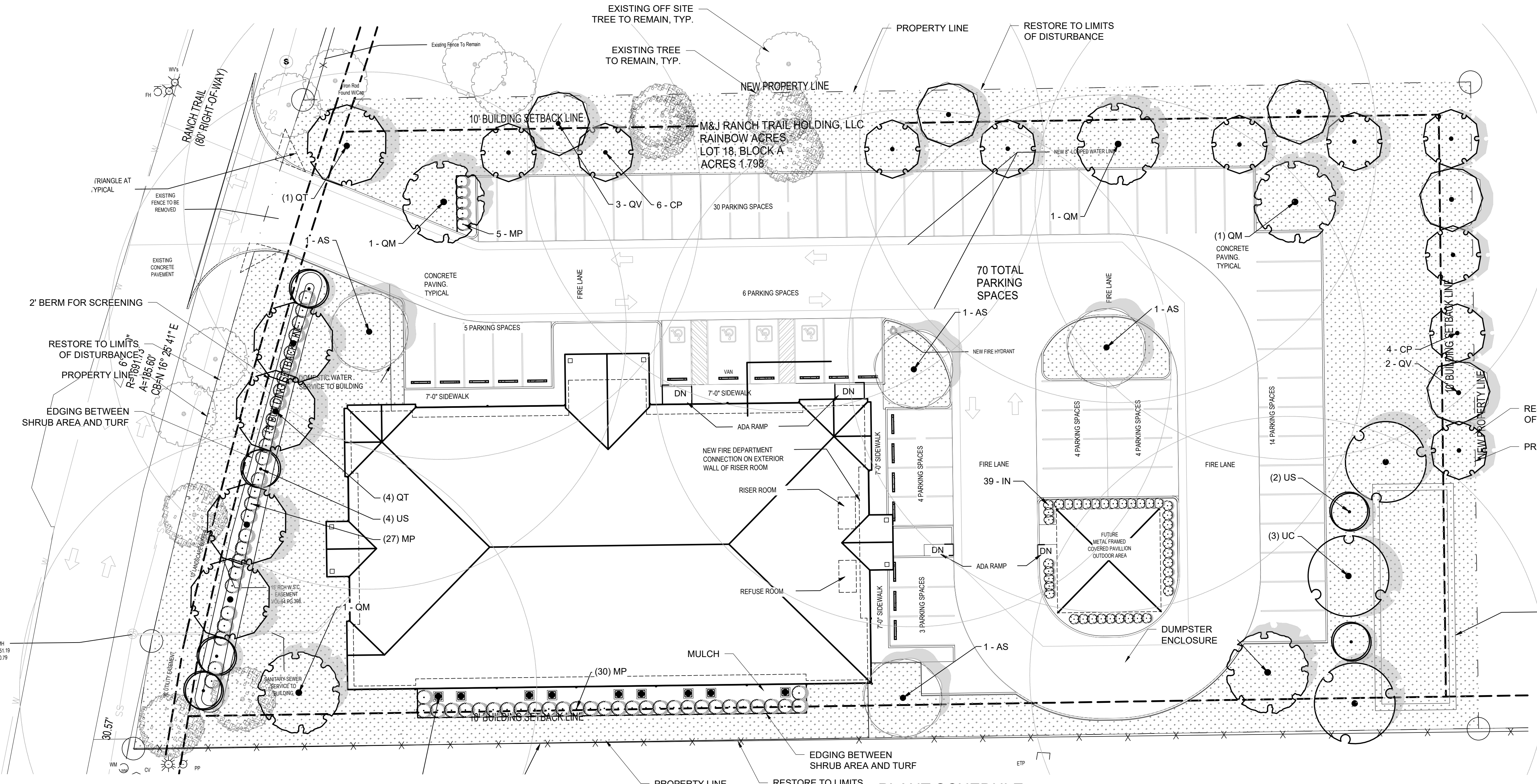
McKINNEY BUILDING
365 RANCH TRAIL
ROCKWALL, TEXAS 75032
RAINBOW ACRES, LOTS 18 & S PART OF 19
ROCKWALL COUNTY
MCKINNEY BUILDING

SP-1.2

CASE NUMBER: SP2023-007

03-08-2023

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LANDSCAPE STANDARDS

05.01 LANDSCAPE BUFFERS - NON-RESIDENTIAL
 REQ. ABUTTING A PUBLIC RIGHT-OF-WAY: 10' WIDE LANDSCAPE BUFFER W/ GROUND COVER, BERM, AND SHRUBBERY 30" HIGH + 1 CANOPY TREE & 1 ACCENT TREE PER 50 LIN. FEET OF FRONTAGE

RANCH TRAIL:
 ±207' STREET FRONTAGE
 REQUIRED PLANTING:
 PROVIDED 10' BUFFER: SHRUBS
 5 CANOPY TREES, 5 ACCENT TREES, BERM W/ SHRUBS
 5 NEW CANOPY TREES, 5 ACCENT TREES W/ BERM AND SHRUBS

05.03 LANDSCAPE REQUIREMENTS - COMMERCIAL (C) DISTRICT
 TOTAL SITE AREA: ±78,309 SF
 LANDSCAPE AREA REQUIRED TOTAL SITE: 15,661 SF (20%)
 LANDSCAPE PROVIDED, TOTAL SITE: ± 29,218 SF (37.3%)

LOCATION OF LANDSCAPING:
 MIN. 50% OF REQ. LANDSCAPING SHALL BE LOCATED IN THE FRONT OF & ALONG THE SIDE OF BUILDINGS W/ STREET FRONTAGE.
 15,661 x 50% = 7,830 SF

LANDSCAPE AREAS IN FRONT & SIDES OF BUILDINGS:
 10,738 SF (68.5.1%)

MIN. SIZE OF AREAS
 ALL REQ. LANDSCAPING SHALL BE NO LESS THAN 5' WIDE AND A MIN. OF 25 SF IN AREA

DETENTION BASIN:
 ONE (1) CANOPY TREE PER 750 SF
 ONE (1) ACCENT TREE PER 1,500 SF
 1,750 SF
 1,750 SF / 750 = 3 CANOPY TREES
 CANOPY TREES PROVIDED: 3 TREES
 ACCENT TREES REQUIRED: 1,750 SF / 1,500 = 2 ACCENT TREES
 ACCENT TREES PROVIDED: 2 TREES

PARKING LOT LANDSCAPING
 MIN. 5% OR 200 SF OF LANDSCAPING, WHICHEVER IS GREATER, IN THE INTERIOR OF PARKING LOT AREA.
 ±28,840 SF
 PROPOSED PARKING AREA: 28,840 x 5% = 1,442
 ±1,571 SF (5.4%)
 PROPOSED PARKING LOT LANDSCAPING: REQ. PARKING SPACES MUST BE WITHIN 80' OF A CANOPY TREE TRUNK
 70 SPACES
 7 TREES (1 PER 10 SPACES)
 7 TREES

MULCHES

AFTER ALL PLANTING IS COMPLETE, CONTRACTOR SHALL INSTALL 3" THICK LAYER OF 1-1/2" SHREDDED WOOD MULCH, NATURAL (UNDYED), IN ALL PLANTING AREAS (EXCEPT FOR TURF AND SEEDED AREAS). CONTRACTOR SHALL SUBMIT SAMPLES OF ALL MULCHES TO LANDSCAPE ARCHITECT AND OWNER FOR APPROVAL PRIOR TO CONSTRUCTION. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED (SUBJECT TO THE CONDITIONS AND REQUIREMENTS OF THE "GENERAL GRADING AND PLANTING NOTES" AND SPECIFICATIONS).

ROOT BARRIERS

THE CONTRACTOR SHALL INSTALL ROOT BARRIERS NEAR ALL NEWLY-PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. ROOT BARRIERS SHALL BE "CENTURY" OR "DEEP-ROOT" 24" DEEP PANELS (OR EQUAL). BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. INSTALL PANELS PER MANUFACTURER'S RECOMMENDATIONS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENCIRCLE THE ROOTBALL.

IRRIGATION CONCEPT

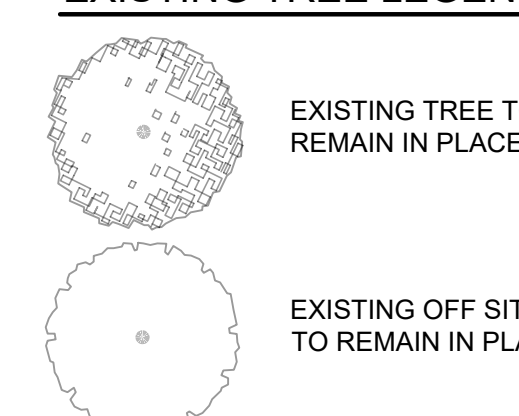
1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A LICENSED AND QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
3. ALL NON-TURF PLANTED AREAS SHALL BE DRIP IRRIGATED. SODDED AND SEEDED AREAS SHALL BE IRRIGATED WITH SPRAY OR ROTOR HEADS AT 100% HEAD-TO-HEAD COVERAGE.
4. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
5. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.
6. ALL IRRIGATION SHALL MEET THE REQUIREMENTS OF THE CITY OF ROCKWALL'S UDC (SUBSECTION 05.04, OF ARTICLE 08)

GENERAL GRADING AND PLANTING NOTES

1. BY SUBMITTING A PROPOSAL FOR THE LANDSCAPE PLANTING SCOPE OF WORK, THE CONTRACTOR CONFIRMS THAT HE HAS READ, AND WILL COMPLY WITH, THE ASSOCIATED NOTES, SPECIFICATIONS, AND DETAILS WITH THIS PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING ALL EXISTING VEGETATION (EXCEPT WHERE NOTED TO REMAIN).
2. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
3. a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 b. CONSTRUCT AND MAINTAIN FINISH GRADIES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADIES TO BE ESTABLISHED.
 d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
4. ALL PLANT LOCATIONS ARE DIAGRAMMATIC. ACTUAL LOCATIONS SHALL BE VERIFIED WITH THE LANDSCAPE ARCHITECT OR DESIGNER PRIOR TO PLANTING. THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT ALL REQUIREMENTS OF THE PERMITTING AUTHORITY ARE MET (E.G., MINIMUM PLANT QUANTITIES, PLANTING METHODS, TREE PROTECTION METHODS, ETC.).
 a. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR DETERMINING PLANT QUANTITIES; PLANT QUANTITIES SHOWN ON LEGENDS AND CALLOUTS ARE FOR GENERAL INFORMATION ONLY. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE PLANT LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN (FOR INDIVIDUAL SYMBOLS) OR CALLOUT (FOR GROUNDCOVER PATTERNS) SHALL TAKE PRECEDENCE.
 b. NO SUBSTITUTIONS OF PLANT MATERIALS SHALL BE ALLOWED WITHOUT THE WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT. IF SOME OF THE PLANTS ARE NOT AVAILABLE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IN WRITING (VIA PROPER CHANNELS).
 c. THE CONTRACTOR SHALL, AT A MINIMUM, PROVIDE REPRESENTATIVE PHOTOS OF ALL PLANTS PROPOSED FOR THE PROJECT. THE CONTRACTOR SHALL ALLOW THE LANDSCAPE ARCHITECT AND THE OWNER/OWNER'S REPRESENTATIVE TO INSPECT, AND APPROVE OR REJECT, ALL PLANTS DELIVERED TO THE JOBSITE.
 d. REFER TO SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR SUBMITTALS.
 e. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A HEALTHY CONDITION FOR 90 DAYS AFTER ACCEPTANCE BY THE OWNER. REFER TO SPECIFICATIONS FOR CONDITIONS OF ACCEPTANCE FOR THE START OF THE MAINTENANCE PERIOD, AND FOR FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD.
 f. SEE SPECIFICATIONS AND DETAILS FOR FURTHER REQUIREMENTS.

PLANT SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CAL.	CONT.	SIZE
	AS	4	Acer saccharum 'Caddo' Caddo Maple	4" Cal.	Cont.	12' min.
	CP	10	Pistacia chinensis Chinese Pistache	4" Cal.	Cont.	12' min.
	QM	5	Quercus muehlenbergii Chinkapin Oak	4" Cal.	Cont.	12' min.
	QT	5	Quercus texana Texas Red Oak	3" Cal.	Cont.	12'-14' HT
	QV	5	Quercus virginiana Southern Live Oak	4" Cal.	Cont.	12' min.
	UC	3	Ulmus crassifolia Cedar Elm	4" Cal.	Cont.	12' min.
	US	6	Ungadia speciosa Mexican Buckeye	2" Cal.	Cont.	8' HT MIN
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONTAINER	SPACING	SIZE
	IN	39	Ilex vomitoria 'Nana' Dwarf Yaupon	5 gal.	36" OC	24" Min.
	MP	62	Myrica cerifera 'Pumila' Dwarf Wax Myrtle	5 gal.	36" OC	24" Min.
GROUND COVERS	CODE	QTY	BOTANICAL / COMMON NAME	CONT.	SPACING	SIZE
	CD	29,535 sf	Cynodon dactylon 'tif 419' Bermuda Grass	Sod		



SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning



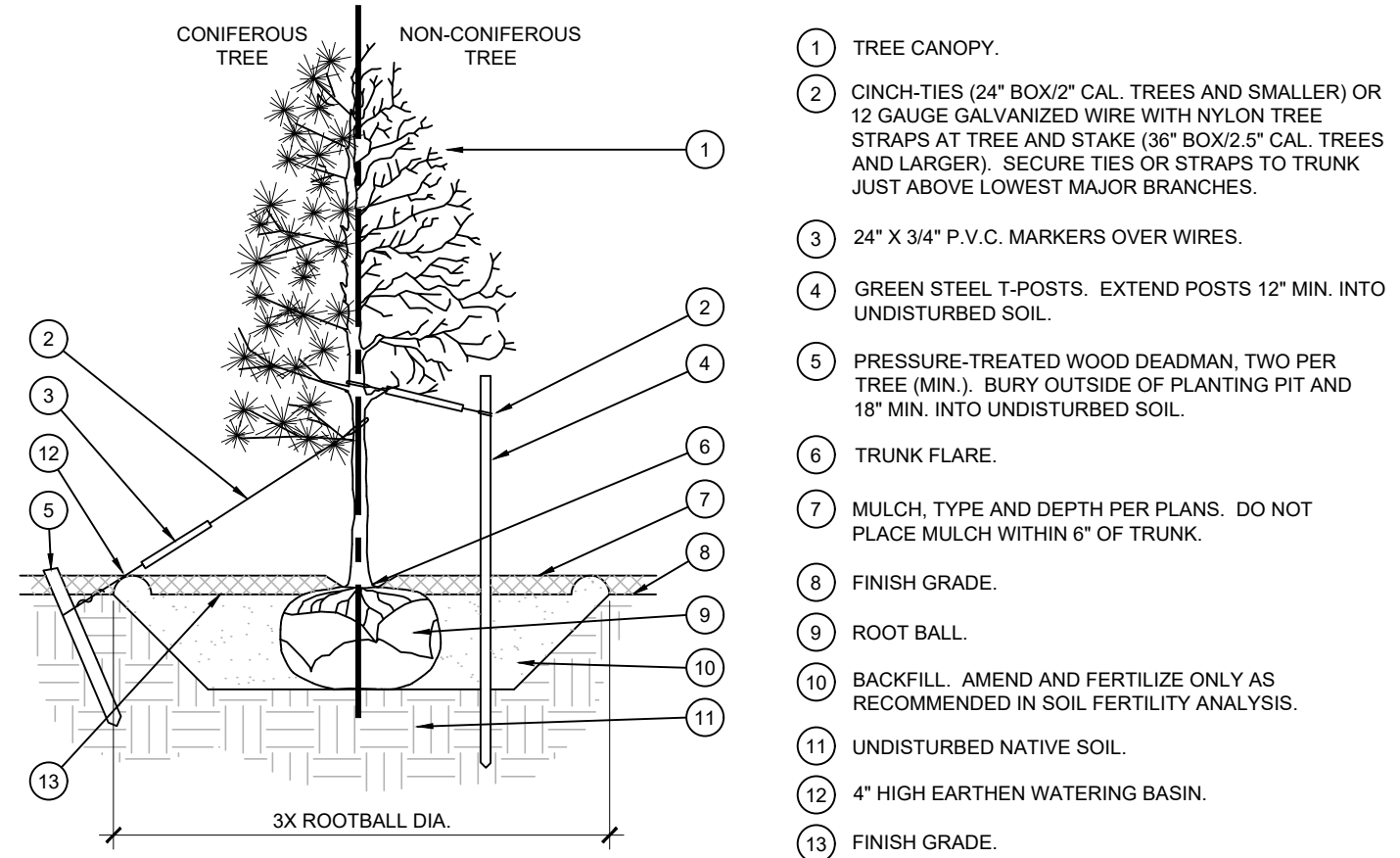
EVERGREEN DESIGN GROUP
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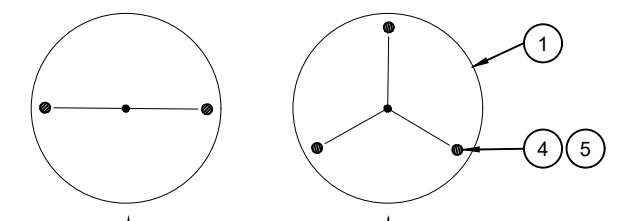
LANDSCAPE PLANTING PLAN
McKINNEY BUILDING
 365 RANCH TRAIL
 ROCKWALL, TEXAS 75032
 RAINBOW ACRES, LOTS 18 & 5 PART OF 19
 ROCKWALL COUNTY
 MCKINNEY BUILDING

LP-1



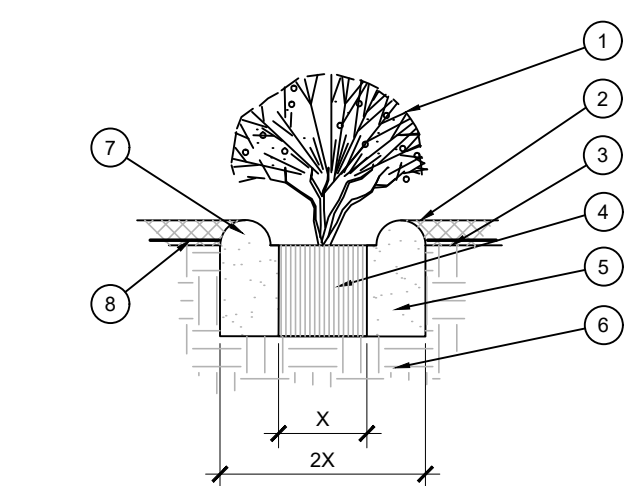
- 1 TREE CANOPY.
- 2 CINCH-TIES (24" BOX/2" CAL. TREES AND SMALLER) OR 12 GAUGE GALVANIZED WIRE WITH NYLON TREE STRAPS AT TREE AND STAKE (36" BOX/2.5" CAL. TREES AND LARGER). SECURE TIES OR STRAPS TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
- 3 24" X 34" P.V.C. MARKERS OVER WIRES.
- 4 GREEN STEEL T-POSTS. EXTEND POSTS 12" MIN. INTO UNDISTURBED SOIL.
- 5 PRESSURE-TREATED WOOD DEADMAN. TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
- 6 TRUNK FLARE.
- 7 MULCH, TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 6" OF TRUNK.
- 8 FINISH GRADE.
- 9 ROOT BALL.
- 10 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 11 UNDISTURBED NATIVE SOIL.
- 12 4" HIGH EARTHEN WATERING BASIN.
- 13 FINISH GRADE.

STAKING EXAMPLES (PLAN VIEW)



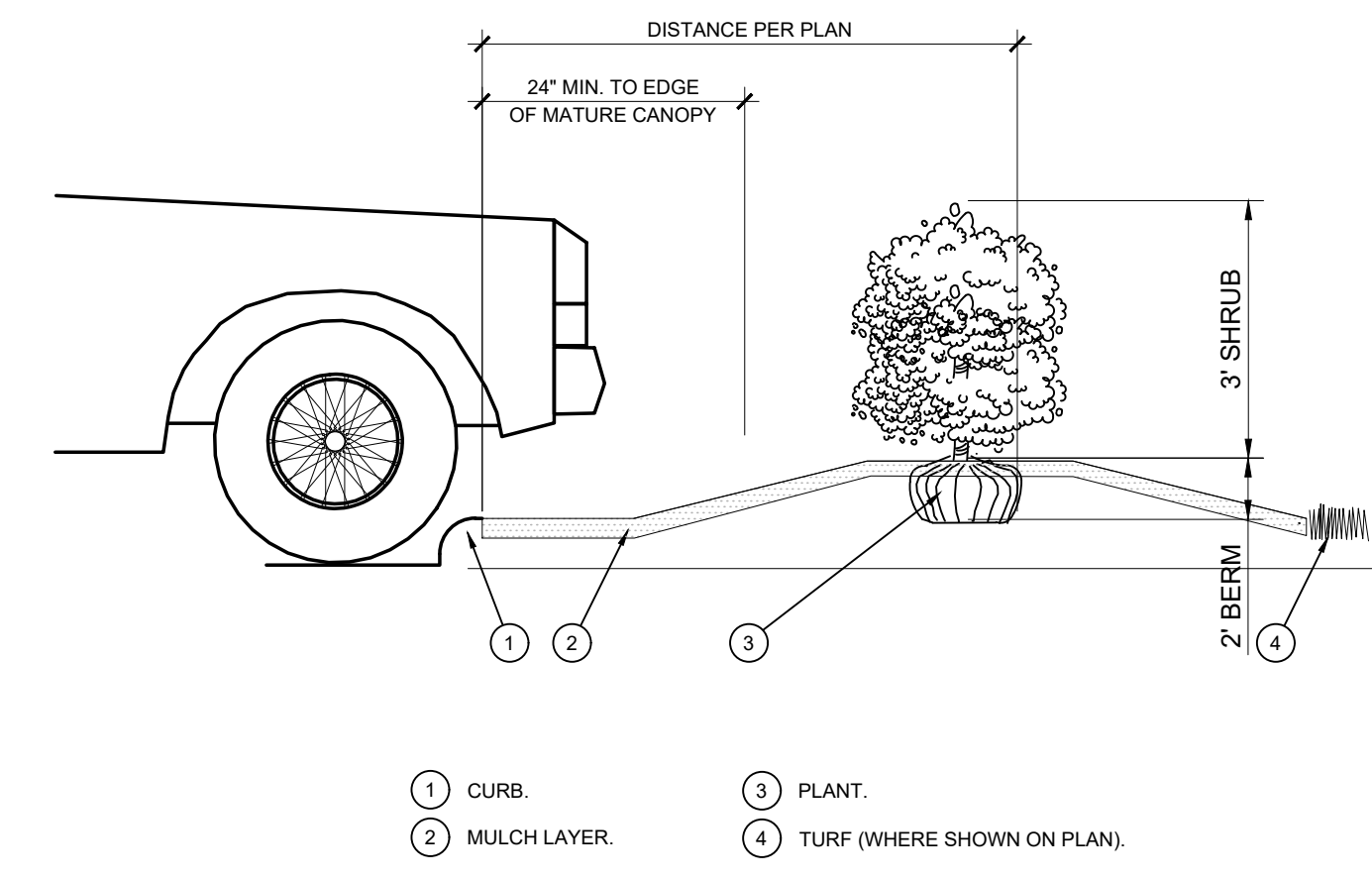
- NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 2"-4" ABOVE FINISH GRADE.
 3. FOR BAB TREES, CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE. CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE AS MUCH BURLAP FROM AROUND ROOTBALL AS IS PRACTICAL.
 4. REMOVE ALL NURSERY STAKES AFTER PLANTING.
 5. FOR TREES 36" BOX/2.5" CAL. AND LARGER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. STAKING SHALL BE TIGHT ENOUGH TO PREVENT TRUNK FROM BENDING, BUT LOOSE ENOUGH TO ALLOW SOME TRUNK MOVEMENT IN WIND.

A TREE PLANTING
SCALE: NOT TO SCALE

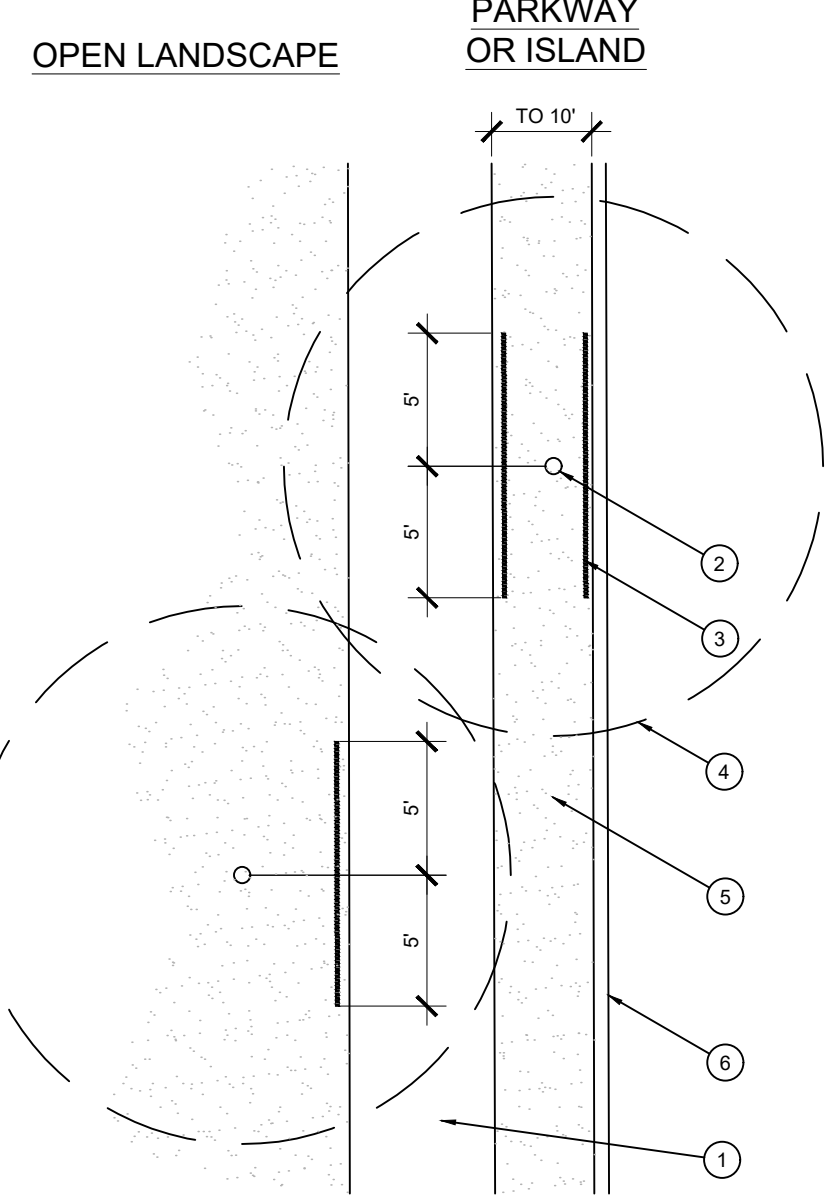


- 1 SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- 2 MULCH, TYPE AND DEPTH PER PLANS. PLACE NO MORE THAN 1" OF MULCH WITHIN 6" OF PLANT CENTER.
- 3 FINISH GRADE.
- 4 ROOT BALL.
- 5 BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
- 6 UNDISTURBED NATIVE SOIL.
- 7 3" HIGH EARTHEN WATERING BASIN.
- 8 WEED FABRIC UNDER MULCH.

B SHRUB AND PERENNIAL PLANTING
SCALE: NTS



D PLANTING AT PARKING AREA
SCALE: NOT TO SCALE



F ROOT BARRIER - PLAN VIEW
SCALE: NOT TO SCALE

- 1 TYPICAL WALKWAY OR PAVING
- 2 TREE TRUNK
- 3 LINEAR ROOT BARRIER MATERIAL. SEE PLANTING NOTES FOR TYPE AND MANUFACTURER. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
- 4 TREE CANOPY
- 5 TYPICAL PLANTING AREA
- 6 TYPICAL CURB AND GUTTER

- NOTES:
1. INSTALL ROOT BARRIERS NEAR ALL NEWLY PLANTED TREES THAT ARE LOCATED WITHIN FIVE (5) FEET OF PAVING OR CURBS. BARRIERS SHALL BE LOCATED IMMEDIATELY ADJACENT TO HARDSCAPE. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR USE ROOT BARRIERS OF A TYPE THAT COMPLETELY ENIRCLE THE ROOTBALL.



D STEEL EDGING
SCALE: NOT TO SCALE

- 1 ROLLED-TOP STEEL EDGING PER PLANS.
- 2 TAPERED STEEL STAKES.
- 3 MULCH, TYPE AND DEPTH PER PLANS.
- 4 FINISH GRADE.

- NOTES:
1. INSTALL EDGING SO THAT STAKES WILL BE ON INSIDE OF PLANTING BED.
 2. BOTTOM OF EDGING SHALL BE BURIED A MINIMUM OF 1" BELOW FINISH GRADE.
 3. TOP OF MULCH SHALL BE 1" LOWER THAN TOP OF EDGING.

PLANTING SPECIFICATIONS

- GENERAL
- A. QUALIFICATIONS OF LANDSCAPE CONTRACTOR
1. ALL LANDSCAPE WORK SHOWN ON THESE PLANS SHALL BE PERFORMED BY A SINGLE FIRM SPECIALIZING IN LANDSCAPE PLANTING.
 2. A LIST OF SUCCESSFULLY COMPLETED PROJECTS OF THIS TYPE, SIZE AND NATURE MAY BE REQUESTED BY THE OWNER FOR FURTHER QUALIFICATION MEASURES.
 3. THE LANDSCAPE CONTRACTOR SHALL HOLD A VALID NURSERY AND FLORAL CERTIFICATE ISSUED BY THE TEXAS DEPARTMENT OF AGRICULTURE, AS WELL AS OPERATE UNDER A COMMERCIAL PESTICIDE APPLICATOR LICENSE ISSUED BY EITHER THE TEXAS DEPARTMENT OF AGRICULTURE OR THE TEXAS STRUCTURAL PEST CONTROL BOARD.
- B. SCOPE OF WORK
1. WORK COVERED BY THESE SECTIONS INCLUDES THE FURNISHING AND PAYMENT OF ALL MATERIALS, LABOR, SERVICES, EQUIPMENT, LICENSES, TAXES AND ANY OTHER ITEMS THAT ARE NECESSARY FOR THE EXECUTION, INSTALLATION AND COMPLETION OF ALL WORK, SPECIFIED HEREIN AND / OR SHOWN ON THE LANDSCAPE PLANS, NOTES, AND DETAILS.
 2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE LAWS, CODES AND REGULATIONS REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER SUCH WORK, INCLUDING ALL INSPECTIONS AND PERMITS REQUIRED BY FEDERAL, STATE AND LOCAL AUTHORITIES IN SUPPLY, TRANSPORTATION AND INSTALLATION OF MATERIALS.
 3. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITY LINES (WATER, SEWER, ELECTRICAL, TELEPHONE, GAS, CABLE, TELEVISION, ETC.) PRIOR TO THE START OF ANY WORK.
- C. GENERAL PLANTING
1. REMOVE ALL NURSERY TAGS AND STAKES FROM PLANTS.
 2. EXCEPT IN AREAS TO BE PLANTED WITH ORNAMENTAL GRASSES, APPLY PRE-EMERGENT HERBICIDES AT THE MANUFACTURER'S RECOMMENDED RATE.
 3. TRENCHING OR EXISTING TRENCHING SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - a. CONTRACTOR SHALL NOT DISTURB ROOTS 1-1/2" AND LARGER IN DIAMETER WITHIN THE CRITICAL ROOT ZONE (CRZ) OF EXISTING TREES, AND SHALL EXERCISE ALL POSSIBLE CARE AND PRECAUTIONS TO AVOID INJURY TO TREE TRUNKS, TRUNKS, AND BRANCHES. THE CRZ IS DEFINED AS A CIRCULAR AREA EXTENDING OUTWARD FROM THE TREE TRUNK, WITH A RADIUS EQUAL TO 1" FOR EVERY 1" OF TRUNK DIAMETER-AT-BREAST-HEIGHT (A.B.H.) ABOVE THE AVERAGE GRADE AT THE TRUNK.
 - b. ALL EXCAVATION WITHIN THE CRZ SHALL BE PERFORMED USING HAND TOOLS. NO MACHINE EXCAVATION OR TRENCHING OF ANY KIND SHALL BE ALLOWED WITHIN THE CRZ.
 - c. ALTER ALIGNMENT OF PIPE TO AVOID TREE ROOTS 1-1/2" AND LARGER IN DIAMETER. WHERE TREE ROOTS 1-1/2" AND LARGER IN DIAMETER ARE ENCOUNTERED IN THE FIELD, TUNNEL UNDER SUCH ROOTS, WRAP EXPOSED ROOTS WITH SEVERAL LAYERS OF BURLAP AND KEEP MOIST. CLOSE ALL TRENCHES WITHIN THE CANOPY DRIP LINES WITHIN 24 HOURS.
 - d. ALL SEVERED ROOTS SHALL BE HAND PRUNED WITH SHARP TOOLS AND ALLOWED TO AIR-DRY. DO NOT USE ANY SORT OF SEALERS OR WOUND PAINTS.
- D. PRODUCTS
- A. ALL MANUFACTURED PRODUCTS SHALL BE NEW.
- B. CONTAINER AND BALLED-AND-BURLAPPED PLANTS:
1. FURNISH NURSERY-GROWN PLANTS COMPLYING WITH ANSI Z60.1-2014. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ALL TREES SHALL BE OBTAINED FROM SOURCES WITHIN 200 MILES OF THE PROJECT SITE, AND WITH SIMILAR CLIMATIC CONDITIONS.
 2. ROOT SYSTEMS SHALL BE HEALTHY, DENSELY BRANCHED ROOT SYSTEMS, NON-POT-BOUND, FREE FROM ENCIRCLING AND/OR GIRDLING ROOTS, AND FREE FROM ANY OTHER ROOT DEFECTS (SUCH AS J-SHAPED ROOTS).
 3. TREES MAY BE PLANTED FROM CONTAINERS OR BALLED-AND-BURLAPPED (BAB), UNLESS SPECIFIED ON THE PLANTING LEGEND. BARE-ROOT TREES ARE NOT ACCEPTABLE.
 4. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT OR OWNER SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT AND OWNER SHALL BE THE SOLE JUDGES AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
 5. ALL TREES SHALL BE STANDARD IN FORM, UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADERS IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
 6. CALIPER MEASUREMENTS FOR STANDARD (SINGLE TRUNK) TREES SHALL BE AS FOLLOWS: SIX INCHES ABOVE THE ROOT FLARE FOR TREES UP TO AND INCLUDING FOUR INCHES IN CALIPER, AND TWELVE INCHES ABOVE THE ROOT FLARE FOR TREES EXCEEDING FOUR INCHES IN CALIPER.
 7. MULTI-TRUNK TREES SHALL BE MEASURED BY THEIR OVERALL HEIGHT, MEASURED FROM THE TOP OF THE ROOT BALL, WHERE CALIPER MEASUREMENTS ARE USED. THE CALIPER SHALL BE CALCULATED AS ONE-HALF (1/2) OF THE CALIPER OF THE THREE LARGEST TRUNKS.
 8. ANY TREE OR SHRUB SHOWN TO HAVE EXCESS SOIL PLACED ON TOP OF THE ROOT BALL, SO THAT THE ROOT FLARE HAS BEEN COMPLETELY COVERED, SHALL BE REJECTED.
- C. SOD. PROVIDE WELL-ROOTED SOD OF THE VARIETY NOTED ON THE PLANS. SOD SHALL BE CUT FROM HEALTHY, MATURE TURF WITH SOIL THICKNESS OF 3/4" TO 1". EACH PALLET OF SOD SHALL BE ACCOMPANIED BY A CERTIFICATE FROM SUPPLIER STATING THE COMPOSITION OF THE SOD.
- D. TOPSOIL: SANDY TO CLAY LOAM TOPSOIL, FREE OF STONES LARGER THAN 1/2" INCH, FOREIGN MATTER, PLANTS, ROOTS, AND SEEDS.
- E. COMPOST: WELL-COMPOSTED, STABLE, AND WEED-FREE ORGANIC MATTER, pH RANGE OF 5.5 TO 8. MOISTURE CONTENT 35 TO 55 PERCENT BY WEIGHT; 100 PERCENT PASSING THROUGH 3/4-INCH SIEVE; SOLUBLE SALT CONTENT OF 5 TO 10 DECISEMENS; NOT EXCEEDING 0.5 PERCENT INERT CONTAMINANTS AND FREE OF SUBSTANCES TOXIC TO PLANTINGS. NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED.
- F. FERTILIZER: GRANULAR FERTILIZER CONSISTING OF NITROGEN, PHOSPHORUS, POTASSIUM, AND OTHER NUTRIENTS IN PROPORTIONS, AMOUNTS, AND RELEASE RATES RECOMMENDED IN A SOIL REPORT FROM A QUALIFIED SOIL-TESTING AGENCY (SEE BELOW).
- G. MULCH: SIZE AND TYPE AS INDICATED ON PLANS, FREE FROM DELETERIOUS MATERIALS AND SUITABLE AS A TOP DRESSING OF TREES AND SHRUBS.
- H. TREE STAKING AND GUYING
1. STAKES: 6' LONG GREEN METAL T-POSTS.
 2. GUY AND THE WIRE: ASTM A 641, CLASS 1, GALVANIZED-STEEL WIRE, 2-STRAND, TWISTED, 0.106 INCH DIAMETER.
 3. STRAP: REINFORCED NYLON OR CANVAS AT LEAST 1-1/2 INCH WIDE, WITH GROMMETS TO PROTECT TREE TRUNKS FROM DAMAGE.
- I. STEEL EDGING: PROFESSIONAL STEEL EDGING, 1/4 INCH THICK X 4 INCHES WIDE, FACTORY PAINTED DARK GREEN.
- J. PRE-EMERGENT HERBICIDES: ANY GRANULAR, NON-STAINING PRE-EMERGENT HERBICIDE THAT IS LABELED FOR THE SPECIFIC ORNAMENTALS OR TURF ON WHICH IT WILL BE UTILIZED. PRE-EMERGENT HERBICIDES SHALL BE APPLIED PER THE MANUFACTURER'S LABELED RATES.
- METHODS
- A. SOIL PREPARATION
1. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE GRADE OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY SHOULD ANY DISCREPANCIES EXIST.
 2. SOIL TESTING:
 - a. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, CONTRACTOR SHALL HAVE SOIL SAMPLES FROM THE PROJECT'S LANDSCAPE AREAS TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. EACH SAMPLE SUBMITTED TO THE LAB SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL, TAKEN FROM BETWEEN THE SOIL SURFACE AND 6" DEPTH. IF NO SAMPLE LOCATIONS ARE INDICATED ON THE PLANS, THE CONTRACTOR SHALL TAKE A MINIMUM OF THREE SAMPLES FROM VARIOUS REPRESENTATIVE LOCATIONS FOR TESTING.
 - b. THE CONTRACTOR SHALL HAVE THE SOIL TESTING LABORATORY PROVIDE RESULTS FOR THE FOLLOWING: SOIL TEXTURAL CLASS, GENERAL SOIL FERTILITY, pH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT.
 - c. THE CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES.
 - d. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): SEPARATE SOIL PREPARATION AND BACKFILL MIX RECOMMENDATIONS FOR GENERAL ORNAMENTAL PLANTS, XEROX PLANTS, TURF, AND NATIVE SEED, AS WELL AS PRE-PLANT FERTILIZER APPLICATIONS AND RECOMMENDATIONS FOR ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
 3. THE CONTRACTOR SHALL INSTALL SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT RECOMMENDATIONS. ANY CHANGE IN COST DUE TO THE SOIL REPORT RECOMMENDATIONS, EITHER INCREASE OR DECREASE, SHALL BE SUBMITTED TO THE OWNER WITH THE REPORT.
 4. FOR BIDDING PURPOSES ONLY, THE SOIL PREPARATION SHALL CONSIST OF THE FOLLOWING:
 - a. TURF: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. PREPLANT TURF FERTILIZER (10-20-10 OR SIMILAR, SLOW RELEASE, ORGANIC) - 15 LBS PER 1,000 S.F.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - b. TREES, SHRUBS, AND PERENNIALS: INCORPORATE THE FOLLOWING AMENDMENTS INTO THE TOP 8" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING:
 - i. NITROGEN STABILIZED ORGANIC AMENDMENT - 4 CU. YDS. PER 1,000 S.F.
 - ii. 12-12-12 FERTILIZER (OR SIMILAR, ORGANIC, SLOW RELEASE) - 10 LBS. PER CU. YD.
 - iii. "CLAY BUSTER" OR EQUAL - USE MANUFACTURER'S RECOMMENDED RATE
 - iv. IRON SULPHATE - 2 LBS. PER CU. YD.
 5. IN THE CONTEXT OF THESE PLANS, NOTES, AND SPECIFICATIONS, "FINISH GRADE" REFERS TO THE FINAL ELEVATION OF THE SOIL SURFACE (NOT TOP OF MULCH) AS INDICATED ON THE GRADING PLANS.
 - a. BEFORE STARTING WORK, THE LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE ROUGH GRADES OF ALL LANDSCAPE AREAS ARE WITHIN +0.1' OF FINISH GRADE. SEE SPECIFICATIONS FOR MORE DETAILED INSTRUCTION ON TURF AREA AND PLANTING BED PREPARATION.
 - b. CONSTRUCT AND MAINTAIN FINISH GRADES AS SHOWN ON GRADING PLANS, AND CONSTRUCT AND MAINTAIN SLOPES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT AND ON THE GRADING PLANS, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL.
 - c. THE LANDSCAPE CONTRACTOR SHALL DETERMINE WHETHER OR NOT THE EXPORT OF ANY SOIL WILL BE NEEDED, TAKING INTO ACCOUNT THE ROUGH GRADE PROVIDED, THE AMOUNT OF SOIL AMENDMENTS TO BE ADDED (BASED ON A SOIL TEST, PER SPECIFICATIONS), AND THE FINISH GRADES TO BE ESTABLISHED.
 - d. ENSURE THAT THE FINISH GRADE IN SHRUB AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 3" BELOW THE ADJACENT FINISH SURFACE, IN ORDER TO ALLOW FOR PROPER MULCH DEPTH. TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - e. ENSURE THAT THE FINISH GRADE IN TURF AREAS IMMEDIATELY ADJACENT TO WALKS AND OTHER WALKING SURFACES, AFTER INSTALLING SOIL AMENDMENTS, IS 1" BELOW THE FINISH SURFACE OF THE WALKS, TAPER THE SOIL SURFACE TO MEET FINISH GRADE, AS SPECIFIED ON THE GRADING PLANS, AT APPROXIMATELY 18" AWAY FROM THE WALKS.
 - f. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GRADING PLANS, GEOTECHNICAL REPORT, THESE NOTES AND PLANS, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT, GENERAL CONTRACTOR, AND OWNER.
 6. ONCE SOIL PREPARATION IS COMPLETE, THE LANDSCAPE CONTRACTOR SHALL ENSURE THAT THERE ARE NO DEBRIS, TRASH, OR STONES LARGER THAN 1" REMAINING IN THE TOP 6" OF SOIL.
- B. SUBMITTALS
1. THE CONTRACTOR SHALL PROVIDE SUBMITTALS AND SAMPLES, IF REQUIRED, TO THE LANDSCAPE ARCHITECT, AND RECEIVE APPROVAL IN WRITING FOR SUCH SUBMITTALS BEFORE COMMENCEMENT.
 2. SUBMITTALS SHALL INCLUDE PHOTOS OF PLANTS WITH A RULER OR MEASURING STICK FOR SCALE, PHOTOS OR SAMPLES OF ANY REQUIRED MULCHES, AND SOIL TEST RESULTS AND PREPARATION RECOMMENDATIONS FROM THE TESTING LAB (INCLUDING COMPOST AND FERTILIZER RATES AND TYPES, AND OTHER AMENDMENTS FOR TREES/SHRUB, TURF, AND SEED AREAS AS MAY BE APPROPRIATE).
 3. SUBMITTALS SHALL ALSO INCLUDE MANUFACTURER CUT SHEETS FOR PLANTING ACCESSORIES SUCH AS TREE STAKES AND TIES, EDGING, AND LANDSCAPE FABRICS (IF ANY).
 4. WHERE MULTIPLE ITEMS ARE SHOWN ON A PAGE, THE CONTRACTOR SHALL CLEARLY INDICATE THE ITEM BEING CONSIDERED.
- C. WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.
- WARRANTY PERIOD, PLANT GUARANTEE AND REPLACEMENTS
- D. SODDING
1. SOD VARIETY TO BE AS SPECIFIED ON THE LANDSCAPE PLAN.
 2. LAY SOD WITHIN 24 HOURS FROM THE TIME OF STRIPPING. DO NOT LAY IF THE GROUND IS FROZEN.
 3. LAY THE SOD TO FORM A SOLID MASS WITH TIGHTLY FITTED JOINTS. BUTT ENDS AND SIDES OF SOD STRIPS - DO NOT OVERLAP. STAGGER JOINTS AND BUTT ENDS FOR ADJACENT COURSES.
 4. ROLL THE SOD TO ENSURE GOOD CONTACT OF THE SOD'S ROOT SYSTEM WITH THE SOIL UNDERNEATH.
 5. WATER THE SOD THOROUGHLY WITH A FINE SPRAY IMMEDIATELY AFTER PLANTING TO OBTAIN AT LEAST SIX INCHES OF PENETRATION INTO THE SOIL BELOW THE SOD.
- E. MULCH
1. INSTALL MULCH TOPDRESSING, TYPE AND DEPTH PER MULCH NOTE, IN ALL PLANTING AREAS AND TREE RINGS.
 2. DO NOT INSTALL MULCH WITHIN 6" OF TREE ROOT FLARE AND WITHIN 24" OF HABITABLE STRUCTURES, EXCEPT AS MAY BE NOTED ON THESE PLANS. MULCH WITHIN 6" OF CURBS AND WALKS AND CURBS SHALL NOT PROTRUDE ABOVE THE FINISH SURFACE OF THE WALKS AND CURBS. MULCH COVER WITHIN 12" OF WALLS SHALL BE AT LEAST 3" LOWER THAN THE TOP OF WALL.
- F. CLEAN UP
1. DURING LANDSCAPE PREPARATION AND PLANTING, KEEP ALL PAVEMENT CLEAN AND ALL WORK AREAS IN A NEAT, ORDERLY CONDITION.
 2. DISPOSE LEGALLY OF ALL EXCAVATED MATERIALS OFF THE PROJECT SITE.
- G. INSPECTION AND ACCEPTANCE
1. UPON COMPLETION OF THE WORK, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE SITE CLEAN, FREE OF DEBRIS AND TRASH, AND SUITABLE FOR USE AS INTENDED. THE LANDSCAPE CONTRACTOR SHALL THEN REQUEST AN INSPECTION BY THE OWNER TO DETERMINE FINAL ACCEPTABILITY.
 2. WHEN THE INSPECTED PLANTING WORK DOES NOT COMPLY WITH THE CONTRACT DOCUMENTS, THE LANDSCAPE CONTRACTOR SHALL CORRECT THE DEFECTIVE WORK TO THE OWNER'S SATISFACTION WITHIN 24 HOURS.
 3. THE LANDSCAPE MAINTENANCE PERIOD WILL NOT COMMENCE UNTIL THE LANDSCAPE WORK HAS BEEN RE-INSPECTED BY THE OWNER AND FOUND TO BE ACCEPTABLE. AT THAT TIME, A WRITTEN NOTICE OF FINAL ACCEPTANCE WILL BE ISSUED BY THE OWNER, AND THE MAINTENANCE AND GUARANTEE PERIODS WILL COMMENCE.
- H. LANDSCAPE MAINTENANCE
1. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL WORK SHOWN ON THESE PLANS FOR 90 DAYS BEYOND FINAL ACCEPTANCE OF ALL LANDSCAPE WORK BY THE OWNER. LANDSCAPE MAINTENANCE SHALL INCLUDE WEEKLY SITE VISITS FOR THE FOLLOWING ACTIONS (AS APPROPRIATE): PROPER PRUNING, RESTAKING OF TREES, RESETTING OF PLANTS THAT HAVE SETTLED, MOWING AND AERATION OF LAWNS, WEEDING, TREATING FOR INSECTS AND DISEASES, REPLACEMENT OF MULCH, REMOVAL OF LITTER, REPAIRS TO THE IRRIGATION SYSTEM DUE TO FAULTY PARTS AND/OR WORKMANSHIP, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE IRRIGATION SYSTEM IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON TO MAXIMIZE WATER CONSERVATION.
 2. SHOULD SEEDS AND/OR SODDED AREAS NOT BE COVERED BY AN AUTOMATIC IRRIGATION SYSTEM, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING THESE AREAS AND OBTAINING A FULL, HEALTHY STAND OF PLANTS AT NO ADDITIONAL COST TO THE OWNER.
 3. TO ACHIEVE FINAL ACCEPTANCE AT THE END OF THE MAINTENANCE PERIOD, ALL OF THE FOLLOWING CONDITIONS MUST OCCUR:
 - a. THE LANDSCAPE SHALL SHOW ACTIVE, HEALTHY GROWTH (WITH EXCEPTIONS MADE FOR SEASONAL DORMANCY). ALL PLANTS NOT MEETING THIS CONDITION SHALL BE REJECTED AND REPLACED BY HEALTHY PLANT MATERIAL PRIOR TO FINAL ACCEPTANCE.
 - b. ALL HARDSCAPE SHALL BE CLEANED PRIOR TO FINAL ACCEPTANCE.
 - c. SODDED AREAS MUST BE ACTIVELY GROWING AND MUST REACH A MINIMUM HEIGHT OF 1 1/2 INCHES BEFORE FIRST MOWING. BARE SPOTS LARGER THAN TWELVE SQUARE INCHES MUST BE RESEEDDED (AS APPROPRIATE) PRIOR TO FINAL ACCEPTANCE. ALL SODDED TURF SHALL BE NEATLY MOWED.
- I. SODDING
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S FINAL ACCEPTANCE (90 DAYS FOR ANNUAL PLANTS). THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE AND TO THE SATISFACTION OF THE OWNER, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 2. AFTER THE INITIAL MAINTENANCE PERIOD AND DURING THE GUARANTEE PERIOD, THE LANDSCAPE CONTRACTOR SHALL ONLY BE RESPONSIBLE FOR REPLACEMENT OF PLANTS WHEN PLANT DEATH CANNOT BE ATTRIBUTED DIRECTLY TO OVERWATERING OR OTHER DAMAGE BY HUMAN ACTIONS. PROVIDE A MINIMUM OF (2) COPIES OF RECORD DRAWINGS TO THE OWNER UPON COMPLETION OF WORK. A RECORD DRAWING IS A RECORD OF ALL CHANGES THAT OCCURRED IN THE FIELD AND THAT ARE DOCUMENTED THROUGH CHANGE ORDERS, ADDENDA, OR CONTRACTOR/CONSULTANT DRAWING MARKUPS.

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning



03-08-2023



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214.295.5280
www.broadstonecdg.com

Eric L. Davis Engineering, Inc.



401 Pinson Road
Forney, TX 75126
972.564.0592
www.eldengineering.com

**LANDSCAPE PLANTING
DETAILS & NOTES**
McKINNEY BUILDING
365 RANCH TRAIL
ROCKWALL, TEXAS 75032
RAINBOW ACRES, LOTS 18 & 5 PART OF 19
ROCKWALL COUNTY
MCKINNEY BUILDING

LP-2



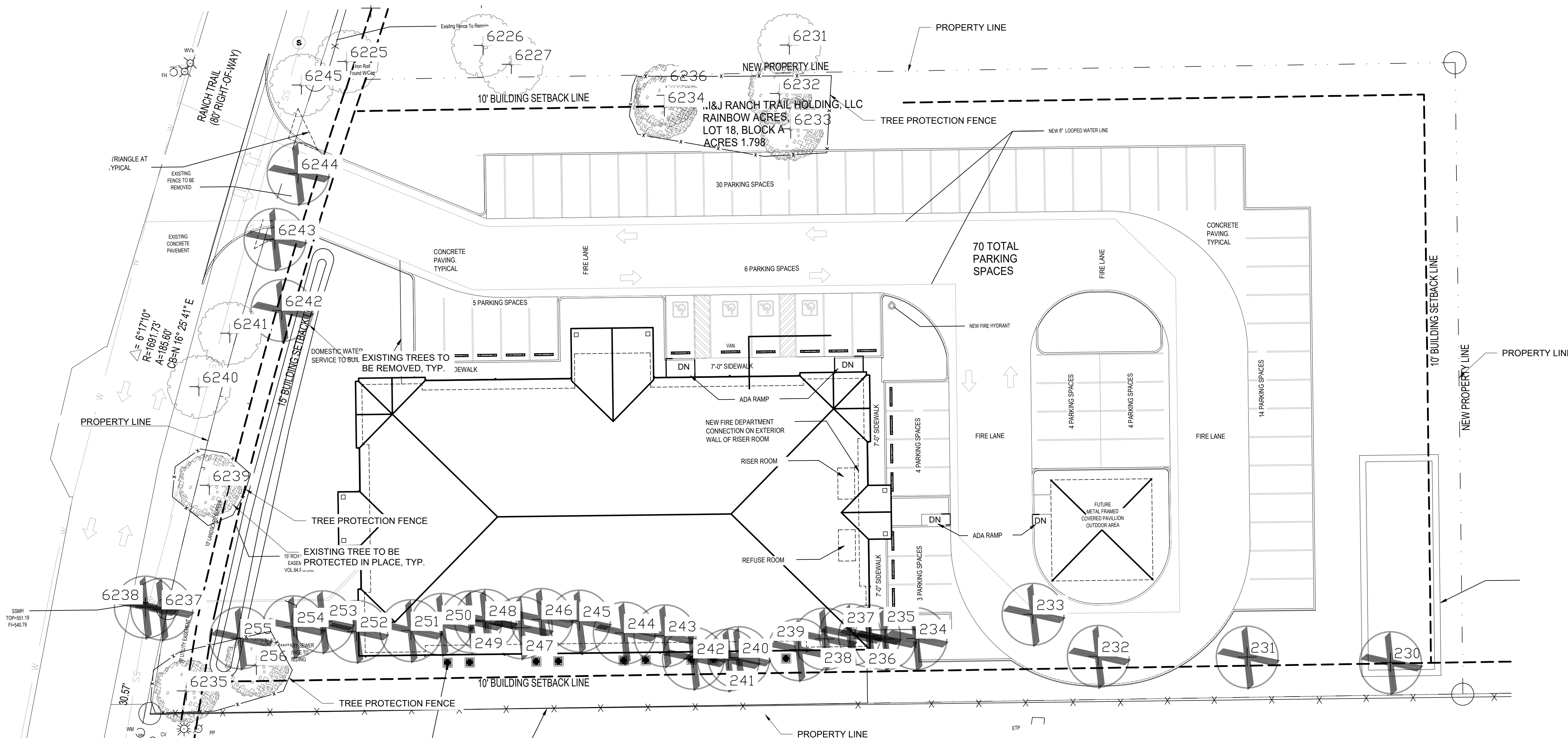
(800) 680-6630
15455 Dallas Pkwy., Ste 600
Addicks, TX 75001
www.EvergreenDesignGroup.com

PROJECT SITE PLAN DATA

GENERAL
 EXISTING USE: VACANT PROPERTY
 PROPOSED USE: OFFICE BUILDING
 EXISTING ZONING DISTRICT: C COMMERCIAL
 PROPOSED ZONING DISTRICT: C COMMERCIAL
 APPLICABLE ZONING OVERLAYS: N/A
 ROCKWALL COUNTY APPRAISAL DISTRICT
 ACCOUNT NUMBER: 87534

OVERALL SITE
 GROSS SITE AREA: 78,315 SF OR 1.798 ACRES
 SITE FRONTAGE: 216 FT
 SITE WIDTH: 200 FEET
 SITE DEPTH: VARIES 361 FEET TO 416 FEET
 IMPERVIOUS SURFACE AREA: 45,529 SF
 PERVIOUS SURFACE AREA: 32,777 SF

BUILDING
 TOTAL GROSS INTENSITY (FAR): 0.16:1
 TOTAL SQUARE FOOTAGE: 13,080 SF
 COMMERCIAL (SF): 13,080 SF
 INDUSTRIAL (SF): N/A
 OTHER (SF): N/A



EXISTING TREE INVENTORY

TREE#	SPECIES	DBH	HEIGHT	CONDITION	TREE HEALTH	TREE GRADE	DISEASE	INSECT	STRUCTURAL	PRESERVE/REMOVE	MITIGATION REQ'D
230	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	GOOD	4	PROTECTED				REMOVE	4
231	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
232	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
233	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	FAIR	3	PROTECTED			Y	REMOVE	4
234	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
235	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
236	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	8	10	FAIR	3	PROTECTED			Y	REMOVE	4
238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	13	12	FAIR	3	PROTECTED			Y	REMOVE	4
246	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
247	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
248	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
249	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
250	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
251	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	10	12	FAIR	3	PROTECTED			Y	REMOVE	4
252	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
253	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
254	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	REMOVE	4
255	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	REMOVE	4
256	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	PRESERVE	4
6225	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	9	11	FAIR	3	PROTECTED			Y	OFF-SITE	
6226	BUR OAK, QUERCUS MACROCARPA	21		GOOD	4	PROTECTED			Y	OFF-SITE	
6227	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	12	12	FAIR	3	PROTECTED			Y	OFF-SITE	
6231	HACKBERRY, CELTIS OCCIDENTALIS	12		POOR	2	NOT PROTECTED			Y	OFF-SITE	
6232	HACKBERRY, CELTIS OCCIDENTALIS	8		FAIR	3	PROTECTED			Y	PRESERVE	
6233	HACKBERRY, CELTIS OCCIDENTALIS	16		POOR	2	NOT PROTECTED			Y	PRESERVE	
6234	HACKBERRY, CELTIS OCCIDENTALIS	12		GOOD	4	PROTECTED			Y	PRESERVE	
6235	HACKBERRY, CELTIS OCCIDENTALIS	11		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	
6236	MULBERRY, MORUS SP.	16		POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	
6237	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	REMOVE	
6238	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	15	17	FAIR	3	PROTECTED			Y	REMOVE	4
6239	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	POOR	2	NOT PROTECTED	Y	Y	Y	PRESERVE	4
6240	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED			Y	OFF-SITE	
6241	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	16	17	GOOD	4	PROTECTED			Y	OFF-SITE	
6242	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	14	14	FAIR	3	PROTECTED			Y	REMOVE	4
6243	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	18	18	GOOD	4	PROTECTED			Y	REMOVE	4
6244	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	22	19	GOOD	4	PROTECTED			Y	REMOVE	4
6245	EASTERN RED CEDAR, JUNIPEROUS VIRGINIANA	29	22	POOR	2	NOT PROTECTED	Y	Y	Y	OFF-SITE	

EXISTING TREE LEGEND

EXISTING TREE LEGEND

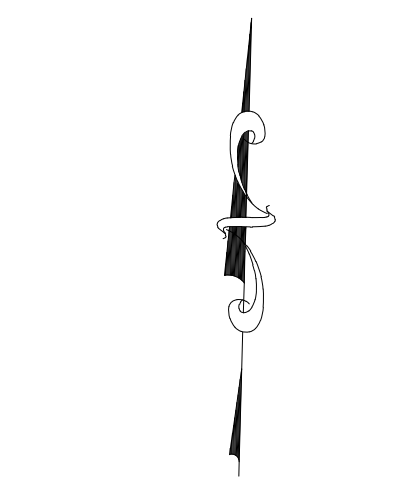
- EX. TREE TO REMAIN: 7
- EX. TREE TO BE REMOVED: 31
- EX. TREE OFF SITE: 7

TREE MITIGATION SUMMARY

TOTAL MITIGATION REQUIRED: 120"
 PROPOSED CODE REQUIRED TREES: 58"
 BALANCE OF MITIGATION: 42"
 4" CAL. MITIGATION TREES (11) ONSITE: 64"

NOTE: TREE PROTECTION FOR ANY PRESERVED OR RELOCATED TREES MUST BE PROVIDED PER DETAILS AND SPECIFICATIONS ON SHEET TD-2. THESE MUST BE UP PRIOR TO THE COMMENCEMENT OF ANY WORK AND MAINTAINED THROUGHOUT CONSTRUCTION.

NOTE: ALL TREE TRIMMING MUST BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO COMMENCEMENT OF WORK. ALL TREE TRIMMING MUST BE DONE BY AN ISA CERTIFIED ARBORIST IN ACCORDANCE WITH LOCAL TREE PRESERVATION ORDINANCE.



Scale 1" = 20'



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 www.eldengineering.com

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

 Planning & Zoning Commission, Chairman

 Director of Planning & Zoning

TREESCAPE PLAN

McKINNEY BUILDING
 365 RANCH TRAIL
 ROCKWALL, TEXAS 75032
 RAINBOW ACRES, LOTS 18 & 5 PART OF 19
 ROCKWALL COUNTY
 MCKINNEY BUILDING

TD-1

TREE PROTECTION SPECIFICATIONS

MATERIALS

- FABRIC: 4 FOOT HIGH ORANGE PLASTIC FENCING AS SHOWN ON THE PLANS AND SHALL BE WOVEN WITH 2 INCH MESH OPENINGS SUCH THAT IN A VERTICAL DIMENSION OF 23 INCHES ALONG THE DIAGONALS OF THE OPENINGS THERE SHALL BE AT LEAST 7 MESHES.
- POSTS: POSTS SHALL BE A MINIMUM OF 72 INCHES LONG AND STEEL T' SHAPED WITH A MINIMUM WEIGHT OF 1.3 POUNDS PER LINEAR FOOT.
- TIE WIRE: WIRE FOR ATTACHING THE FABRIC TO THE T-POSTS SHALL BE NOT LESS THAN NO. 12 GAUGE GALVANIZED WIRE.
- USED MATERIALS: PREVIOUSLY-USED MATERIALS, MEETING THE ABOVE REQUIREMENTS AND WHEN APPROVED BY THE OWNER, MAY BE USED.

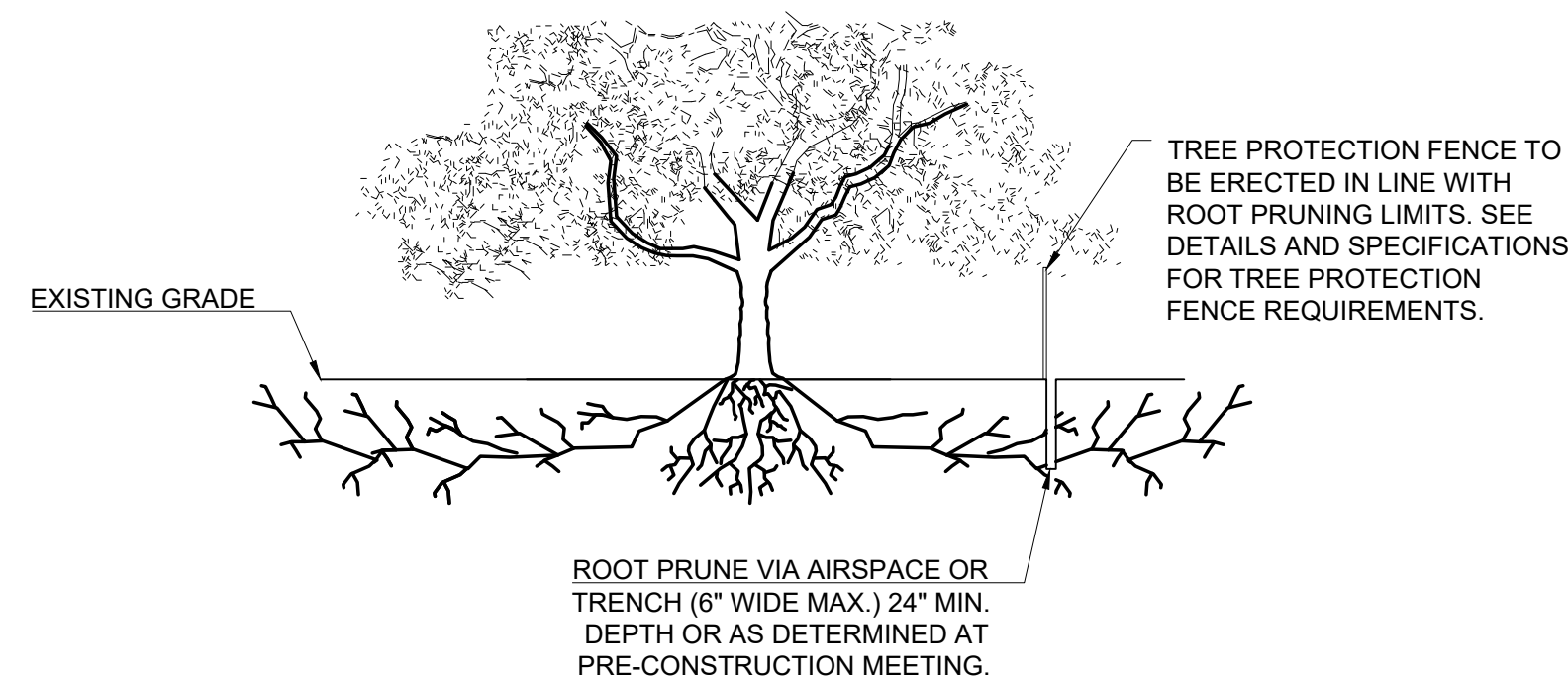
CONSTRUCTION METHODS

- ALL TREES AND SHRUBS SHOWN TO REMAIN WITHIN THE PROXIMITY OF THE CONSTRUCTION SITE SHALL BE PROTECTED PRIOR TO BEGINNING ANY DEVELOPMENT ACTIVITY.
- EMPLOY THE SERVICES OF AN ISA (INTERNATIONAL SOCIETY OF ARBORICULTURE) CERTIFIED ARBORIST AND OBTAIN ALL REQUIRED PERMITS TO PRUNE THE EXISTING TREES FOR CLEANING, RAISING AND THINNING, AS MAY BE REQUIRED.
- PROTECTIVE FENCING SHALL BE ERECTED OUTSIDE THE CRITICAL ROOT ZONE (CRZ, EQUAL TO 1' FROM THE TRUNK FOR EVERY 1" OF DBH) AT LOCATIONS SHOWN IN THE PLANS OR AS DIRECTED BY THE LANDSCAPE CONSULTANT AND/OR CITY ARBORIST, AND IN ACCORDANCE WITH THE DETAILS SHOWN ON THE PLANS. FENCING SHALL BE MAINTAINED AND REPAIRED BY THE CONTRACTOR DURING SITE CONSTRUCTION. TREES IN CLOSE PROXIMITY SHALL BE FENCED TOGETHER, RATHER THAN INDIVIDUALLY.
- PROTECTIVE FENCE LOCATIONS IN CLOSE PROXIMITY TO STREET INTERSECTIONS OR DRIVES SHALL ADHERE TO THE APPLICABLE JURISDICTION'S SIGHT DISTANCE CRITERIA.
- THE PROTECTIVE FENCING SHALL BE ERECTED BEFORE SITE WORK COMMENCES AND SHALL REMAIN IN PLACE DURING THE ENTIRE CONSTRUCTION PHASE.
- THE INSTALLATION POSTS SHALL BE PLACED EVERY 6 FEET ON CENTER AND EMBEDDED TO 18 INCHES DEEP. MESH FABRIC SHALL BE ATTACHED TO THE INSTALLATION POSTS BY THE USE OF SUFFICIENT WIRE TIES TO SECURELY FASTEN THE FABRIC TO THE T-POSTS TO HOLD THE FABRIC IN A STABLE AND UPRIGHT POSITION.
 - DO NOT CLEAR, FILL OR GRADE IN THE CRZ OF ANY TREE.
 - DO NOT STORE, STOCKPILE OR DUMP ANY JOB MATERIAL, SOIL OR RUBBISH UNDER THE SPREAD OF THE TREE BRANCHES.
 - DO NOT PARK OR STORE ANY EQUIPMENT OR SUPPLIES UNDER THE TREE CANOPY.
 - DO NOT SET UP ANY CONSTRUCTION OPERATIONS UNDER THE TREE CANOPY (SUCH AS PIPE CUTTING AND THREADING, MORTAR MIXING, PAINTING OR LUMBER CUTTING).
 - DO NOT NAIL OR ATTACH TEMPORARY SIGNS METERS, SWITCHES, WIRES, BRACING OR ANY OTHER ITEM TO THE TREES.
 - DO NOT PERMIT RUNOFF FROM WASTE MATERIALS INCLUDING SOLVENTS, CONCRETE WASHOUTS, ASPHALT TACK COATS (MC-30 OIL), ETC. TO ENTER THE CRZ. BARRIERS ARE TO BE PROVIDED TO PREVENT SUCH RUNOFF SUBSTANCES FROM ENTERING THE CRZ WHENEVER POSSIBLE, INCLUDING IN AN AREA WHERE RAIN OR SURFACE WATER COULD CARRY SUCH MATERIALS TO THE ROOT SYSTEM OF THE TREE.
- ROUTE UNDERGROUND UTILITIES TO AVOID THE CRZ. IF DIGGING IS UNAVOIDABLE, BORE UNDER THE ROOTS, OR HAND DIG TO AVOID SEVERING THEM.

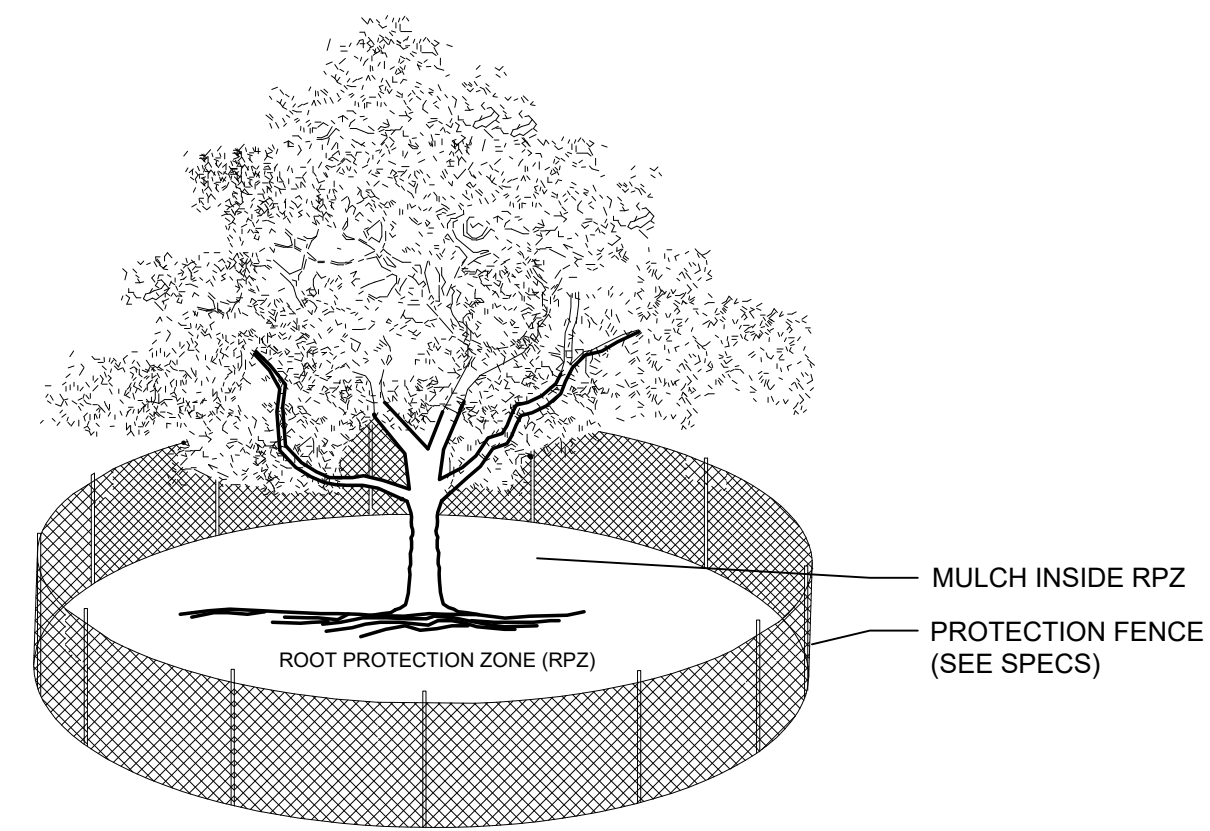
- WHERE EXCAVATION IN THE VICINITY OF TREES MUST OCCUR, SUCH AS FOR IRRIGATION INSTALLATION, PROCEED WITH CAUTION, AND USING HAND TOOLS ONLY.
- THE CONTRACTOR SHALL NOT CUT ROOTS LARGER THAN ONE INCH IN DIAMETER WHEN EXCAVATION OCCURS NEAR EXISTING TREES. ALL ROOTS LARGER THAN ONE INCH IN DIAMETER ARE TO BE CUT CLEANLY. FOR OAKS ONLY, ALL WOUNDS SHALL BE PAINTED WITH WOUND SEALER WITHIN 30 MINUTES
- REMOVE ALL TREES, SHRUBS OR BUSHES TO BE CLEARED FROM PROTECTED ROOT ZONE AREAS BY HAND.
- TREES DAMAGED OR KILLED DUE TO CONTRACTOR'S NEGLIGENCE DURING CONSTRUCTION SHALL BE MITIGATED AT THE CONTRACTOR'S EXPENSE AND TO THE PROJECT OWNER'S AND LOCAL JURISDICTION'S SATISFACTION.
- ANY TREE REMOVAL SHALL BE APPROVED BY THE OWNER AND LOCAL JURISDICTION PRIOR TO ITS REMOVAL, AND THE CONTRACTOR SHALL HAVE ALL REQUIRED PERMITS FOR SUCH ACTIVITIES.
- COVER EXPOSED ROOTS AT THE END OF EACH DAY WITH SOIL, MULCH OR WET BURLAP.
- IN CRITICAL ROOT ZONE AREAS THAT CANNOT BE PROTECTED DURING CONSTRUCTION AND WHERE HEAVY TRAFFIC IS ANTICIPATED, COVER THE SOIL WITH EIGHT INCHES OF ORGANIC MULCH TO MINIMIZE SOIL COMPACTION. THIS EIGHT INCH DEPTH OF MULCH SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
- WATER ALL TREES IMPACTED BY CONSTRUCTION ACTIVITIES, DEEPLY ONCE A WEEK DURING PERIODS OF HOT DRY WEATHER. SPRAY TREE CROWNS WITH WATER PERIODICALLY TO REDUCE DUST ACCUMULATION ON THE LEAVES.
- WHEN INSTALLING CONCRETE ADJACENT TO THE ROOT ZONE OF A TREE, USE A PLASTIC VAPOR BARRIER BEHIND THE CONCRETE TO PROHIBIT LEACHING OF LIME INTO THE SOIL.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL TREE PROTECTION FENCING WHEN ALL THREATS TO THE EXISTING TREES FROM CONSTRUCTION-RELATED ACTIVITIES HAVE BEEN REMOVED.

NOTES

- RETENTION AREAS WILL BE SET AS PART OF THE REVIEW PROCESS AND PRE-CONSTRUCTION MEETING.
- BOUNDARIES OF RETENTION AREAS MUST BE STAKED AT THE PRE-CONSTRUCTION MEETING AND FLAGGED PRIOR TO ROOT PRUNING.
- EXACT LOCATION OF ROOT PRUNING SHALL BE DETERMINED IN THE FIELD IN COORDINATION WITH THE FORESTRY INSPECTOR.
- TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH EXCAVATED SOIL OR OTHER ORGANIC SOIL AS SPECIFIED PER PLAN OR BY THE FORESTRY INSPECTOR.
- ROOTS SHALL BE CLEANLY CUT USING VIBRATORY KNIFE OR OTHER ACCEPTABLE EQUIPMENT. ROOT PRUNING METHODS AND MEANS MUST BE IN ACCORDANCE WITH ANSI STANDARD A3000.
- ALL PRUNING MUST BE EXECUTED AT LOD SHOWN ON PLANS OR AS AUTHORIZED IN WRITING BY THE FORESTRY INSPECTOR.
- SUPPLEMENTAL WATERING MAY BE REQUIRED FOR ROOT PRUNED TREES THROUGHOUT THE GROWING SEASON DURING CONSTRUCTION AND SUBSEQUENT WARRANTY AND MAINTENANCE PERIOD.



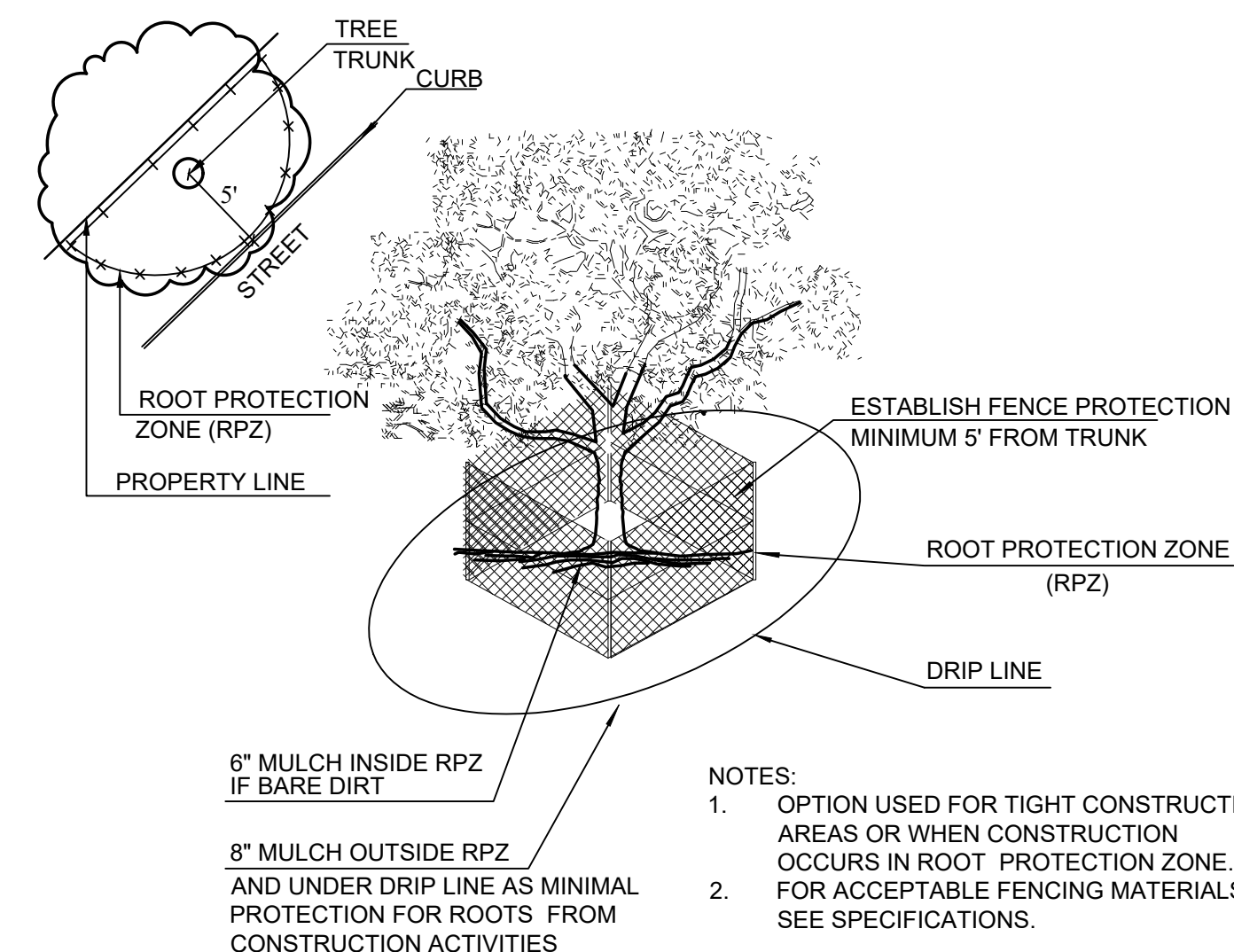
D ROOT PRUNING DETAIL
SCALE: NOT TO SCALE



NOTES:

- THE FENCING LOCATION SHOWN ABOVE IS DIAGRAMATIC ONLY AND WILL CONFORM TO THE DRIP LINE AND BE LIMITED TO PROJECT BOUNDARY. WHERE MULTIPLE ADJACENT TREES WILL BE ENCLOSED BY FENCING, THE FENCING SHALL BE CONTINUOUS AROUND ALL TREES. FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

A TREE PROTECTION FENCE
SCALE: NOT TO SCALE



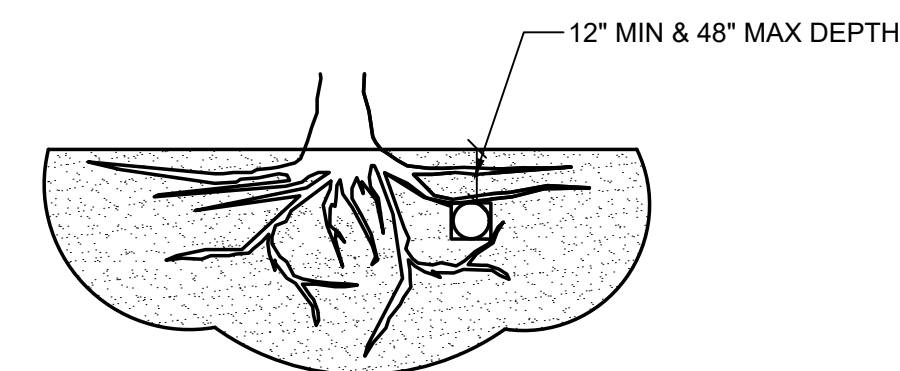
NOTES:

- OPTION USED FOR TIGHT CONSTRUCTION AREAS OR WHEN CONSTRUCTION OCCURS IN ROOT PROTECTION ZONE.
- FOR ACCEPTABLE FENCING MATERIALS SEE SPECIFICATIONS.

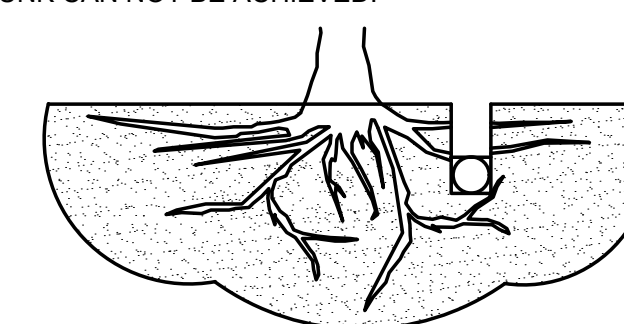
B TREE PROTECTION FENCE - TIGHT CONSTRUCTION
SCALE: NOT TO SCALE

TREES THAT ARE MARKED TO BE PRESERVED ON A SITE PLAN AND FOR WHICH UTILITIES MUST PASS THROUGH THEIR ROOT PROTECTION ZONES MAY REQUIRE TUNNELING AS OPPOSED TO OPEN TRENCHES. THE DECISION TO TUNNEL WILL BE DETERMINED ON A CASE BY CASE BASIS BY THE ENGINEER.

TUNNELS SHALL BE DUG THROUGH THE ROOT PROTECTION ZONE IN ORDER TO MINIMIZE ROOT DAMAGE.



TUNNEL TO MINIMIZE ROOT DAMAGE (TOP) AS OPPOSED TO SURFACE-DUG TRENCHES IN ROOT PROTECTION ZONE WHEN THE 5' MINIMUM DISTANCE FROM TRUNK CAN NOT BE ACHIEVED.



OPEN TRENCHING MAY BE USED IF EXPOSED TREE ROOTS DO NOT EXCEED 3" OR ROOTS CAN BE BENT BACK.

C BORING THROUGH ROOT PROTECTION ZONE
SCALE: NOT TO SCALE

TREE PROTECTION GENERAL NOTES

- PRIOR TO THE LAND CLEARING STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL CLEARLY MARK ALL PROTECTED TREES FOR WHICH A TREE REMOVAL PERMIT HAS NOT BEEN ISSUED AND SHALL ERECT BARRIERS FOR THE PROTECTION OF THE TREES ACCORDING TO THE FOLLOWING:
 - AROUND AN AREA AT OR GREATER THAN A SIX-FOOT RADIUS OF ALL SPECIES OF MANGROVES AND PROTECTED CABBAGE PALMS;
 - AROUND AN AREA AT OR GREATER THAN THE FULL DRIPLINE OF ALL PROTECTED NATIVE PINES;
 - AROUND AN AREA AT OR GREATER THAN TWO-THIRDS OF THE DRIPLINE OF ALL OTHER PROTECTED SPECIES.
- NO PERSON SHALL ATTACH ANY SIGN, NOTICE OR OTHER OBJECT TO ANY PROTECTED TREE OR FASTEN ANY WIRES, CABLES, NAILS OR SCREWS TO ANY PROTECTED TREE IN ANY MANNER THAT COULD PROVE HARMFUL TO THE PROTECTED TREE, EXCEPT AS NECESSARY IN CONJUNCTION WITH ACTIVITIES IN THE PUBLIC INTEREST.
- DURING THE CONSTRUCTION STAGE OF DEVELOPMENT, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT THE CLEANING OF EQUIPMENT OR MATERIAL WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OR ON THE NEARBY GROUND OF ANY TREE OR GROUP OF TREES WHICH IS TO BE PRESERVED. WITHIN THE OUTSIDE PERIMETER OF THE CROWN (DRIPLINE) OF ANY TREE OR ON NEARBY GROUND, THE CONTRACTOR SHALL NOT CAUSE OR PERMIT STORAGE OF BUILDING MATERIAL AND/OR EQUIPMENT, OR DISPOSAL OF WASTE MATERIAL SUCH AS PAINTS, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR ANY OTHER MATERIAL HARMFUL TO THE LIFE OF THE TREE.
- NO PERSON SHALL PERMIT ANY UNNECESSARY FIRE OR BURNING WITHIN 30 FEET OF THE DRIPLINE OF A PROTECTED TREE.
- ANY LANDSCAPING ACTIVITIES WITHIN THE BARRIER AREA SHALL BE ACCOMPLISHED WITH HAND LABOR.
- PRIOR TO ISSUING A CERTIFICATE OF OCCUPANCY OR COMPLIANCE FOR ANY DEVELOPMENT, BUILDING OR STRUCTURE, ALL TREES DESIGNATED TO BE PRESERVED THAT WERE DESTROYED DURING CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR WITH TREES OF EQUIVALENT DIAMETER AT BREAST HEIGHT TREE CALIPER AND OF THE SAME SPECIES AS SPECIFIED BY THE CITY ADMINISTRATOR, BEFORE OCCUPANCY OR USE, UNLESS APPROVAL FOR THEIR REMOVAL HAS BEEN GRANTED UNDER PERMIT.
- THE CITY ADMINISTRATOR MAY CONDUCT PERIODIC INSPECTIONS OF THE SITE DURING LAND CLEARANCE AND CONSTRUCTION.
- IF, IN THE OPINION OF THE CITY ADMINISTRATOR, DEVELOPMENT ACTIVITIES WILL SO SEVERELY STRESS SLASH PINES OR ANY OTHER PROTECTED TREE SUCH THAT THEY ARE MADE SUSCEPTIBLE TO INSECT ATTACK, PREVENTATIVE SPRAYING OF THESE TREES BY THE CONTRACTOR MAY BE REQUIRED.

SITE PLAN SIGNATURE BLOCK

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

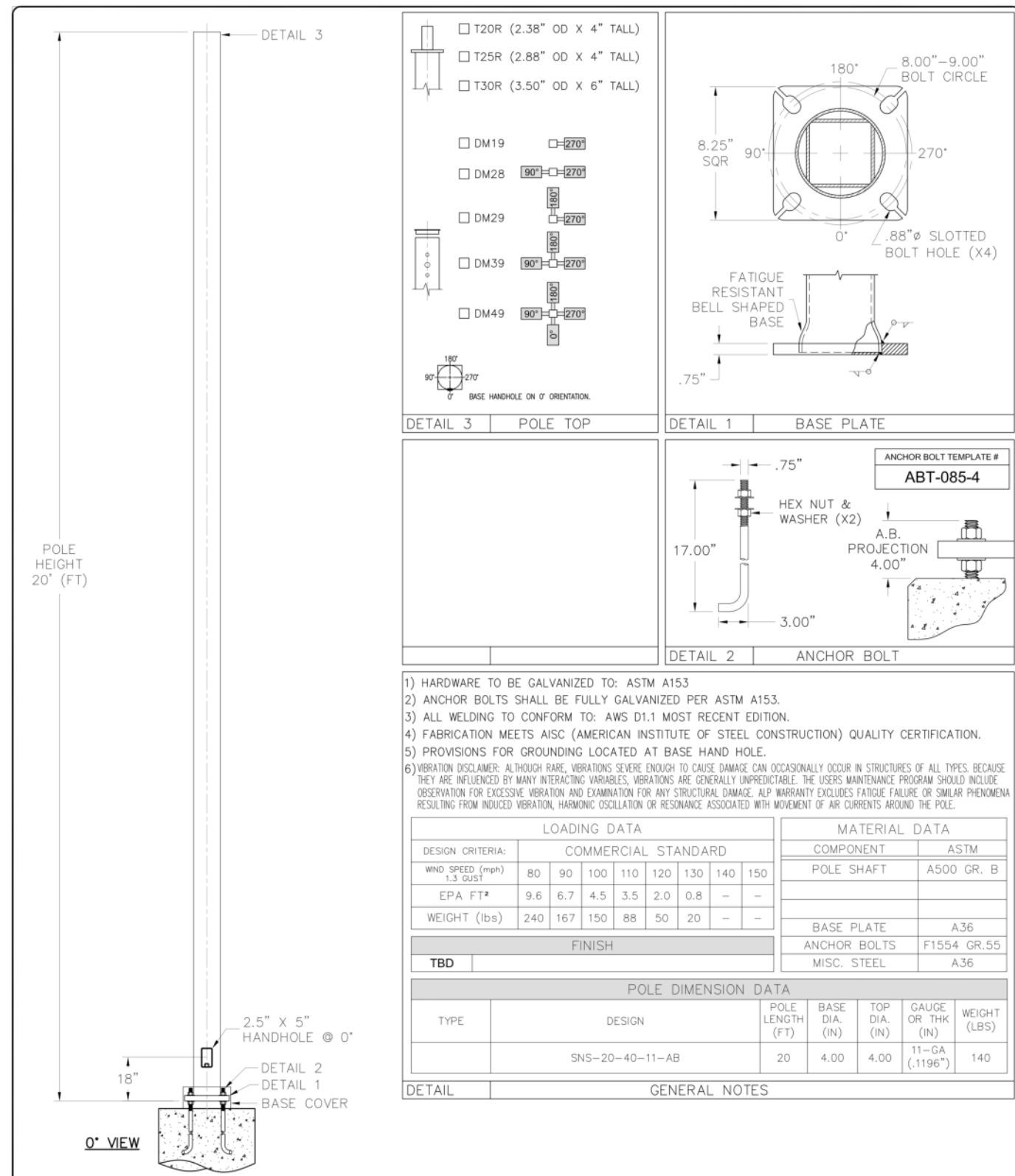


03-08-2023



TREESCAPE DETAILS & SPECIFICATIONS
MCKINNEY BUILDING
365 RANCH TRAIL
ROCKWALL, TEXAS 75032
RAINBOW ACRES, LOTS 18 & 5 PART OF 19
ROCKWALL COUNTY
MCKINNEY BUILDING

TD-2



- HARDWARE TO BE GALVANIZED TO ASTM A153
- ANCHOR BOLTS SHALL BE FULLY GALVANIZED PER ASTM A153
- ALL WELDING TO CONFORM TO AWS D11 MOST RECENT EDITION
- FABRICATION MEETS AISC (AMERICAN INSTITUTE OF STEEL CONSTRUCTION) QUALITY CERTIFICATION
- PROVISIONS FOR GROUNDING LOCATED AT BASE HAND HOLE
- DESIGNER PROVIDES A TRADE NAME, MANUFACTURER, SIZE, TYPE, OR OTHERWISE IDENTIFY ALL ITEMS SUBJECT TO BE REVIEWED BY ANY REGULATORY AGENCIES, AGENCIES, OR AGENCIES. THE USER ASSUMES RESPONSIBILITY FOR OBTAINING NECESSARY PERMITS AND APPROVALS FOR ANY STRUCTURE, CHANGE, OR MODIFICATION TO THIS DESIGN. THE USER ASSUMES RESPONSIBILITY FOR OBTAINING NECESSARY PERMITS AND APPROVALS FOR ANY STRUCTURE, CHANGE, OR MODIFICATION TO THIS DESIGN.

LOADING DATA		MATERIAL DATA	
DESIGN CRITERIA	COMMERCIAL STANDARD	COMPONENT	ASTM
WIND SPEED (MPH)	80 90 100 110 120 130 140 150	POLE SHAFT	A500 GR. B
EPA FTT	0.6 0.7 0.8 0.9 1.0 1.1 1.2 1.3	BASE PLATE	A36
HEIGHT (FT)	240 180 150 120 90 60 30 20	ANCHOR BOLTS	F1554 GR.50
		MISC. STEEL	A36

POLE DIMENSION DATA	
TYPE	DESIGN
SHS-20-40-11-AB	20 4.00 4.00 11/32 (1196)
SHS-20-40-11-AB	20 4.00 4.00 11/32 (1196)

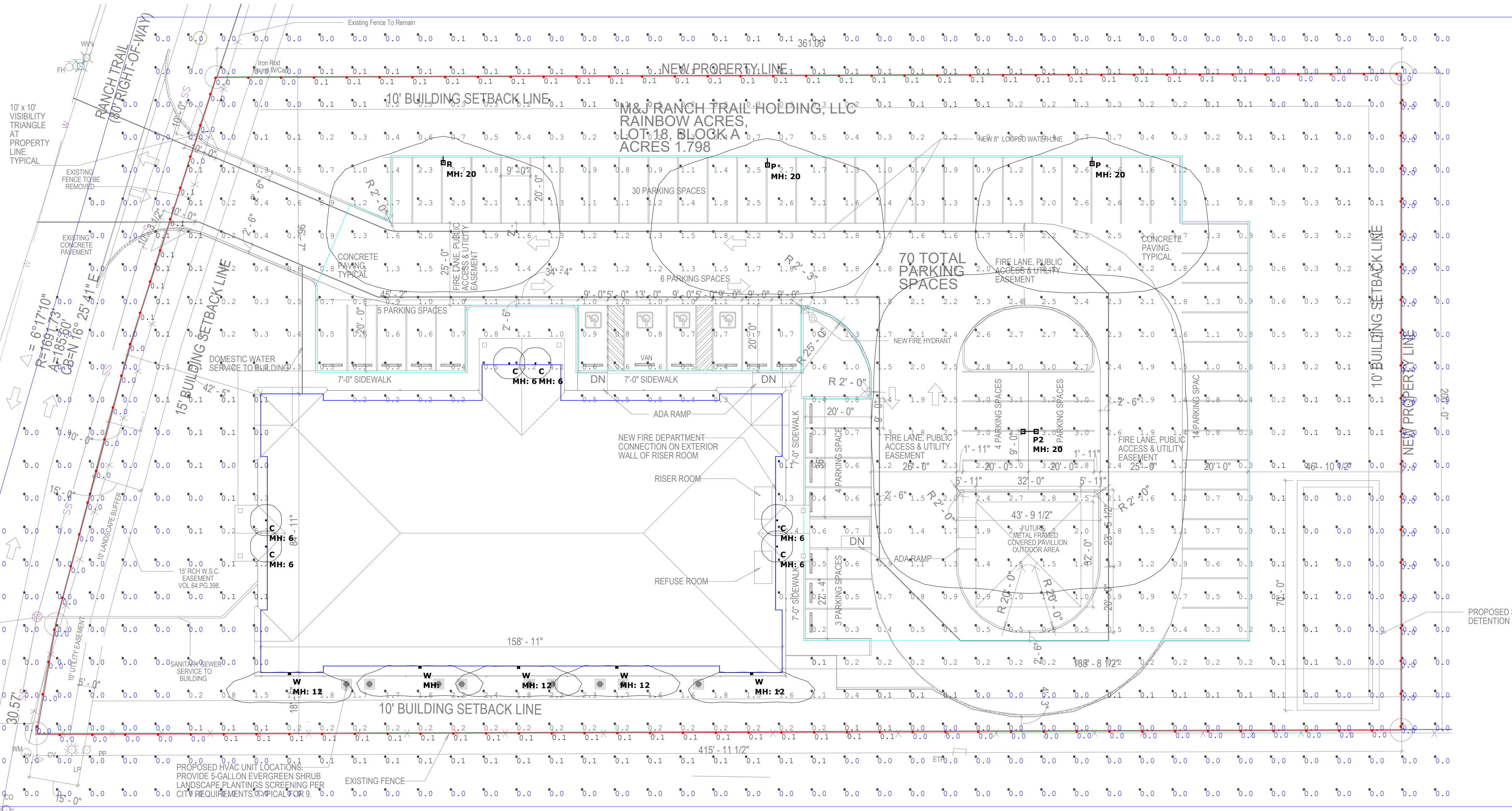
American Lite Pole

AMERICAN LITE POLE
3901 S. HUNTER LANE
FORT WORTH, TX 76109
817-292-3462 FAX
817-292-3999 FAX

101112 BM
NTS
CKR

SQUARE STRAIGHT STEEL ANCHOR BASE
20" x 40" x 11 GA

SNS-20-40-11-AB



Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Ballast Factor	Light Lost Factor	User Defined Factor
⊙	C	6	LUMINIS SY660-11L5-430 VOLT FINISH	1600	15.3	1.000	0.850	1.000
⊙	P	3	LITHONIA DSX1 LED P3 40K 80CRI T4M HS MVOLT MOUNT DBBXD DM19AS 20\"/>					

Calculation Summary	
Calculation Grid Location	Calc. Height (Ft.)
GRADE Planar	0
PROPERTY LINE	N.A.
PARKING LOT	N.A.

- Notes:
- Surface reflectances: Vertical/Horizontal - 50/20.
 - Calculation values are at height indicated in summary table.
 - Mounting heights are designated on drawing with "MH".
 - Luminaire description does not necessarily reflect specification model number. Contact salesperson for verification.
 - Sylvania lamp data used unless otherwise noted. LED luminaires use integrated photometric lamp data provided by manufacturer.
 - Lighting power density is calculated based on estimated ballast/driver energy consumption. Engineer to verify.
 - For lumen output of scaled luminaires, multiply Total Lumen Output by User Defined Factor.

PROJECT: 405 RANCH TRAIL
SALESPERSON: BRYAN JOHNSON
SCALE: 1" = 20'-0"
CALC BY: AK
FILE: 230309_405 RANCH TRAIL_V2

2023-03-09

SITE PLAN SIGNATURE BLOCK

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning & Zoning

BROADSTONE DESIGN

BSDG
120 E. Main Street
Forney, TX 75126
214.295.5280
www.broadstonedg.com

LDG
LOWERY DESIGN GROUP
HEARTLAND TX, 75126
Robert Lowery
robert@lowerydesigngroup.net
806-789-7902

Plan/Spec Agreement
By signing these plans, Contractor/Owner agrees to the following:
These plans are the property of Lowery Design Group Inc. and are not to be reproduced, copied, or used for construction without the written permission of Lowery Design Group Inc. These plans are intended to provide the necessary information to build this structure. Contractor/Owner shall verify and approve all aspects prior to construction. Copyright © 2021 Lowery Design Group.

DRAWN BY:	LDG	
DATE:	2/09/2023	
CHECKED BY:	LDG	
DATE:	2/13/2023	
FINAL REVIEW BY:	BSDG	
DATE:	2/15/2023	
ISSUE	DATE	DESCRIPTION
1	02/15/2023	SITE PLAN SUBMITTAL
2	03/09/2023	REVISED PHOTOMETRIC

RANCH TRAIL PARTNERS

405 RANCH TRAIL
ROCKWALL, TEXAS 75032





CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 14, 2023
APPLICANT: Asher Hamilton; *RIV Properties, LLC*
CASE NUMBER: SP2023-008; *Site Plan for the Harbor Residence*

SUMMARY

Discuss and consider a request by Asher Hamilton on behalf of RIV Properties, Alvin Moton Jr., James Moton, Terra Moton, Debra Heard, Beulah Robertson, Tony Moton, and Kathy Moton for the approval of a Site Plan for a 176-unit *condominium building* on a 3.59-acre tract of land identified as Lots 1 & 2, Block 1; Lots 1, 2, 3, & 4, Block 2; Lots 1, 2, 3, & 4, Block 3; Lots 1, 2, 3, & 4, Block 5; Lots 1 & 2 and a portion of Lots 3 & 4, Block 6; Lots 2, 3, & 4, Block 7; Lots 1 & 2, Block 8; and Lots 1, 2, 3, & 4, Block 9, Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive, and take any action necessary.

BACKGROUND

The City Council annexed the subject property into the City of Rockwall on November 7, 1960 through the adoption of *Ordinance No. 60-03*. Upon annexation, the subject property was zoned Agricultural (AG) District. On December 7, 1966, the subject property was platted into its current configuration as part of the George Morton Estate Addition. Based on the May 16, 1983 and December 7, 1993 *Historic Zoning Maps*, at some point between these dates portions of the subject property adjacent to Horizon Road [FM-3097] were rezoned to General Retail (GR) District. On June 19, 1989, portions of the subject property were also rezoned to Planned Development District 32 (PD-32) [*Ordinance No. 89-20*]. On December 2, 2002, Planned Development District 32 (PD-32) [*Ordinance No. 89-20*] was amended by *Ordinance No. 02-55*. This amendment brought the entire subject property into Planned Development District 32 (PD-32), which -- *at the time* -- designated the property for General Retail (GR) District land uses. This Planned Development District was again amended on February 4, 2008 by *Ordinance No. 08-11*. This ordinance increased the boundaries of the district, and established a limited set of land uses for the district.

On September 20, 2010, the City Council passed *Ordinance No. 10-21*, which superseded all previous ordinances associated with Planned Development District 32 (PD-32) and established a concept plan and development standards for an approximate 78.89-acre tract of land that included the subject property. Today, this land is now commonly referred to as PD-32 or the *Harbor District*. Included within this ordinance was a concept plan that divided the district into ten (10) subdistrict, each of which contained its own set of development and land use standards. In addition, a pool of 1,161 *urban residential units* (i.e. *condominiums and/or townhomes*) and 49 *single-family residential units* (i.e. *zero-lot-line or patio homes*) was created. These units could then be allocated to properties within the district by the City Council -- *in accordance with the land use charts in the ordinance* -- on a *first-come-first-serve* basis through an interim zoning step called a *PD Development Plan*. According to Article 10, *Planned Development District Regulations*, of the Unified Development Code (UDC), "(a) *PD Development Plan* constitutes an amendment to the approved *PD Concept Plan* and *PD Ordinance* ... The purposes of a *PD Development Plan* are to allow flexibility in the development process by deferring specification of all development standards at the time of *PD District* creation and to enable developers to satisfy conditions imposed on creation of the *District* prior to the submittal of a *PD Site Plan*." In addition, *Ordinance No. 17-22* [i.e. *the regulating ordinance for Planned Development District 32 (PD-32)*] states that the purpose of a *PD Development Plan* in Planned Development District 32 (PD-32) is to ensure that a proposed development meets the intent of the subdistrict and/or to address any waivers required by the development.

On March 7, 2022, the City Council approved a *PD Development Plan* [*Ordinance No. 22-10*] for the subject property. Under this approval a 176-unit condominium building was permitted to be established on the subject property. Also contained within this approval, was a reconfigured street network changing the alignments of Glen Hill Way and Pinnacle Way. Specifically, the

concept plan contained in *Ordinance No. 22-10* showed Glen Hill Way being extended around the proposed building, connecting it to the section of Pinnacle Way adjacent to Trend Tower and the stub of Pinnacle Way off Horizon Road. On July 5, 2022, the City Council approved a revised *PD Development Plan [Ordinance No. 22-36]* for the subject property. Under this approval the future 176-unit condominium building was permitted to adjust the alignments of Glenn Hill Way and Pinnacle Way. Specifically, the concept plan contained in *Ordinance No. 22-36* showed Glenn Hill Way creating a 'T' intersection into Pinnacle Way instead of Pinnacle Way creating a 'T' intersection into Glen Hill Way. On February 6, 2023, the City Council again amended the *PD Development Plan [Ordinance No. 23-05]* for the subject property. Under this approval the future 176-unit condominium building was permitted to adjust the proposed building footprint.

PURPOSE

On February 17, 2023, the applicant -- *Asher Hamilton of RIV Properties, LLC* -- submitted an application requesting the approval of a *Site Plan* for the purpose of constructing a 176-unit condominium building on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at the southwest corner of the intersection of Horizon Road and [FM-3097] and Summer Lee Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is: [1] a 0.915-acre parcel of land (*i.e. Lot 4, Block A, Briscoe/Hillcrest Addition*) with a medical/office building (*i.e. CareNow*) situated on it, [2] a 2.0617-acre parcel of land (*i.e. Lot 6, Block A, Harbor District Addition*) with a multi-tenant office building and structured parking garage (*i.e. Trend Tower*) situated on it, and [3] a 0.45-acre vacant tract of land owned by the City of Rockwall. All of these properties are zoned Planned Development District 32 (PD-32) and are situated within the *Summit Office Subdistrict*. Beyond this are three (3) vacant tracts of land also situated within the *Summit Office Subdistrict* of Planned Development District 32 (PD-32). Beyond this is the eastbound frontage road and main lane of E. IH-30.

South: Directly south of the subject property is Summer Lee Drive, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is: [1] a 2.15-acre parcel of land (*i.e. Lot 5, Block A, Harbor Village Addition*) with a hotel (*i.e. Tru by Hilton*) situated on it, and [2] a 2.144-acre parcel of land (*i.e. Lot 1, Block A, Harbor Village Addition*) with a 228-unit condominium building situated on it. Running in between these properties is Glen Hill Way, which is identified as a *Minor Collector* on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. These properties are situated within the *Horizon/Summer Lee, Interior, and Residential Subdistricts* of Planned Development District 32 (PD-32).

East: Directly east of the subject property is Horizon Road, which is identified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 10.104-acre parcel of land (*i.e. Lot 3 of the Carlisle Plaza Addition*) that is occupied with a portion of an existing commercial retail shopping center (*i.e. Carlisle Plaza*). This property is zoned Commercial (C) District.

West: Directly west of the subject property is a vacant 6.1978-acre tract of land (*i.e. Tract 41 of the E. Teal Survey, Abstract No. 207*) owned by the City of Rockwall. Adjacent to this tract of land is a 2.0617-acre parcel of land (*i.e. Lot 6, Block A, Harbor District Addition*) with a seven (7) story multi-tenant office building (*i.e. Trend Tower*). Both of these properties are zoned Planned Development District 32 (PD-32) and are situated within the *Summit Office Subdistrict*. Beyond this is Sunset Ridge Drive, which is identified as a *Type 'E' roadway* by Planned development District 32 (PD-32) or a roadway that serves as a primary street frontage for retail, residential and mixed-use developments.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Exhibit D, *Sub-District Land Use Chart*, of the Planned Development District 32 (PD-32) Ordinance [*Ordinance No 17-22*], *Urban Residential* is a permitted by Specific Use Permit (SUP) in Planned Development District 32 (PD-32). The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) and Planned Development District 32 (PD-32) for a

property located within the Summit Office Sub-District with the exception of the item(s) noted in the *Variations and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

ORDINANCE PROVISIONS	HORIZON/SUMMER LEE SUBDISTRICT	CONFORMANCE TO THE STANDARDS
BUILD-TO-LINE (FROM THE ROW): SUMMER LEE DRIVE	30-Feet	X > 11-Feet; <i>APPROVED WITH ORD. 22-36</i>
SETBACK (FROM THE ROW): HORIZON ROAD	40-Feet	40-Feet; <i>IN CONFORMANCE</i>
GLEN HILL WAY (STREET TYPE F)	50-Feet	X ≥ 7'; <i>APPROVED WITH ORD. 10-22</i>
GLEN HILL WAY (STREET TYPE B)	30-Feet	7' to 12' 6"; <i>APPROVED WITH ORD. 10-22</i>
BUILDING FORM:	Summer Lee Drive block must have a minimum of 50% of its length defined by the building façade. Summer Lee Drive minimum façade built to the build-to-line is 45% Remaining façade must be no less than two (2) feet and no greater than 12-feet from the build-to-line.	~86.97%; <i>IN CONFORMANCE</i> 47.69%; <i>IN CONFORMANCE</i> Between 3.5' & 5'; <i>IN CONFORMANCE</i>
MAXIMUM LOT COVERAGE	60%	~66%; <i>APPROVED WITH ORD. 22-36</i>
LAND USE:		
GROUND FLOOR	Office, Retail, and Restaurant	Condominiums; <i>APPROVED WITH ORD. 10-22</i>
UPPER FLOORS	Office	Condominiums; <i>APPROVED WITH ORD. 10-22</i>
BUILDING HEIGHT	8-Stories	4-Stories; <i>IN CONFORMANCE</i>
ENCROACHMENTS	5-Feet	No Encroachments Defined; <i>IN CONFORMANCE</i>
SURFACE PARKING:		
SETBACK FROM ROW LINE	Summer Lee Drive and Horizon Road: 30-Feet Street Type 'F' and Street Type 'B': 10-Feet	No Surface Parking Indicated; <i>IN CONFORMANCE</i>
MAXIMUM AMOUNT OF SURFACE PARKING	20%	0%; <i>IN CONFORMANCE</i>
MAXIMUM NUMBER OF DRIVEWAYS	Summer Lee Drive: 2; Horizon Road: 0; Street Type 'F' and Street Type 'B': 1	1 on Glen Hill Way (Street Type 'F'); <i>IN CONFORMANCE</i>

TREESCAPE PLAN

The treescape table provided by the applicant indicates that 662-caliper inches of *Primary Protected Trees*, 65-caliper inches of *Secondary Protected Trees*, and one (1), 32-inch *Feature Tree* will be removed from the subject property as a result of the development. The applicant's total mitigation balance is 796 caliper inches. According to the landscape plan there are 156-caliper inches (*i.e.* 39 canopy trees) being planted on site. This reduces the mitigation balance to 640 caliper inches. According to Section 05(F), *Mitigation Balance*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), tree preservation credits may be purchased at \$100.00 per inch for up to 20.00% of the mitigation total. In this case, the 640 caliper inches is greater than 20% of the mitigation balance. Given this, the applicant is requesting an *Alternative Tree Mitigation Settlement Agreement*, to allow them to pay the remaining balance at \$100.00 per inch, for a total of \$64,000.00 (*i.e.* 640 caliper inches x \$100.00 per inch = \$64,000.00). This must be acted upon by the City Council following a recommendation from the Planning and Zoning Commission.

CONFORMANCE WITH THE CITY'S CODES

The applicant is requesting to construct a *Condominium Building* on the subject property. According to Subsection 02.01, *Condominium*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Condominium* is defined as a "...multi-family dwelling unit, within which designated dwelling units are conveyed fee simple title, with an undivided interest in the building's common elements, to include, but not be limited to, halls, stairs, elevators, roof, parking space, and the land when the building is not constructed on leased land." In this case, the applicant's request for the *Condominium Building* meets this definition and is permitted by Specific Use Permit (SUP) according to Exhibit D, *Sub-District Land Use Chart*, of the Planned Development District 32 (PD-32) Ordinance [*Ordinance No 17-22*]. Staff should note that the applicant has provided many of the first-floor condos with direct access onto the sidewalk, which is a requirement in order for the development to be considered *urban residential*.

According to the *Subdistrict Plan* contained in Planned Development District 32 (PD-32) [*Ordinance No. 17-22*] the subject property is partially located within the *Hillside Mixed-Use Subdistrict*; however, the majority of the subject property is situated within the *Horizon/Summer Lee Subdistrict*. This subdistrict is also where all of the development is being proposed for the urban residential units or condominiums. The other urban residential/condominiums constructed in this district utilize the Tuscan architectural style outlined in the PD-32 Design Guidelines [*Resolution No. 10-40*]. In accordance with the Tuscan design guidelines the proposed building incorporates tower elements, clay style roof tiles, a mixture of stone and stucco, a non-white earth tone color pallet, balconies, and arcades.

In accordance with the site plan submittal guidelines for Planned Development District 32 (PD-32) the applicant included a streetscape plan. Per the requirements of PD-32, the applicant was required to provide street trees, benches, pedestrian lighting, decorative pots, and refuse bins. The proposed streetscape plan incorporates the street trees and pedestrian lighting around the entire perimeter of the proposed building. The majority of the pedestrian amenities were included within a plaza area and the primary entry into the building. The plaza is located along Summer Lee Drive near Glenn Hill Way, which in addition to the street trees and lighting, includes benches and refuse bins. Outside of the primary entry into the building the applicant is proposing enhanced landscaping, street trees, pedestrian lighting, benches, refuse bins, and decorative pots.

The proposed site plan also generally conforms to the requirements of *Horizon/Summer Lee Subdistrict* outlined in the Planned Development District 32 (PD-32) ordinance [*Ordinance No. 17-22*] and the requirements of the Unified Development Code (UDC), with the exception of the *Exception* being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

- (1) Streetscape Landscaping.
 - (a) Alternative Tree Planting. According to *Exhibit C-6, Master Tree Planting Plan*, with the Planned Development 32 (PD-32) Ordinance [*Ordinance No. 17-22*], indicates that Cedar Elm Trees must be planted along Summer Lee Drive. Due to the Fire Departments aerial apparatus access requirements the applicant is proposing Little Gem Magnolia trees, which are smaller canopy tree. This will require an exception from the Planning and Zoning Commission.
 - (b) Canopy Tree Spacing. According to *Exhibit C-4, Streetscape Plan*, with the Planned Development 32 (PD-32) Ordinance [*Ordinance No. 17-22*], the street trees along Summer Lee Drive must be placed on 30-foot centers. In this case along Summer Lee Drive near Glenn Hill Way, the applicant is proposing greater than 30-foot centers for two (2) canopy trees. The applicant is requesting the increased spacing on these two (2) trees due to the Fire Departments aerial apparatus access requirements. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), "...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship." In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has not indicated any compensatory measures for the requested variances, as they are related to Fire Department access requirements. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the *Harbor District*. The *Harbor District* is considered an entry portal to the City of Rockwall and is intended to provide a pedestrian oriented, mixed use district accommodating residential and non-residential land uses. The *Harbor District*

is a live, work, and play district that offers professional offices, scenic condominiums, with restaurants, shopping and entertainment venues, and is intended to be a regional commercial center. When reviewing the strategies for this district, the applicant's site plan is targeted at providing a pedestrian friendly and walkable environment by providing streetscape elements along Summer Lee Drive, Glenn Hill Way, and Pinnacle Way. Based on this the applicant's proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On February 28, 2023 the Architecture Review Board reviewed the building elevations provided by the applicant made the following recommendations: [1] provide consistent arch widths, [2] line up the window and door heights to create a more uniform look (*consider transom windows*), [3] provide breaks in the blank spaces with articulation, windows, etc., [4] columns on the arcades should be the same width, [5] provide a green wall along Horizon Road, and [6] fix the key plan. The ARB will review the revised building elevations at the March 14, 2023 ARB meeting and will forward a recommendation to the Planning and Zoning Commission.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Site Plan for the construction of a *Condominium Building* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) All roof top equipment shall be fully screened from all adjacent properties and public Right-of-Way (ROW).
- (3) All pedestrian light poles shall be at least five (5) feet off of the back of curb.
- (4) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- REPLAT (\$300.00 + \$20.00 ACRE)¹
- AMENDING OR MINOR PLAT (\$150.00)
- PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1&2}
- PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- TREE REMOVAL (\$75.00)
- VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS Moton Addition, City of Rockwall, Rockwall County, Texas, situated within the Hillside Mixed Use Subdistrict, and the Horizon/Summer Lee Subdistrict of Planned Development District 32 (PD-32), generally located at the southwest corner of the intersection of Horizon Road and Summer Lee Drive.

SUBDIVISION _____ LOT _____ BLOCK _____

GENERAL LOCATION _____

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING	PD-32	CURRENT USE	Undeveloped
PROPOSED ZONING	PD-32	PROPOSED USE	Condominium
ACREAGE	3.59 Acres	LOTS [CURRENT]	N/A
		LOTS [PROPOSED]	N/A

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER	RIV Properties, LLC	<input type="checkbox"/> APPLICANT	RIV Properties, LLC
CONTACT PERSON	Brad Boswell	CONTACT PERSON	Brad Boswell
ADDRESS	PO Box 192054	ADDRESS	PO Box 192054
CITY, STATE & ZIP	Dallas, TX 75219	CITY, STATE & ZIP	Dallas, TX 75219
PHONE	214-493-3346	PHONE	214-493-3346
E-MAIL	bboswell@realtyinvestments.com	E-MAIL	bboswell@realtyinvestments.com

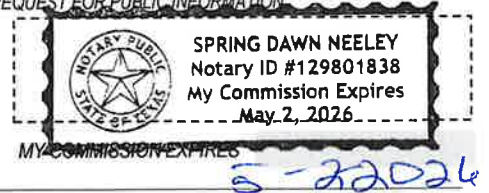
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Bradley Boswell [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT, AND THE APPLICATION FEE OF \$ 1,000.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF February, 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

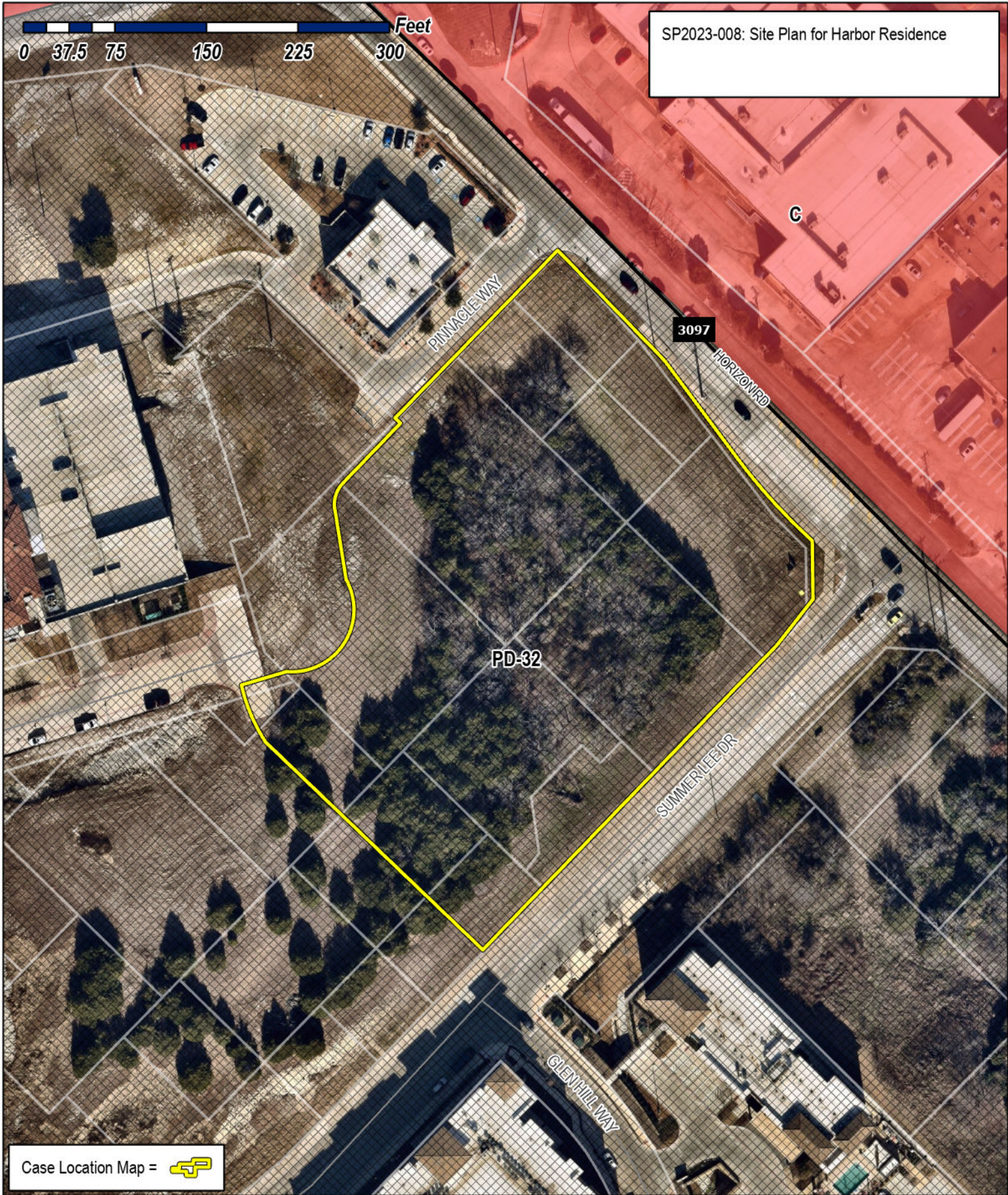
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 17th DAY OF February, 2023
OWNER'S SIGNATURE Bradley Boswell

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 37.5 75 150 225 300 Feet

SP2023-008: Site Plan for Harbor Residence



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Lee, Henry

From: Lexi Moskaluk <Imoskaluk@landdesign.com>
Sent: Thursday, March 9, 2023 3:05 PM
To: Lee, Henry
Cc: Gabriela Blake; Ron Cabbage
Subject: Harbor Residential - Variance Request
Attachments: Development Comment Responses 03.09.2023.docx; Rockwall City Placement Markup - Response Comments.pdf

Henry,

For the resubmission of the Site Plan for the Harbor Residential development, we would like to request a variance from the PD-32 Standards for the following:

- To plant Little Gem Magnolias along Summer Lee Drive in lieu of Cedar Elms in response to the 02/23/2023 Fire Department comment requesting review of landscape plans to ensure aerial fire apparatus access to the building along this side. City of Rockwall recommended Little Gem Magnolias be planted in lieu of Cedar Elms due to previous experience of cutting down Cedar Elms to provide fire access to a hospital in the City.
- To increase street tree spacing for a portion of Summer Lee Drive (close to the intersection of Summer Lee & Glenn Hill Way) due to the presence of an existing fire hydrant and existing storm sewer line.

Please let us know if we need to provide any additional information for this variance request.

Please also find attached written responses to the additional comments from the Site Plan Submission on 3.7.2023.

Thank you!

LEXI MOSKALUK

Designer | Boulder | (o) 720.274.0814 x 3504

Boulder | Charlotte | Washington DC | Dallas | Orlando | San Francisco

[LandDesign.com](https://www.landdesign.com) | [@LandDesignInc](https://www.instagram.com/LandDesignInc)

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Mr. Ryan Miller
City of Rockwall
Director of Planning and Zoning
385 S. Goliad Street, Rockwall, TX 75087
(972) 772-6441

VIA EMAIL: rmiller@rockwall.com
Date: 3/7/2023

Re: Rockwall Harbor District Condominium Alternative Tree Mitigation Settlement

We are requesting approval of an alternative tree mitigation settlement agreement for the subject property. The treescape plans for these cases indicated a total of 807 caliper-inches of trees would be removed from the subject property. The approved landscape plans for these cases indicated a total of 156 caliper inches would be added back to the subject property. This left an outstanding mitigation balance of 651 inches.

At least a third of the mitigation requirements are hackberry trees, which would not be required under the 2023 code. The original tree survey took a while to be completed and we do not want to delay the project by waiting on a new arborist for a new tree survey to meet the new 2023 code, so this submittal will be following the previous code and will be mitigating the large hackberry trees. Additionally, this is a challenging site with significant topography changes and the developer has worked hard to meet all the requirements of the PD in the Harbor District. Changing the existing site elevation makes it difficult to preserve trees but developer is willing to contribute funds to plant new trees elsewhere in the city parks.

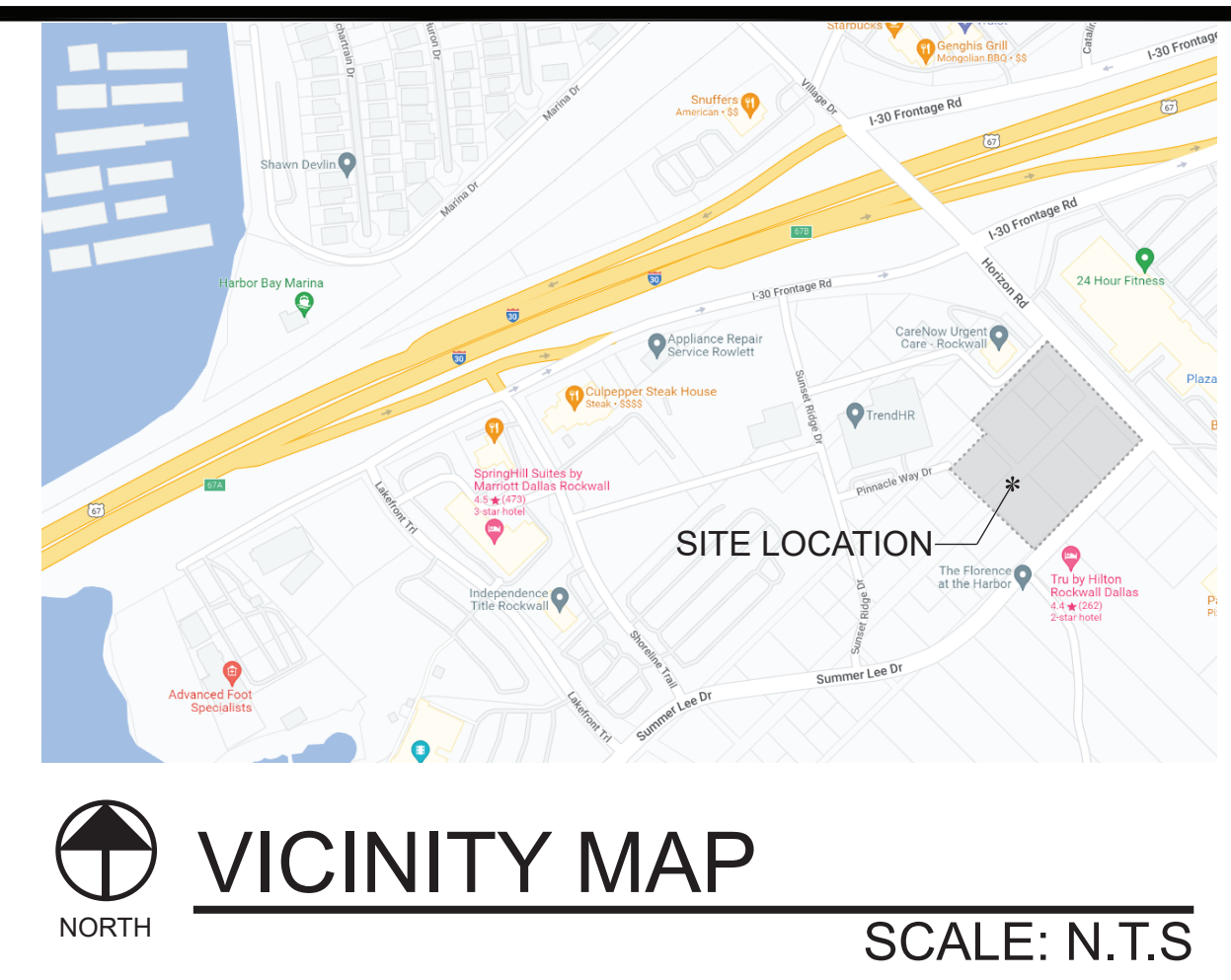
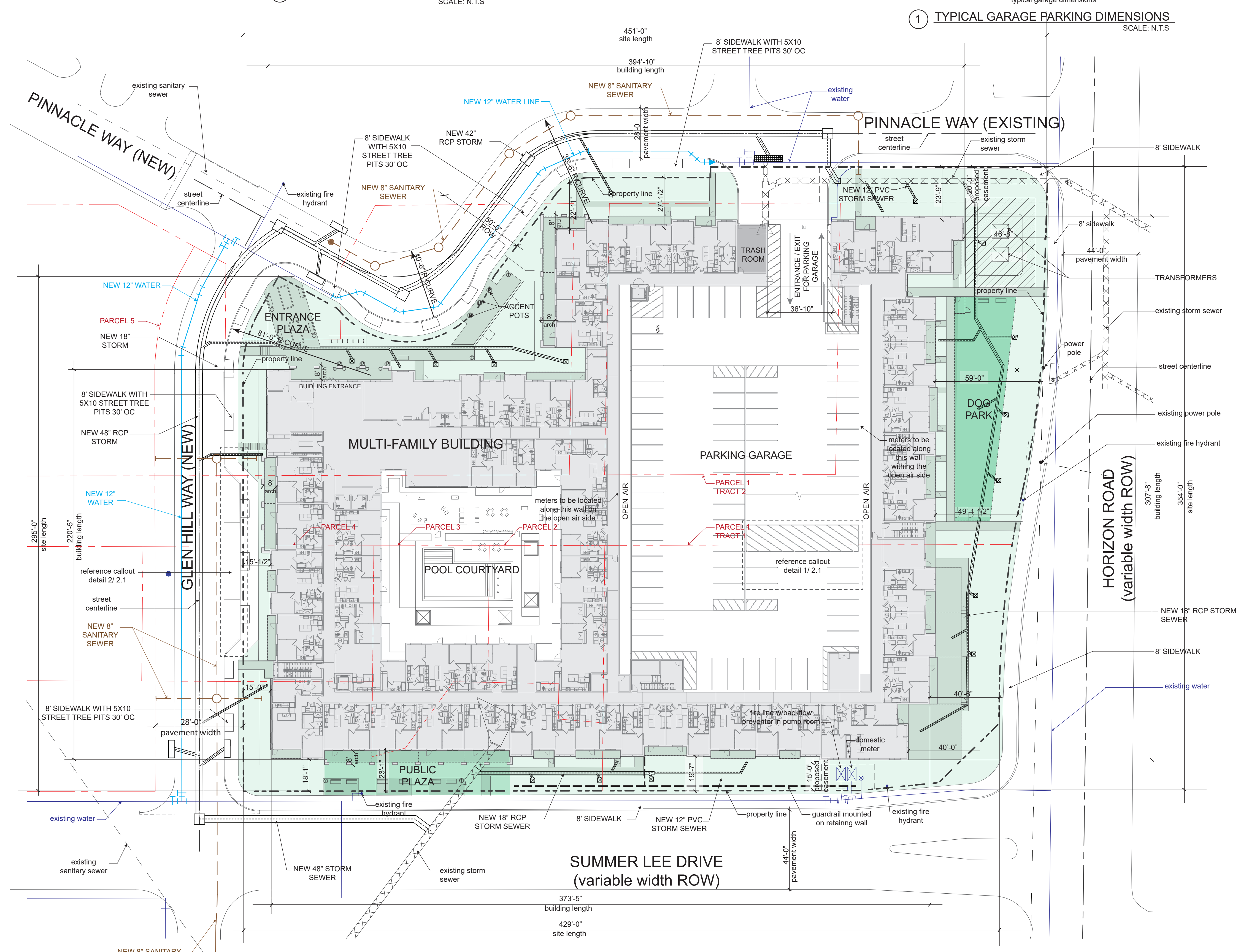
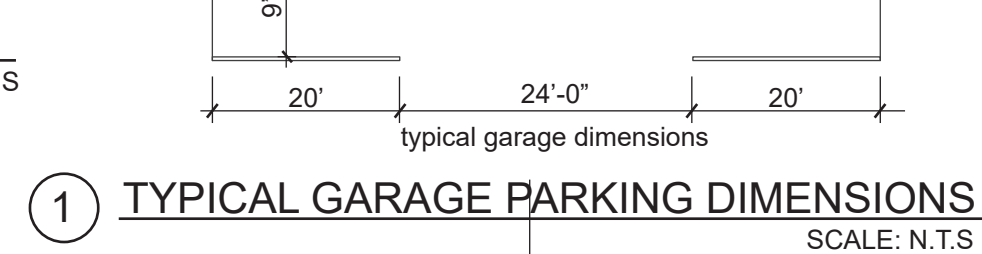
Our understanding is that the mitigation balance may be satisfied under Section 5.7, *Alternative Tree Mitigation Settlement Agreements*, of Article IX, *Tree Preservation*, of the Unified Development Code (UDC). This gives the City Council the ability to approve an alternative tree mitigation plans on a case-by-case basis pending a recommendation from the Planning and Zoning Commission. Should this request be approved, the applicant is proposing to satisfy the mitigation balance by providing a check in the amount of \$65,100. These funds would be deposited in the City's tree mitigation fund and will be used for planting trees in the city's parks, medians, and other similar areas.

Please consider our request for these mitigation funds to applied elsewhere in Rockwall.

Respectfully,



Asher Hamilton
Realty Investments / RIV Properties LLC
CEO
Date: 3/7/2023



PROJECT DATA	
SITE AREA:	3.3 ACRES (143,748 SF)
GROSS BUILDING SQUARE FOOTAGE:	347,143 SF
LAND USE:	COMMERCIAL
BUILDING INFORMATION	ONE (1) THREE/FOUR STORY BUILDING
SQUARE FOOTAGE:	347,313 GSF 156,593 NRSF
UNIT INFORMATION	AVG. UNIT SIZE: 890 SF.
	1 BEDRM UNIT TOTAL: 108 UNITS 2 BEDRM UNIT TOTAL: 60 UNITS 3 BEDRM UNIT TOTAL: 8 UNITS TOTAL UNITS: 176 UNITS
PARKING INFORMATION	305 PARKING SPACES PROVIDED @ 1.7 SPACES / UNIT
	7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THOROUGH EACH PARKING LEVEL
SITE REQUIRES REPLATTING. LINES SHOWN AS FOLLOWS	
---	CURRENT PLATS
---	FUTURE PLAT
---	ENGINEERED RETAINING WALL (stone faced w/fence above)
---	PATIOS / ACCESS ROUTE
---	GUARDRAILS
⊠	BENCH
Ⓟ	POTS
⊠	PLANTERS
Ⓣ	TRASH RECEPTACLES
PAVING INFORMATION	
STREET:	6" 3600 PSI CONCRETE W/#4 @ 18" OCEW
DRIVES:	6" 3600 PSI CONCRETE W/#3 @ 24" OCEW
SIDEWALK:	4" 3000 PSI CONCRETE W/#3 @ 24" OCEW

SITE PLAN
 SCALE 1" = 30'-0"

DESIGN BALANCE, INC.
 2701 SUNSET RIDGE DR
 SUITE 607H
 ROCKWALL, TX 75032
 214.668.2306

OWNER:
 RIV PROPERTIES, LLC
 P.O. BOX 192054
 DALLAS, TX 75219
 214.908.4684

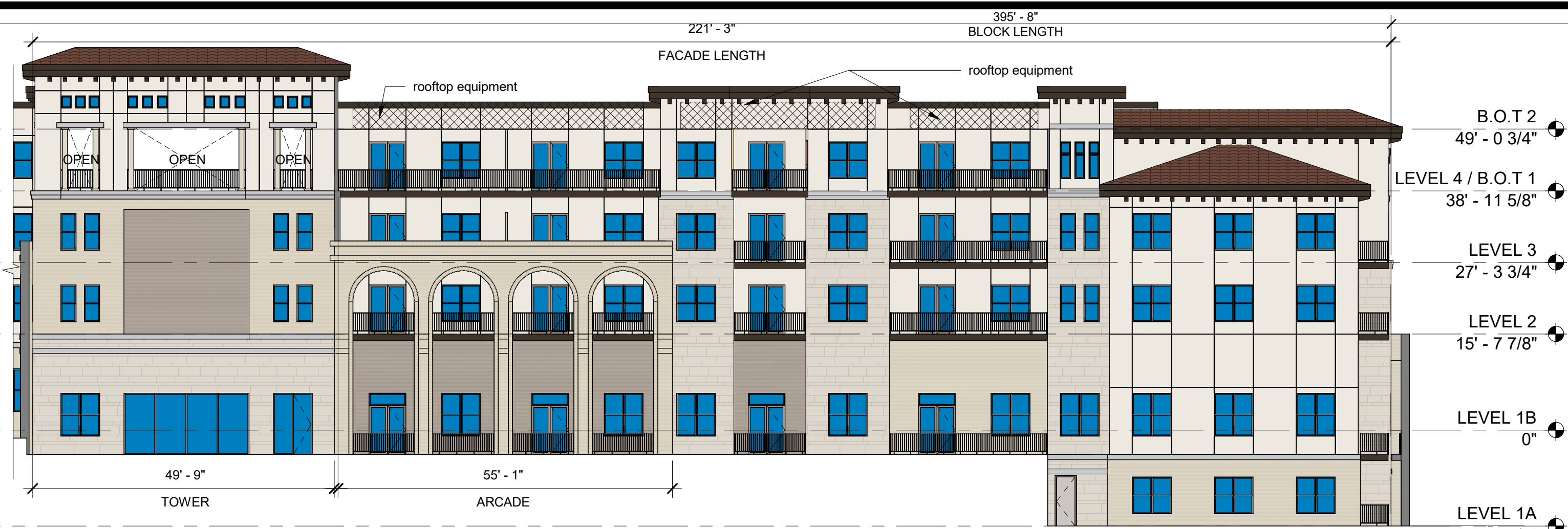
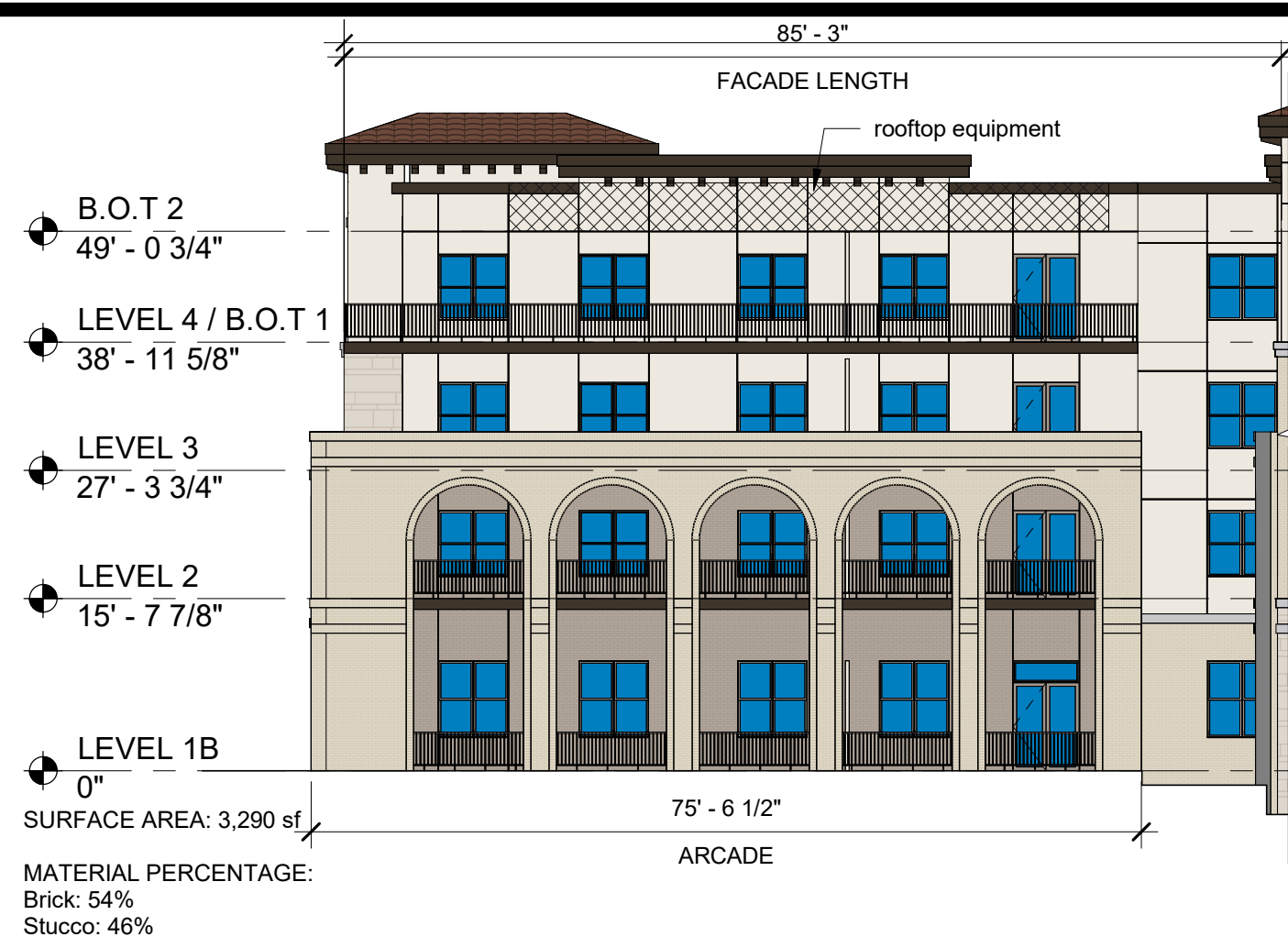
HARBOR RESIDENCES:
 2550 PINNACLE WAY

DATE ISSUED:
 03/07/2023

SHEET NUMBER AND TITLE:
2.1
SITE PLAN

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2023.
 WITNESS OUR HAND, this ____ day of _____.
 PLANNING AND ZONING CHAIRMAN SIGNATURE: _____
 PLANNING DIRECTOR'S SIGNATURE: _____

CASE NUMBER:
SP2023-008

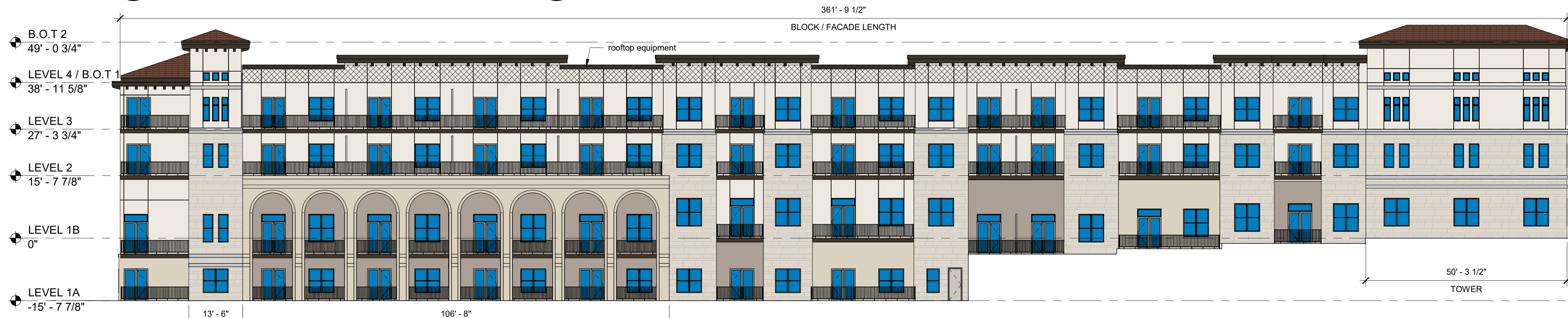


MATERIAL LEGEND

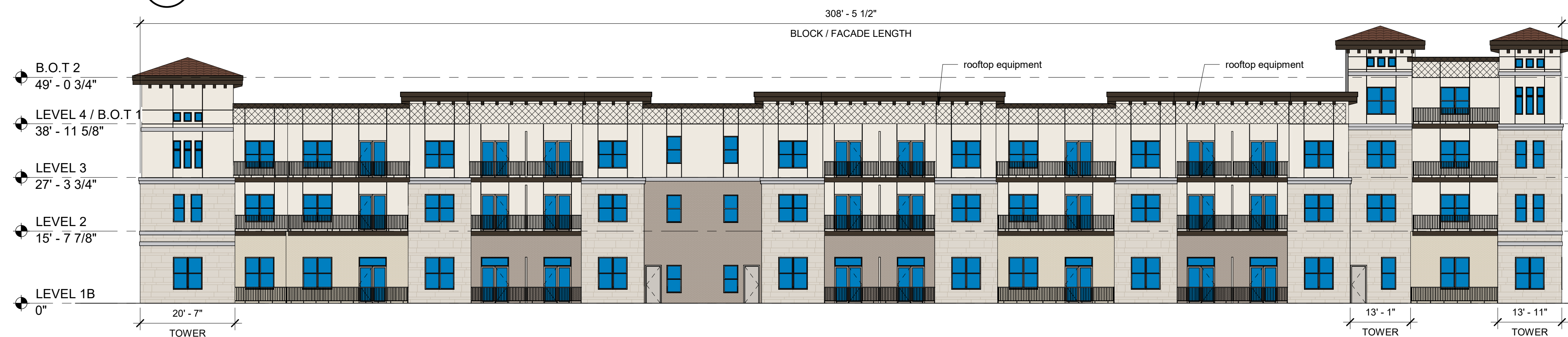
	BRICK - ACME - Shamrock
	BRICK - ACME - Galena
	STONE - Salado - White Limestone
	STUCCO - Sherwin Williams - Marshmallow
	TRIM - Sherwin Williams - Rockweed
	CONCRETE ROOF TILE - BORAL - Tejas Espania - Casa Grande Blend

4.1 WEST ELEVATION
1/16" = 1'-0"

4 WEST ELEVATION
1/16" = 1'-0"



3 SOUTH ELEVATION
1/16" = 1'-0"

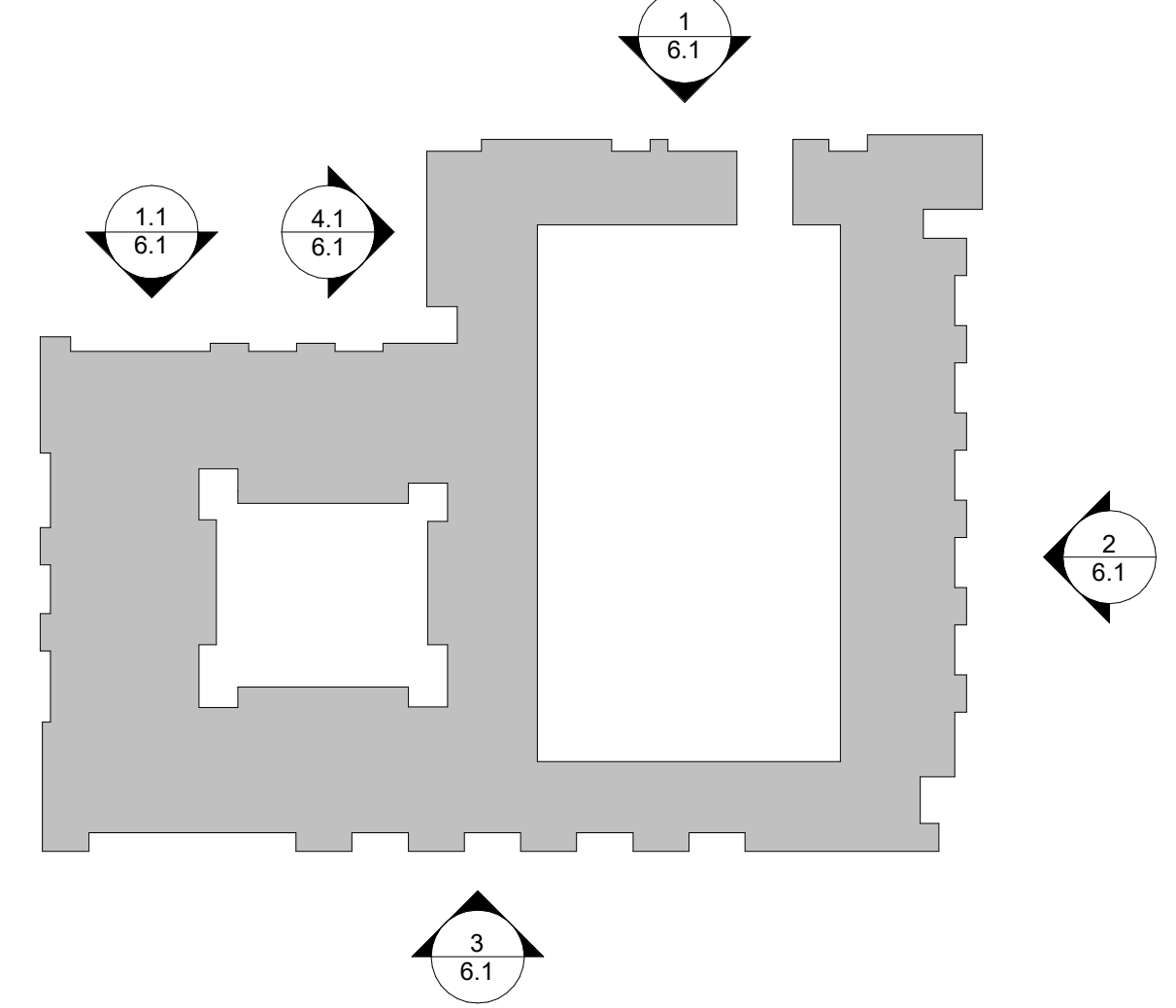


2 EAST ELEVATION
1/16" = 1'-0"



1 NORTH ELEVATION
1/16" = 1'-0"

1.1 NORTH ELEVATION
1/16" = 1'-0"



DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR
SUITE 607H
ROCKWALL, TX 75032
214.668.2306

OWNER:
RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

SHEET NUMBER AND TITLE:
6.1 BUILDING ELEVATIONS

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.

WITNESS OUR HAND, this _____ day of _____, 2023.

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

CASE NUMBER:
SP2023-008





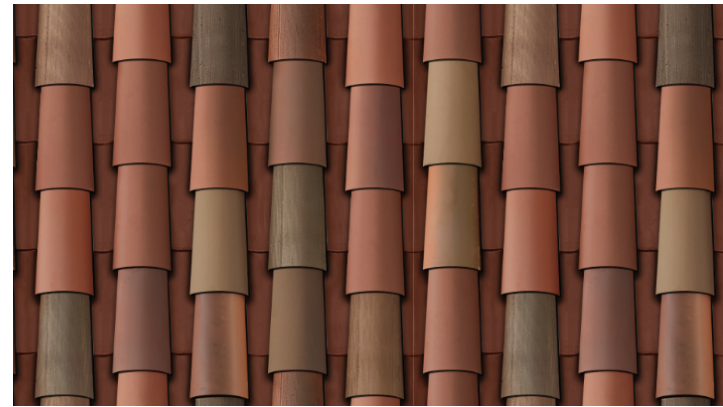
1. BRICK, ACME



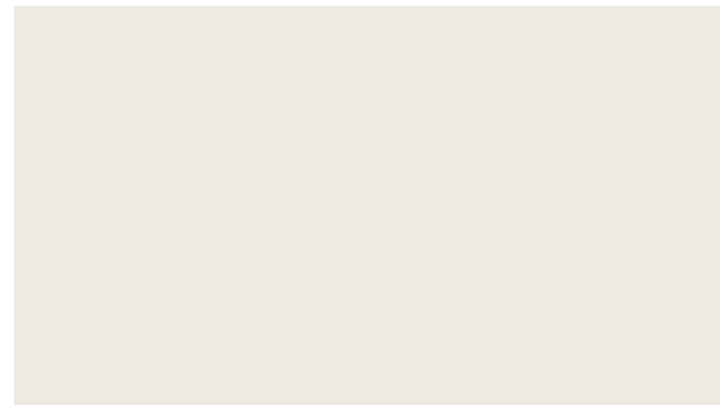
2. BRICK, ACME



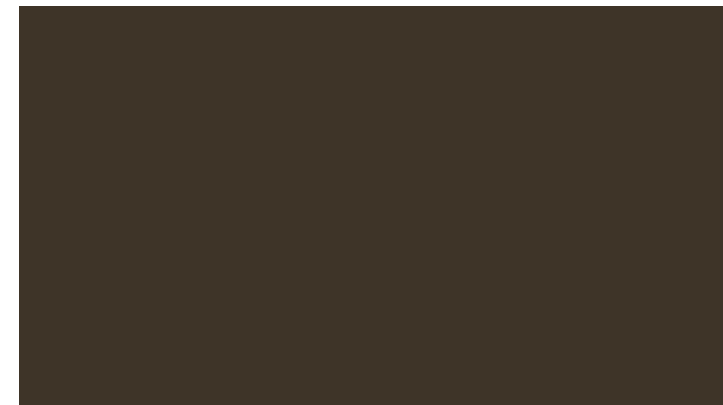
3. STONE, SALADO



4. CONCRETE SPANISH TILE



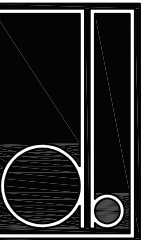
5. STUCCO, SHERWIN WILLIAMS (COLOR), MARSHAMLOW



6. FIBER CEMENT, SHERWING WILLIAMS (COLOR), IRON GATE



GABRIELA BLAKE
DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR. SUITE 607H
ROCKWALL, TEXAS 75032
915.861.2247



OWNER:
RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

PROJECT CASE NUMBER:

Z2022-058

REFERENCE NOTES SCHEDULE ENTIRE SITE

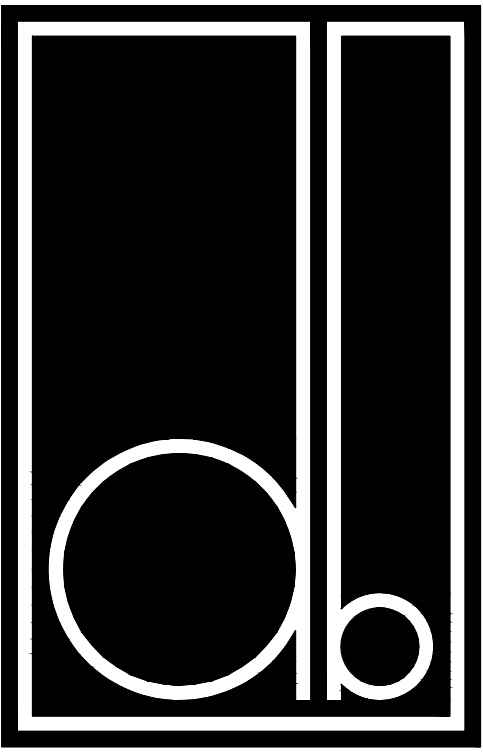
CODE	DESCRIPTION	MANUFACTURER	MODEL	MATERIAL	COLOR	FINISH	SIZE	REMARKS	
F-101	FENCE - TYPE 1	-	-	-	-	-	48" HIGH, VERTICAL MEMBERS SPACED AT 4"	UNIT FENCE TO MATCH BALCONIES, SEE ARCH PLANS	
F-102	FENCE - TYPE 2	AMERISTAR	MONTAGE MAJESTIC	RE: MANUFACTURER	BLACK	RE: MANUFACTURER	4' HT	POOL, PET, PLAY OPTION	
F-103	GATE - TYPE 1	-	-	-	-	-	-	GATE TO MATCH ARCHITECTURAL BALCONY FENCE, SEE ARCH PLANS	
F-104	GATE - TYPE 2	AMERISTAR	MONTAGE MAJESTIC GATE	RE: MANUFACTURER	BLACK	RE: MANUFACTURER	4' HT	POOL, PET, PLAY OPTION	
OUTDOOR KITCHEN									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	MOUNT	REMARKS
K-101	KITCHEN COUNTER WALL	TECHO-BLOC	TRAVERTINA RAW	-	-	-	-	-	-
K-102	KITCHEN COUNTER	DEKTON	-	-	-	-	-	-	-
K-103	GAS GRILL	-	-	-	-	-	-	-	-
LANDSCAPE									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	MIX	REMARKS
L-101	MULCH - TYPE 1	-	SHREDDED HARDWOOD MULCH	-	NATURAL	-	-	-	-
L-102	MULCH - TYPE 2	-	DECORATIVE ROCK MULCH	3-5"	-	-	-	-	-
L-103	MULCH - TYPE 3	-	MEXICAN BEACH PEBBLE	-	-	-	-	-	-
PAVING									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	PATTERN / JOINT	REMARKS
P-101	CONCRETE - TYPE 1	-	-	-	-	STANDARD GREY	BROOM	-	-
P-102	CONCRETE - TYPE 2	DAVIS CONCRETE COLORS	-	-	INTEGRALLY COLORED CONCRETE	SANDSTONE + SAN DIEGO BUFF	SMOOTH	-	SEE MATERIAL PLANS.
P-103	CONCRETE - TYPE 3	DAVIS CONCRETE COLORS	-	-	INTEGRALLY COLORED CONCRETE	SANDSTONE + SAN DIEGO BUFF	SMOOTH	-	SEE MATERIAL PLANS.
P-104	PAVERS - TYPE 1	WAUSAU	FRONTIER	12" X 24" X 2"	CONCRETE	HFT-65/SRI 41 + HFT 25/SRI 53	-	-	SEE MATERIAL PLANS.
P-105	PAVERS - TYPE 2	TECHO-BLOC	INDUSTRIA SMOOTH	900 X 600	CONCRETE	BEIGE CREAM + CHESTNUT BROWN	HD SMOOTH	-	SEE MATERIAL PLANS.
P-106	ARTIFICIAL TURF	SYNLAWN	SYNAUGUSTINE X47	1 5/8" PILE HEIGHT	-	FIELD GREEN / OLIVE / APPLE	100 OZ. WEIGHT	-	PROVIDE SAND INFILL MIX, DEPTH PER MANUFACTURER'S RECOMMENDATIONS
POOL									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	REMARKS	
PL-101	POOL COPING	TECHO-BLOC	BULLNOSE GRANDE	12" X 5"	-	BEIGE CREAM	-	-	
PL-102	SUN SHELF	-	-	-	-	-	-	SEE POOL CONSULTANT DRAWINGS	
PL-103	SEAT LEDGE	-	-	-	-	-	-	SEE POOL CONSULTANT DRAWINGS	
PL-104	ENTRY STAIRS	-	-	-	-	-	-	SEE POOL CONSULTANT DRAWINGS	
PL-105	POOL BUBBLER	-	-	-	-	-	-	SEE POOL CONSULTANT DRAWINGS	
SITE FURNISHINGS									
CODE	DESCRIPTION	MANUFACTURER	MODEL	SIZE	MATERIAL	COLOR	FINISH	MOUNT	REMARKS
S-101	BENCH - TYPE 1	LANDSCAPE FORMS	NEOLIVIANO	27" X 69" X 31"	DTMA & ALUMINUM	RE: MANUFACTURER	RE: MANUFACTURER	SURFACE	-
S-102	BENCH - TYPE 2	SCARBOROUGH	BACKED	28" X 72" X 34"	RE: MANUFACTURER	RAL #7003 MOSS GREY	RE: MANUFACTURER	SURFACE	PER PUD STANDARDS
S-103	PLANTER POT - TYPE 1	QCP	QR-COZ3733P	37" X 33" X 19"	CONCRETE	LATTE	RE: MANUFACTURER	-	-
S-104	PLANTER POT - TYPE 2	QCP	QR-COZ3733P	27" X 24" X 13.5"	CONCRETE	QUAIL HILL RED	RE: MANUFACTURER	-	-
S-105	BIKE RACK	FORMS+SURFACES	TRIO BIKE RACK	-	ALUMINUM	-	-	SURFACE, RE: MANUFACTURER	-
S-106	PET WASTE RECEPTACLE	DOG-ON-IT	COMPLETE DOG WASTE STATION #7408S	10 GALLON ROUND	POWDERCOATED STAINLESS STEEL	GREEN	-	SURFACE	-
S-107	WATER FOUNTAIN & PET BOWL	-	-	-	-	-	-	SURFACE	-
S-108	DRINK RAIL	LANDSCAPE FORMS	JESSE DRINK RAIL	FOUR 4' UNITS WITH END-CAPS	RE: MANUFACTURER	-	POWDERCOAT	SURFACE	12" TOP RAIL OPTION, JESSE RAIL OR SIMILAR SPEC.
S-109	CABANA	TUCCI	SOLANOX	8' X 8'	NATURAL ALUMA-TEAK	SANDBAR	POWDERCOAT	SURFACE	OR SIMILAR SPEC.
S-110	WASTE RECEPTACLE	LANDSCAPE FORMS	SCARBOROUGH - SIDE OPEN	25" X 40" (30 GAL)	METAL	RAL #7003 MOSS GREY	RE: MANUFACTURER	SURFACE	-
WALLS AND STAIRS									
CODE	DESCRIPTION	MANUFACTURER	MODEL	FINISH	SIZE	HEIGHT	REMARKS		
W-101	WOOD BENCH	-	-	WOOD	SEE PLAN	18"	CUSTOM BENCH - SEE DETAILS		
W-102	CURB-STEP	-	-	-	SEE PLAN	VARIES	LIMESTONE BLOCK STEP, OR SIMILAR		
W-103	STAIR - TYPE 1	-	-	SMOOTH	SEE PLAN	-	COLOR TO MATCH INTEGRALLY COLORED CONCRETE		
W-104	PLANTER WALL - TYPE 1	-	-	-	SEE PLAN	VARIES	LIMESTONE CLAD CONCRETE WALL, OR SIMILAR		
W-105	PLANTER WALL - TYPE 2	-	-	BROOMED	SEE PLAN	18"	CONCRETE PLANTER BED WALL		
W-106	FEATURE WALL WITH FIREPLACE	-	-	-	-	-	CUSTOM FIRE FEATURE OR SPECIFIED PRODUCT		
W-107	FLUSH CONCRETE CURB	-	-	-	SEE PLAN	-	COLOR TO MATCH STANDARD CONCRETE		

Symbol	Type	Qty	Manufacturer / Catalog Number	Total Lumen Output	Total Input Watts	Light Lost Factor	User Defined Factor
□	C-102	16	LITHONIA_WDGE2 LED P3 40K 70CRI TFTM [VOLTAGE] [MOUNTING] [OPTIONS] [FINISH] [ACCESSORIES]	3573	32.1375	0.808	1.000
○	LT-101	25	LUMENPULSE_ALG72XX [VOLTAGE] CSL S40 40K CRI 70 3 [FINISH] DIM [OPTIONS] [MOUNTING]	3801	31	0.808	1.000
○	LT-102	4	LUMENPULSE_ALG72XX [VOLTAGE] CSL S40 40K CRI 70 4 [FINISH] DIM [OPTIONS] [MOUNTING]	3529	31	0.808	1.000
○	LT-103	37	LOUIS POUlsen_FLINT BOLLARD 31.5 [COLOR] [MOUNTING] [WIRING]	784	15	0.808	1.000
○	LT-104	66	ECOSENSE_RISE F080 1S MO 40 8 60 [FINISHES] [ACCESSORIES] [WIRING]	545	7.5	0.808	1.000
○	LT-105	12	TARGETTI_ZES RP FW [FINISH] L1 40 24 [POWER SUPPLY]	90	3.9	0.808	1.000
○	LT-106	72	TARGETTI_IN CL 1 WW 24 24 [CONNECTION - CAP - SUPPLY] [ACCESSORIES]	67	1.5	0.808	1.000
□	P1	3	LITHONIA_DSX0 LED P4 40K 70CRI TSM [VOLTAGE] [MOUNTING] [OPTIONS] [FINISH] [ACCESSORIES]	23240	186.08	0.808	1.000

Calculation Grid Location	Calc. Height (Ft.)	Units	Avg	Max	Min	Avg/Min
PROPERTY LINE	N.A.	Fc	1.14	6.1	0.1	11.40
GLEN HILL WAY		Fc	1.27	5.9	0.0	N.A.
HORIZON ROAD		Fc	0.85	4.3	0.0	N.A.
PARKING - DRIVE		Fc	1.65	3.0	0.4	4.13
PINNACLE WAY		Fc	1.30	4.0	0.0	N.A.
SUMMER LEE DRIVE		Fc	1.13	3.4	0.1	11.30

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SIZE	QTY	SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY	PERENNIALS	CODE	BOTANICAL NAME	COMMON NAME	CONT.	SPACING	QTY
	AR	Acer rubrum 'October Glory'	October Glory Red Maple	CONT.	4" CAL	6		AGG	Abelia x grandiflora	Glossy Abelia	5 GAL		24		AEC	Aspidistra elatior	Cast Iron Plant	3 GAL		111
	CI	Carya illinoensis	Pecan	CONT.	4" CAL	3		AGK	Abelia x grandiflora 'Kaleidoscope'	Kaleidoscope Glossy Abelia	5 GAL		39		DAS	Dichondra argentea	Silver Dichondra	1 GAL		36
	CT	Cercis canadensis texensis 'Texas White'	Texas White Redbud	CONT.	4' HEIGHT MIN.	2		HQQ	Hydrangea quercifolia 'Snow Queen'	Snow Queen Oakleaf Hydrangea	5 GAL		11		EPM	Echinacea purpurea 'Magnus'	Purple Coneflower	1 GAL		124
	CL	Chilopsis linearis	Desert Willow	CONT.	4' HEIGHT MIN.	19		ICB	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	5 GAL		21		MDB	Monarda didyma	Bee Balm	1 GAL		52
	ID	Ilex decidua	Possumhaw Holly	CONT.	4' HEIGHT MIN.	4		IVN	Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	5 GAL		254		NRW	Nepeta racemosa 'Walker's Low'	Walker's Low Catmint	3 GAL		122
	ML	Magnolia grandiflora 'Little Gem'	Little Gem Dwarf Southern Magnolia	CONT.	4" CAL	10		LFS	Leucophyllum frutescens	Texas Sage	5 GAL		28		PBR	Penstemon baccharifolius	Rock Penstemon	1 GAL		41
	QB	Quercus buckleyi	Texas Red Oak	CONT.	4" CAL	10		MPW	Myrica pumila	Dwarf Wax Myrtle	5 GAL		13		SGS	Salvia greggii	Autumn Sage	1 GAL		28
	RL	Rhus lanceolata	Flameleaf Sumac	CONT.	4' HEIGHT MIN.	4		PMM	Podocarpus macrophyllus 'Maki'	Maki Yew Podocarpus	5 GAL		27		YFC	Yucca filamentosa 'Color Guard'	Color Guard Adam's Needle	3 GAL		64
	TD	Taxodium distichum	Bald Cypress	CONT.	4" CAL	1		PLO	Polemonium longiflorum	Mexican Oregano	5 GAL		36		YGT	Yucca gloriosa tristis	Curvleaf Spanish Dagger	3 GAL		14
	UC	Ulmus crassifolia	Cedar Elm	CONT.	4" CAL	8		ROR	Rosmarinus officinalis	Rosemary	5 GAL		104		YPP	Yucca pallida	Pale-leaf Yucca	3 GAL		34
								LMB	Liriope muscari 'Big Blue'	Big Blue Lilyturf	1 GAL		293							
								NTF	Nassella tenuissima	Mexican Feather Grass	1 GAL		276							
								SSS	Schizachyrium scoparium 'Standing Ovation'	Standing Ovation Little Bluestem	SOD		273							
															CTS-Q	Carex texensis	Texas Sedge	4" POTS	12" O.C.	12" o.c.
															TURF	Stenotaphrum secundatum	St. Augustine Grass	SOD		



DESIGN BALANCE, INC.
2701 SUNSET RIDGE DR
SUITE 607H
ROCKWALL, TX 75032
214.668.2306

OWNER:
RIV PROPERTIES, LLC
P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

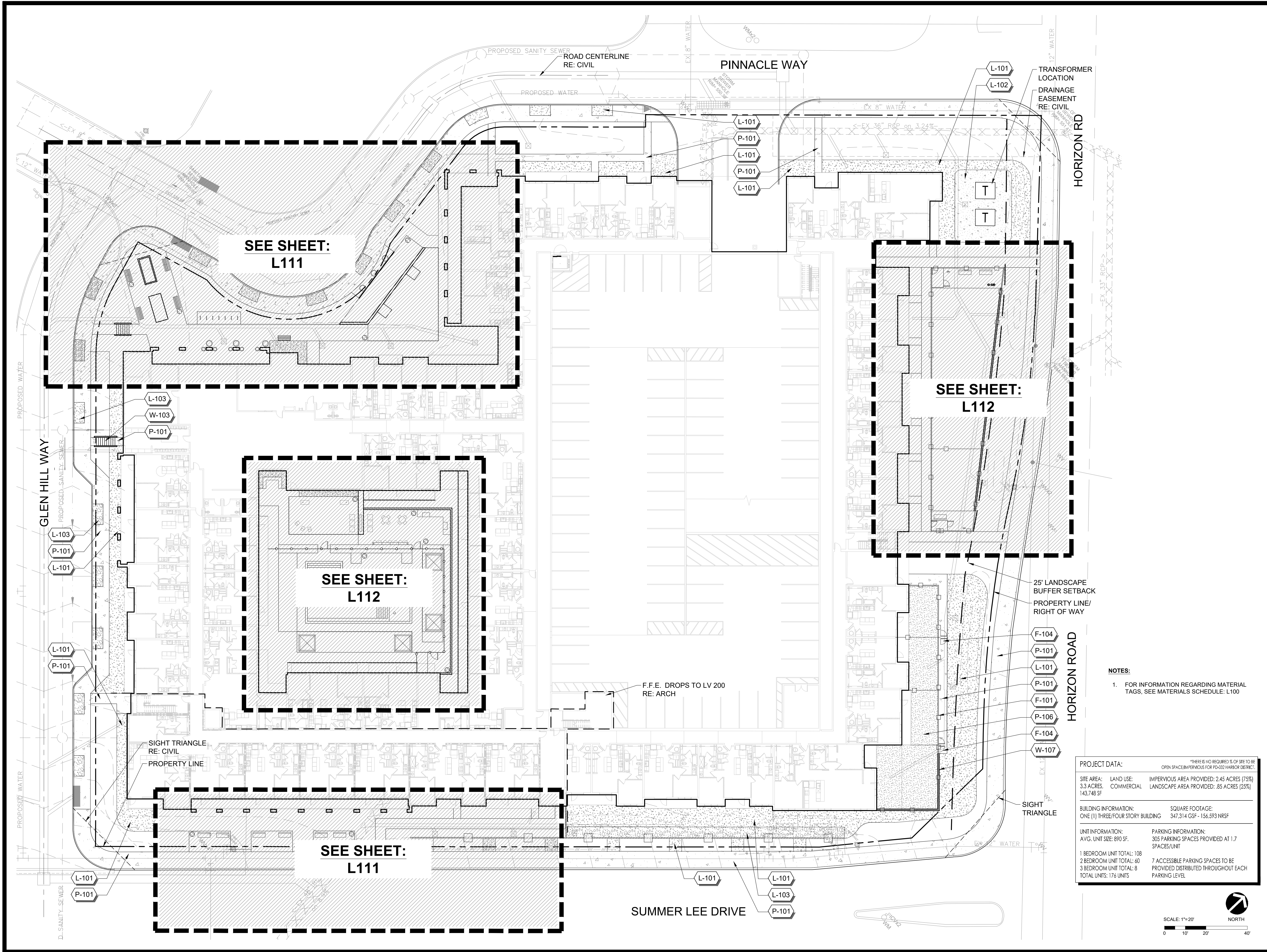
SHEET NUMBER AND TITLE:
L100
SCHEDULES

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.

WITNESS OUR HAND, this _____ day of _____, 2023.

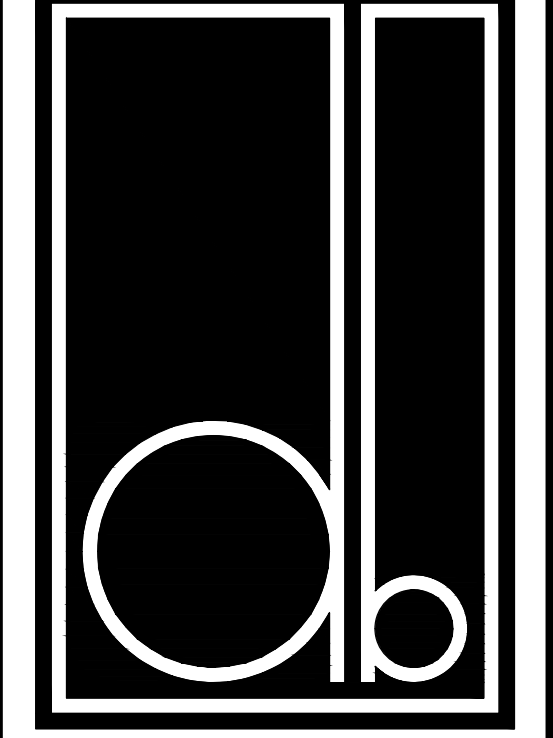
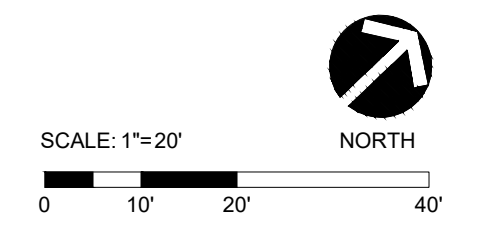
PLANNING AND ZONING CHAIRMAN SIGNATURE:

CASE NUMBER:
SP2023-008



NOTES:
 1. FOR INFORMATION REGARDING MATERIAL TAGS, SEE MATERIALS SCHEDULE: L100

PROJECT DATA:		*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE (IMPERVIOUS FOR PD-032 HARBOR DISTRICT)	
SITE AREA: 3.3 ACRES	LAND USE: COMMERCIAL	IMPERVIOUS AREA PROVIDED: 2.45 ACRES (75%)	LANDSCAPE AREA PROVIDED: .85 ACRES (25%)
BUILDING INFORMATION: ONE (1) THREE/FOUR STORY BUILDING		SQUARE FOOTAGE: 347,314 GSF - 156,593 NRSF	
UNIT INFORMATION: AVG. UNIT SIZE: 890 SF		PARKING INFORMATION: 305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT	
1 BEDROOM UNIT TOTAL: 108		7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THROUGHOUT EACH PARKING LEVEL	
2 BEDROOM UNIT TOTAL: 60			
3 BEDROOM UNIT TOTAL: 8			
TOTAL UNITS: 176 UNITS			



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 DALLAS, TX 75219
 214.908.4684

HARBOR RESIDENCES:
 2550 PINNACLE WAY

DATE ISSUED:
 03/07/2023

SHEET NUMBER AND TITLE:
L110
 LANDSCAPE PLAN - MATERIALS

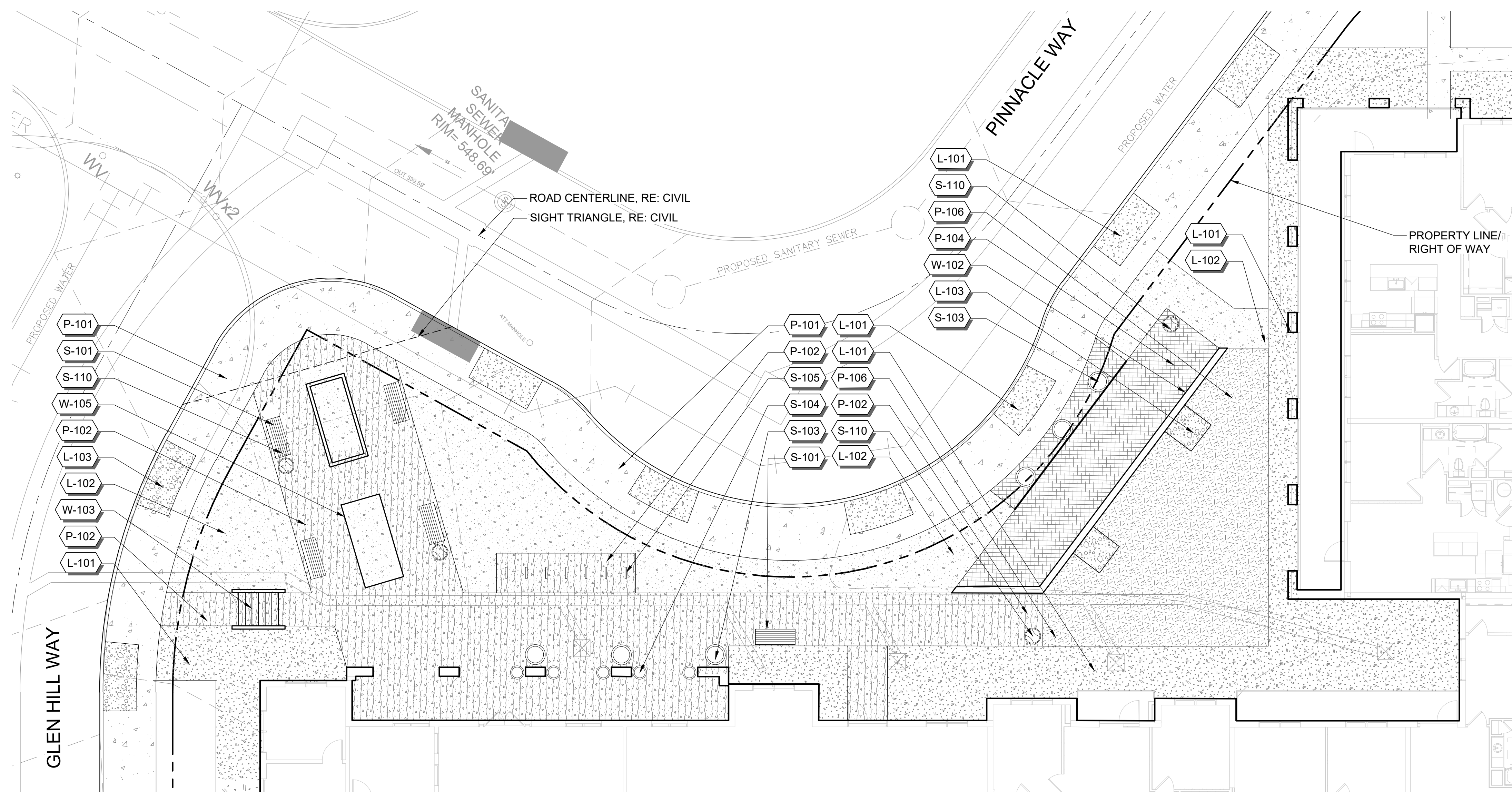
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2023.

WITNESS OUR HAND, this _____ day of _____, 2023.

PLANNING AND ZONING CHAIRMAN SIGNATURE: _____

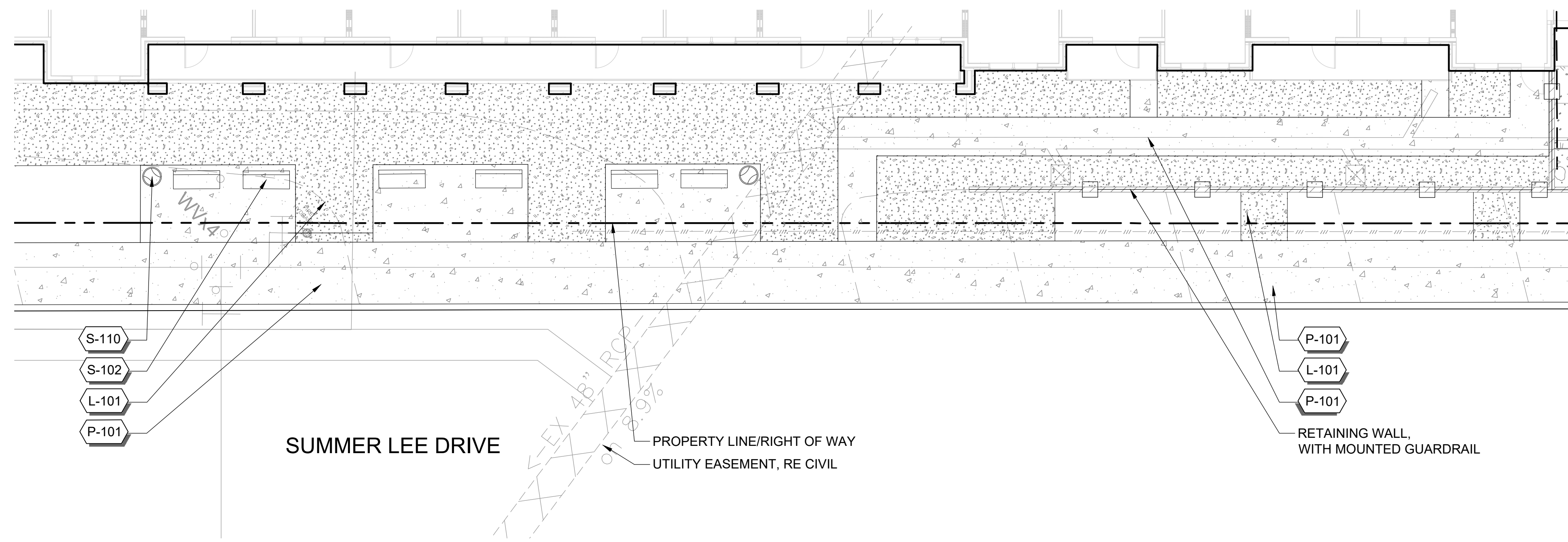
PLANNING DIRECTOR'S SIGNATURE: _____

CASE NUMBER:
SP2023-008



1 ENTRY COURTYARD - LANDSCAPE MATERIALS PLAN

SCALE: 1" = 10'



2 STREETSCAPE PLAZA - LANDSCAPE MATERIALS PLAN

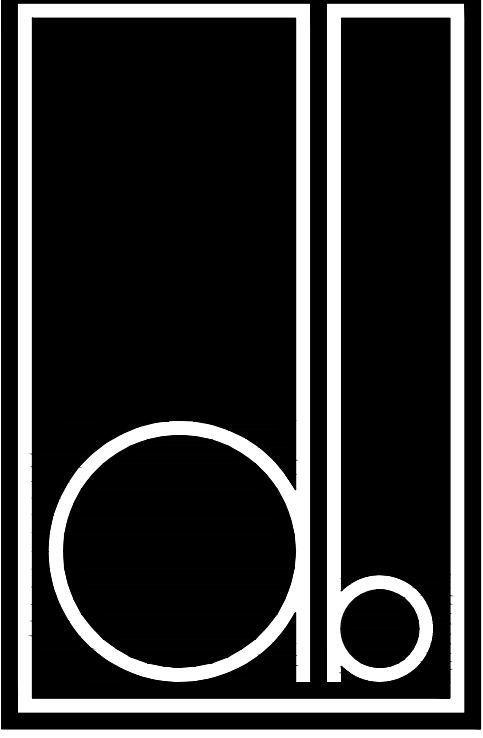
SCALE: 1" = 10'



NOTES:

- FOR INFORMATION REGARDING MATERIAL TAGS, SEE MATERIALS SCHEDULE: L-100

PROJECT DATA:		*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE/PERVIOUS FOR FD-022 HARBOR DISTRICT:	
SITE AREA:	LAND USE:	IMPERVIOUS AREA PROVIDED:	2.45 ACRES (75%)
3.3 ACRES	COMMERCIAL	LANDSCAPE AREA PROVIDED:	.85 ACRES (25%)
143,748 SF			
BUILDING INFORMATION:		SQUARE FOOTAGE:	
ONE (1) THREE/FOUR STORY BUILDING		347,314 GSF - 156,593 NRSF	
UNIT INFORMATION:		PARKING INFORMATION:	
AVG. UNIT SIZE: 890 SF.		305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT	
1 BEDROOM UNIT TOTAL: 108		7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THROUGHOUT EACH PARKING LEVEL.	
2 BEDROOM UNIT TOTAL: 60			
3 BEDROOM UNIT TOTAL: 8			
TOTAL UNITS: 176 UNITS			



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DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

SHEET NUMBER AND TITLE:
L111
LANDSCAPE PLAN - MATERIALS

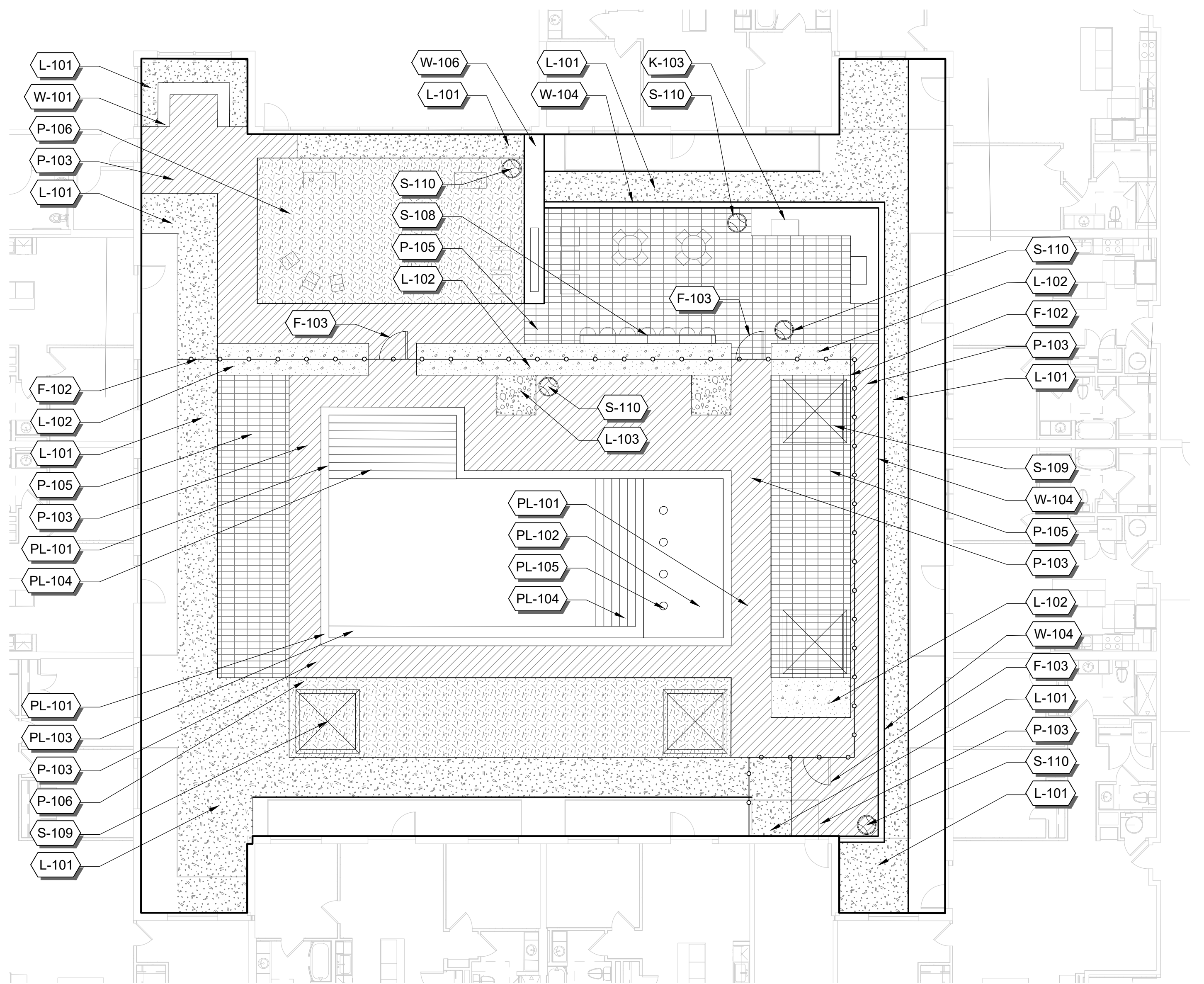
I hereby certify that the above and foregoing sit eplan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2023.

WITNESS OUR HAND, this ____ day of _____, 2023.

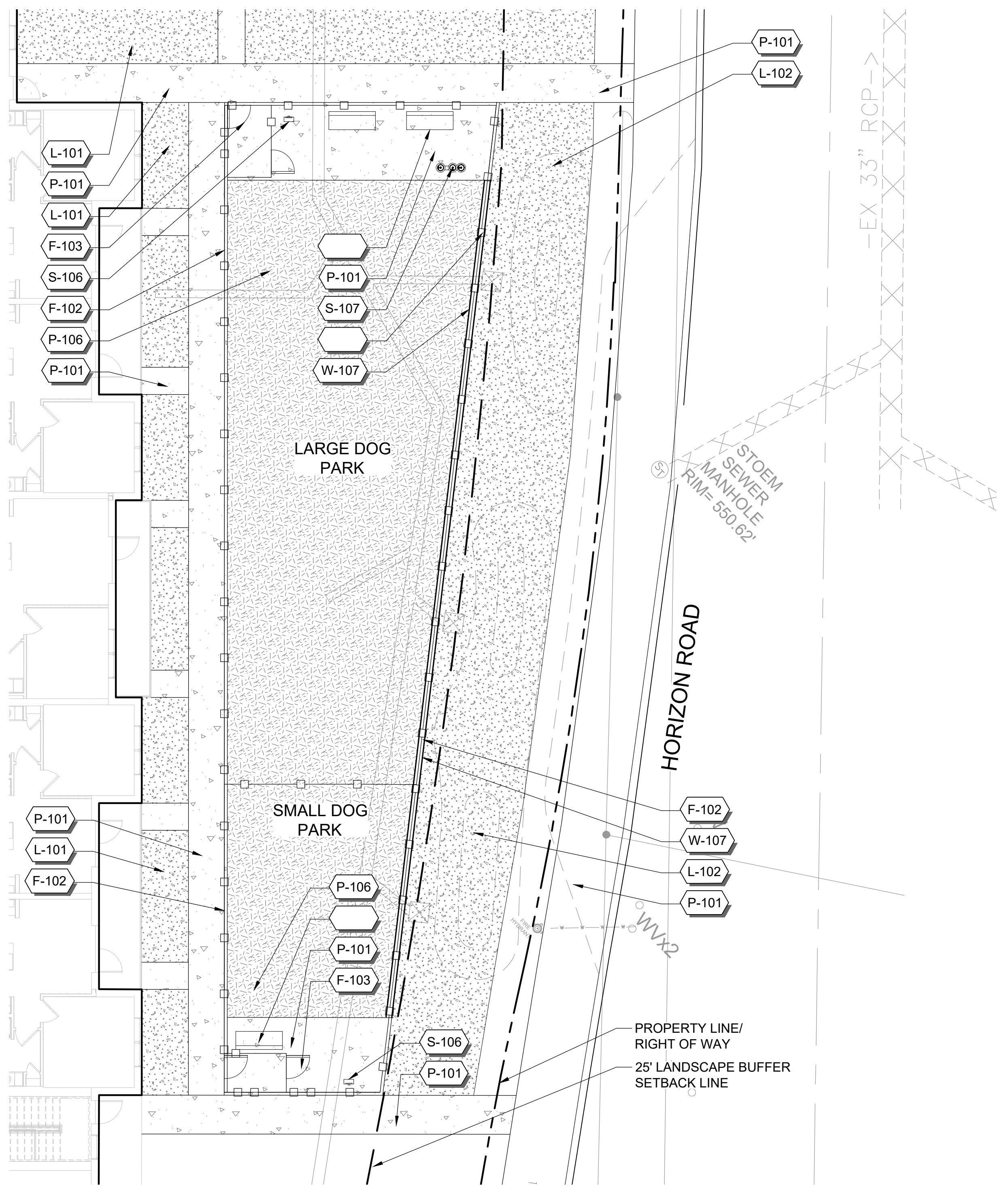
PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

CASE NUMBER:
SP2023-008



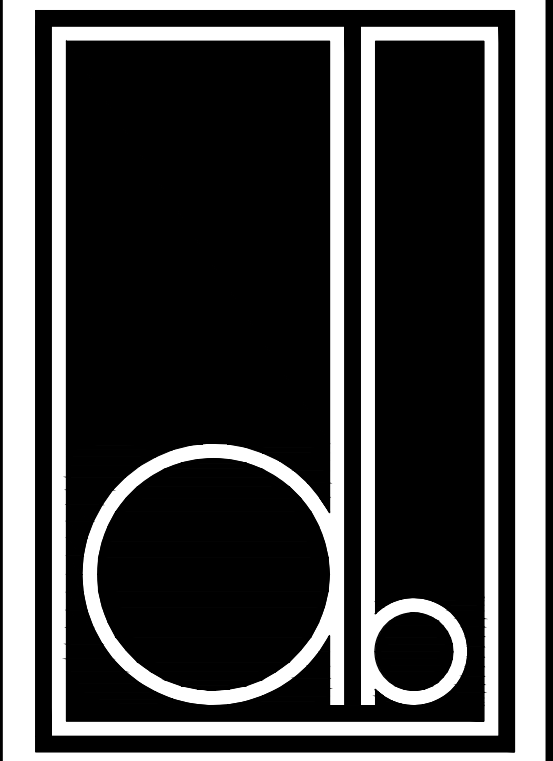
1 POOL COURTYARD - LANDSCAPE MATERIALS PLAN
SCALE: 1" = 10'



2 DOG PARK - LANDSCAPE MATERIALS PLAN
SCALE: 1" = 10'

NOTES:
1. FOR INFORMATION REGARDING MATERIAL TAGS, SEE MATERIALS SCHEDULE: L100

PROJECT DATA:		*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE/PERVIOUS FOR FD-032 HARBOR DISTRICT:	
SITE AREA:	LAND USE:	IMPERVIOUS AREA PROVIDED:	2.45 ACRES (75%)
3.3 ACRES	COMMERCIAL	LANDSCAPE AREA PROVIDED:	.85 ACRES (25%)
143,748 SF			
BUILDING INFORMATION:		SQUARE FOOTAGE:	
ONE (1) THREE/FOUR STORY BUILDING		347,314 GSF - 156,593 NRSF	
UNIT INFORMATION:		PARKING INFORMATION:	
AVG. UNIT SIZE: 890 SF.		305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT	
1 BEDROOM UNIT TOTAL: 108		7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THROUGHOUT EACH PARKING LEVEL	
2 BEDROOM UNIT TOTAL: 60			
3 BEDROOM UNIT TOTAL: 8			
TOTAL UNITS: 176 UNITS			



DESIGN BALANCE, INC.
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OWNER:
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P.O. BOX 192054
DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

SHEET NUMBER AND TITLE:
L112
LANDSCAPE PLAN - MATERIALS

I hereby certify that the above and foregoing sit eplan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 20____.

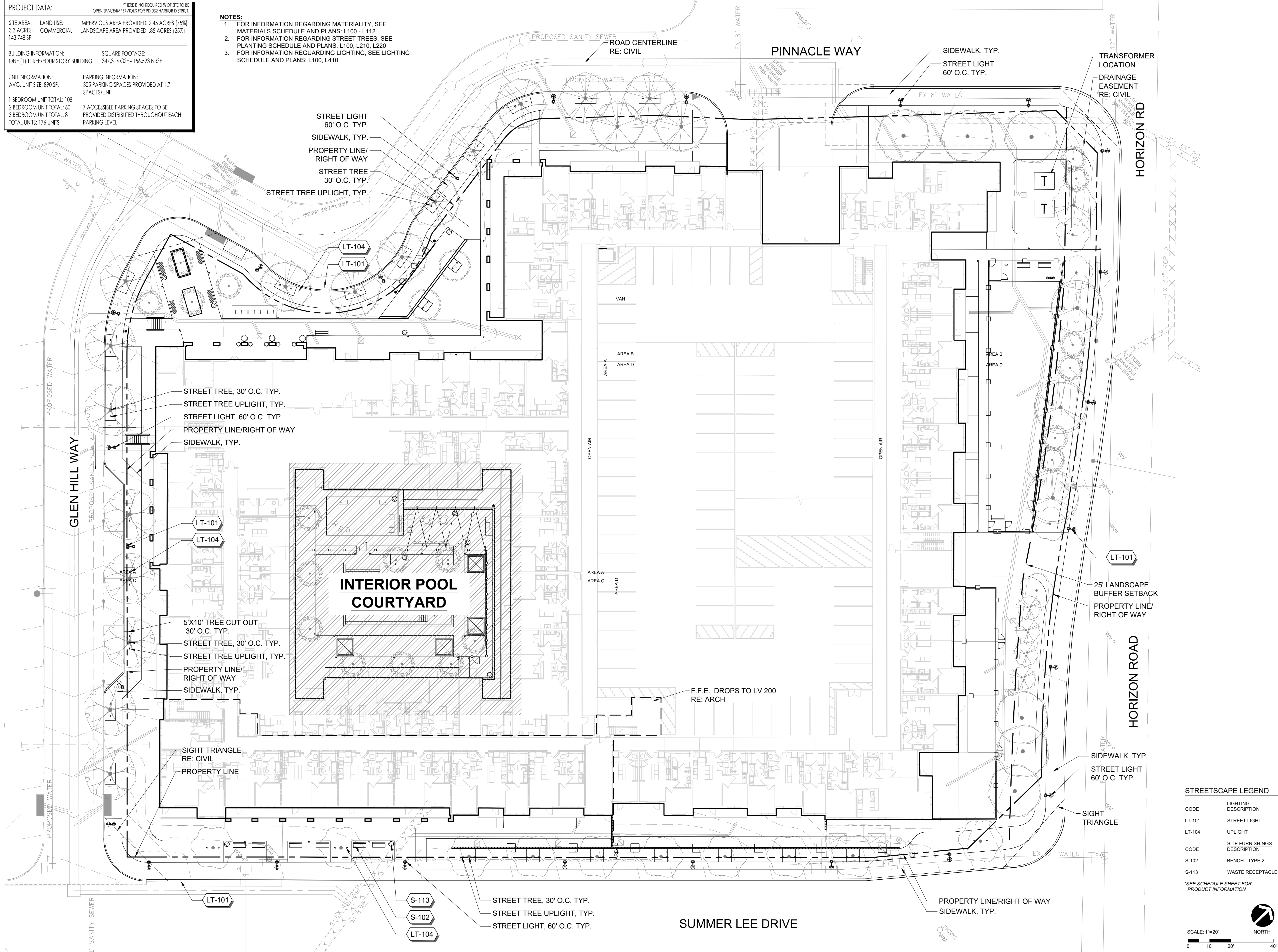
PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

CASE NUMBER:
SP2023-008

PROJECT DATA:		*THERE IS NO REQUIRED % OF SITE TO BE OPEN SPACE/PERVIOUS FOR PCD32 HARBOR DISTRICT	
SITE AREA: 3.3 ACRES 143,748 SF	LAND USE: COMMERCIAL	IMPERVIOUS AREA PROVIDED: 2.45 ACRES (75%)	LANDSCAPE AREA PROVIDED: .85 ACRES (25%)
BUILDING INFORMATION: ONE (1) THREE/FOUR STORY BUILDING		SQUARE FOOTAGE: 347,314 GSF - 156,593 NRSF	
UNIT INFORMATION: AVG. UNIT SIZE: 890 SF.		PARKING INFORMATION: 305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT	
1 BEDROOM UNIT TOTAL: 108	2 BEDROOM UNIT TOTAL: 60	7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THROUGHOUT EACH PARKING LEVEL	
3 BEDROOM UNIT TOTAL: 8	TOTAL UNITS: 176 UNITS		

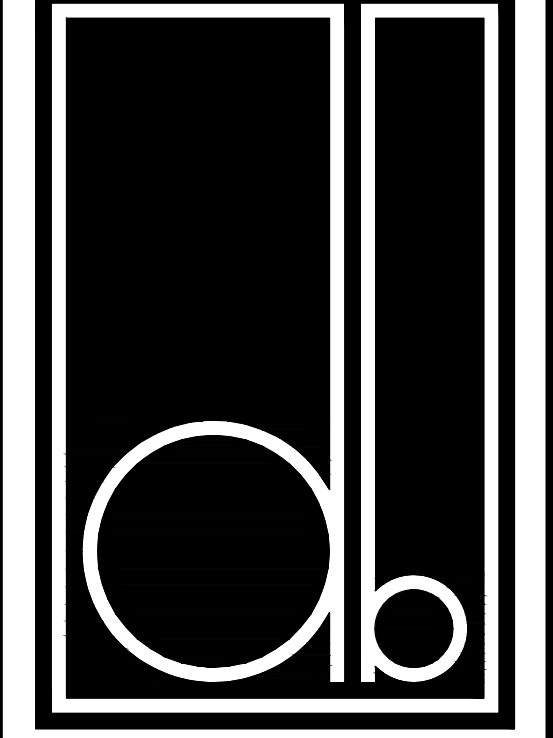
- NOTES:**
- FOR INFORMATION REGARDING MATERIALITY, SEE MATERIALS SCHEDULE AND PLANS: L100 - L112
 - FOR INFORMATION REGARDING STREET TREES, SEE PLANTING SCHEDULE AND PLANS: L100, L210, L220
 - FOR INFORMATION REGARDING LIGHTING, SEE LIGHTING SCHEDULE AND PLANS: L100, L410



STREETSCAPE LEGEND

CODE	LIGHTING DESCRIPTION
LT-101	STREET LIGHT
LT-104	UPLIGHT
CODE	SITE FURNISHINGS DESCRIPTION
S-102	BENCH - TYPE 2
S-113	WASTE RECEPTACLE

*SEE SCHEDULE SHEET FOR PRODUCT INFORMATION



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DALLAS, TX 75219
214.908.4684

HARBOR RESIDENCES:
2550 PINNACLE WAY

DATE ISSUED:
03/07/2023

SHEET NUMBER AND TITLE:
L310
STREETSCAPE PLAN

I hereby certify that the above and foregoing sit eplan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 20____.

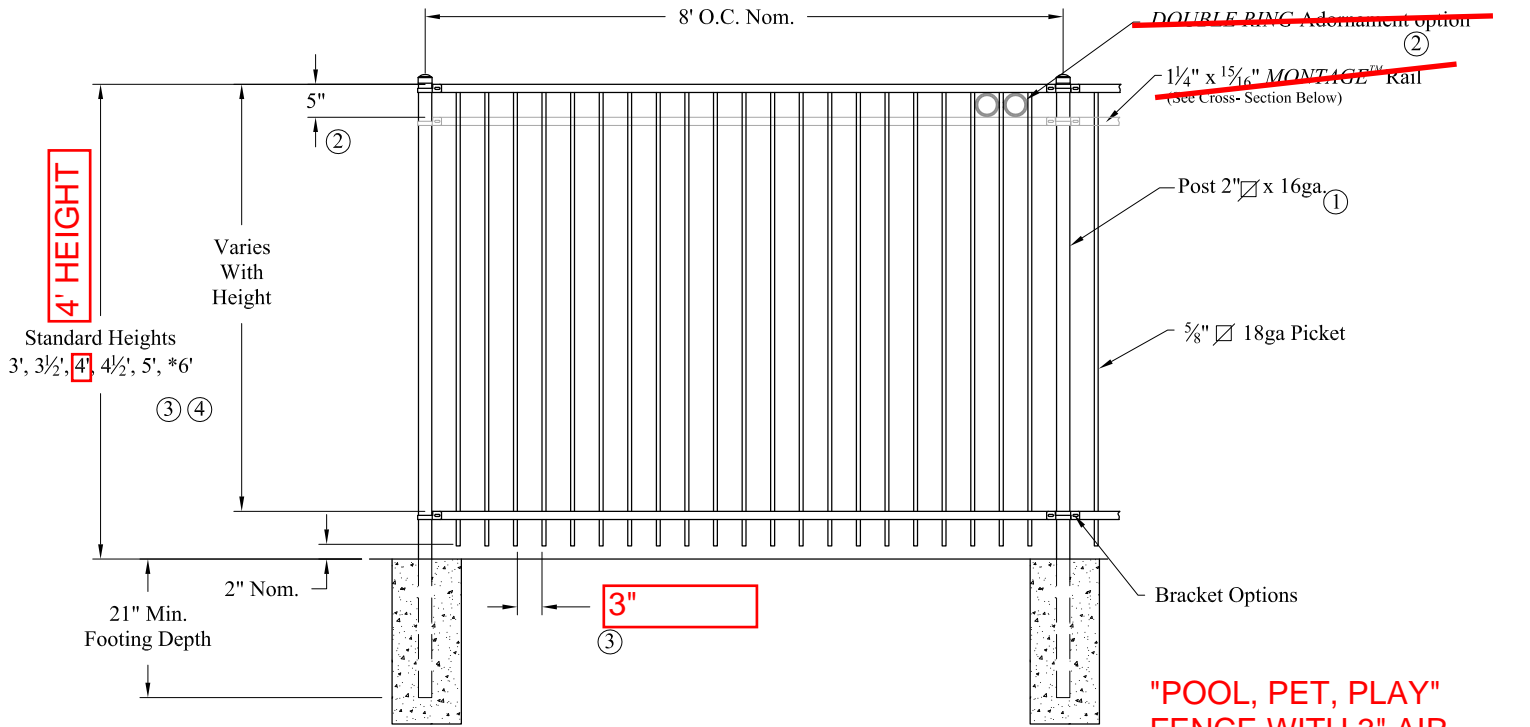
WITNESS OUR HAND, this ____ day of _____, 20____.

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

CASE NUMBER:
SP2023-008

HARBOR RESIDENTIAL POOL & DOG PARK FENCE SPEC

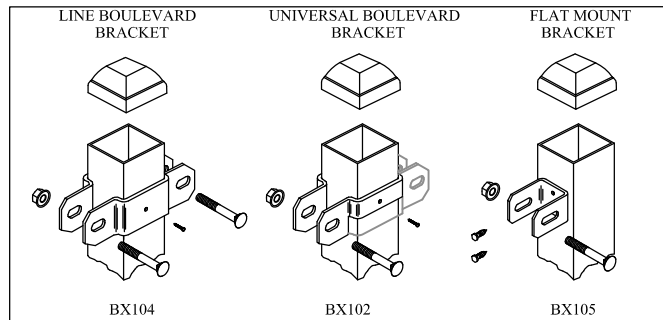
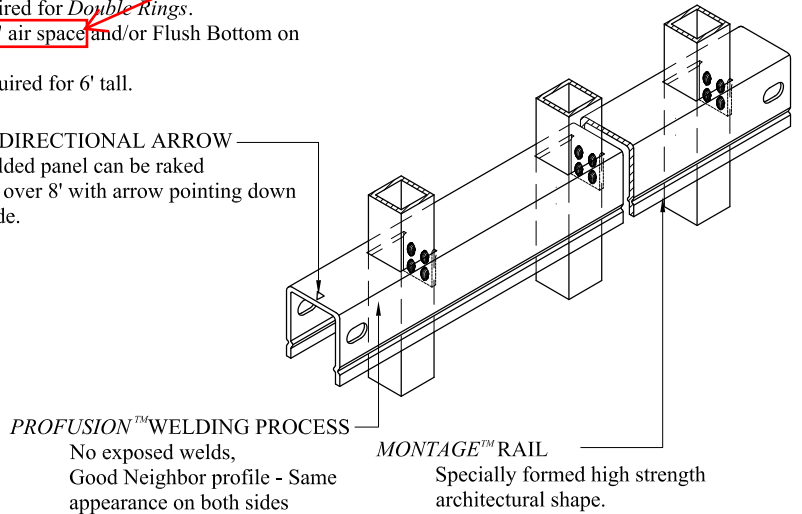
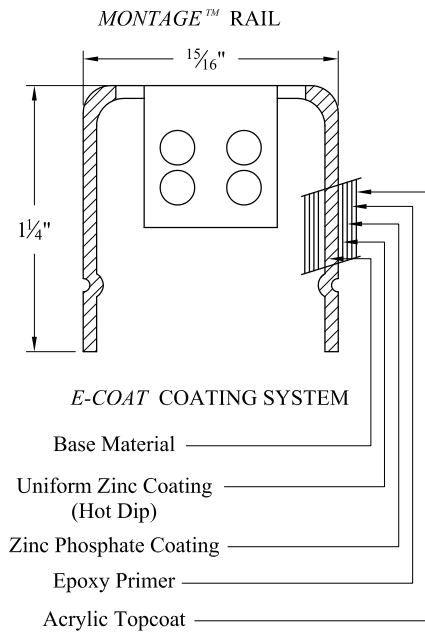


NOTES:

- 1.) Post size depends on fence height and wind loads. See MONTAGE™ specifications for post sizing chart.
- 2.) Third rail required for *Double Rings*.
- 3.) Available in 3" air space and/or Flush Bottom on most heights.
- 4.) Three rails required for 6' tall.

**"POOL, PET, PLAY"
FENCE WITH 3" AIR
SPACE SPECIFICATION**

RAKING DIRECTIONAL ARROW
Welded panel can be raked 45° over 8' with arrow pointing down grade.



Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

**RESIDENTIAL WELDED STEEL PANEL
PRE-ASSEMBLED**

Title: **MONTAGE MAJESTIC 2/3-RAIL**

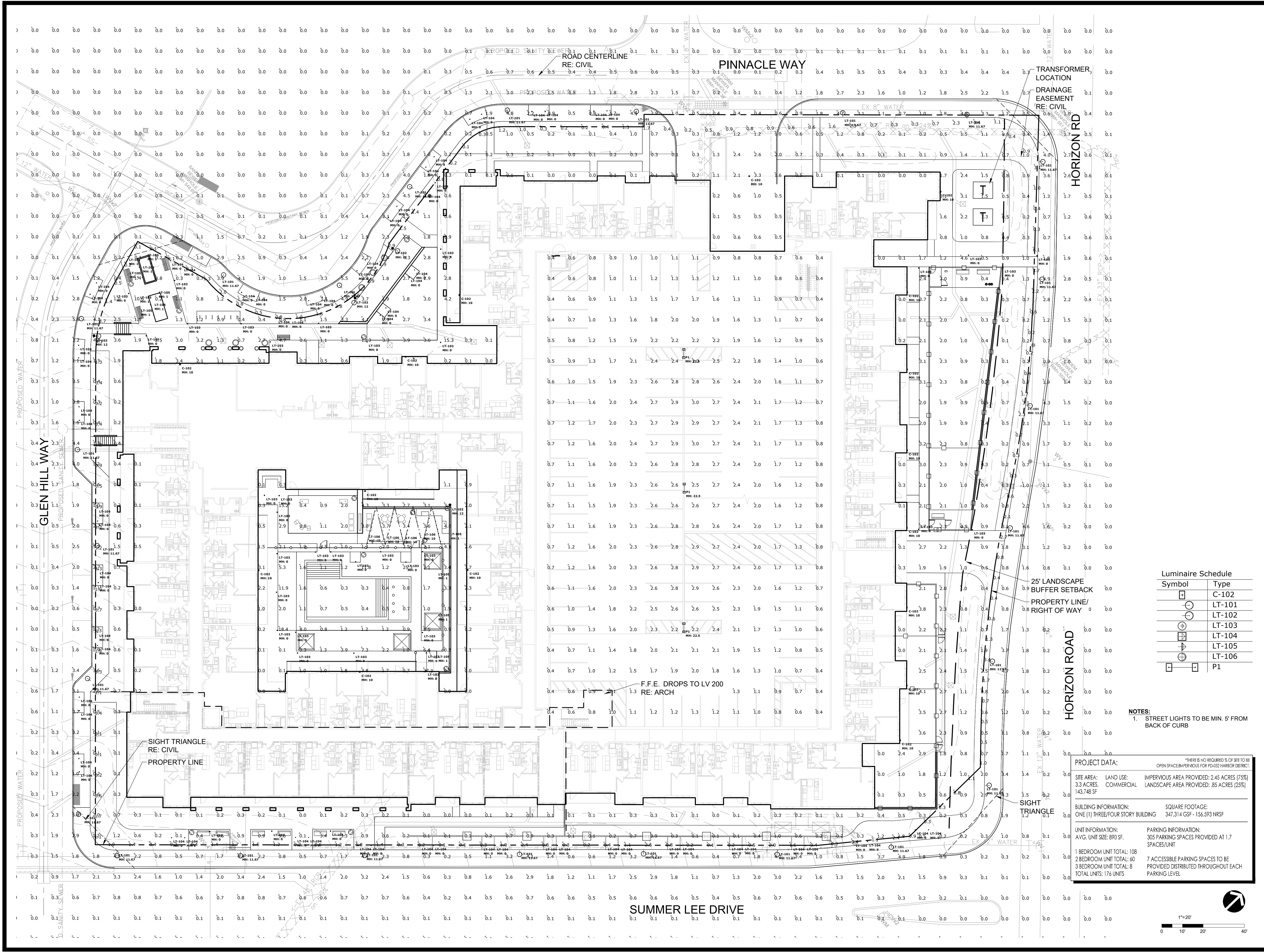
DR: CI	SH . 1 of 1	SCALE: DO NOT SCALE
CK: ME	Date 7-19-11	REV: c



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RMISO



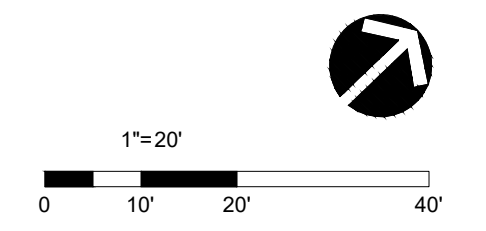
Luminaire Schedule

Symbol	Type
	C-102
	LT-101
	LT-102
	LT-103
	LT-104
	LT-105
	LT-106
	P1

NOTES:
 1. STREET LIGHTS TO BE MIN. 5' FROM BACK OF CURB

PROJECT DATA:

SITE AREA: 3.3 ACRES		LAND USE: COMMERCIAL		IMPERVIOUS AREA PROVIDED: 2.45 ACRES (75%)		LANDSCAPE AREA PROVIDED: .85 ACRES (25%)	
BUILDING INFORMATION: ONE (1) THREE-FOUR STORY BUILDING		SQUARE FOOTAGE: 347,314 GSF - 156,593 NRSF		PARKING INFORMATION: 305 PARKING SPACES PROVIDED AT 1.7 SPACES/UNIT			
UNIT INFORMATION: AVG. UNIT SIZE: 890 SF.		1 BEDROOM UNIT TOTAL: 108		2 BEDROOM UNIT TOTAL: 60		3 BEDROOM UNIT TOTAL: 8	
TOTAL UNITS: 176 UNITS		7 ACCESSIBLE PARKING SPACES TO BE PROVIDED DISTRIBUTED THROUGHOUT EACH PARKING LEVEL					



DESIGN BALANCE, INC.
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 SUITE 607H
 ROCKWALL, TX 75032
 214.668.2306

OWNER:
 RIV PROPERTIES, LLC
 P.O. BOX 192054
 DALLAS, TX 75219
 214.908.4684

HARBOR RESIDENCES:
 2550 PINNACLE WAY

DATE ISSUED:
 03/07/2023

SHEET NUMBER AND TITLE:
L410
 LIGHTING & PHOTOMETRICS PLAN

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, 2023.

WITNESS OUR HAND, this ____ day of _____, 2023.

PLANNING AND ZONING CHAIRMAN SIGNATURE:

PLANNING DIRECTOR'S SIGNATURE:

CASE NUMBER:
SP2023-008



D-Series Size 0 LED Area Luminaire



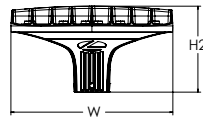
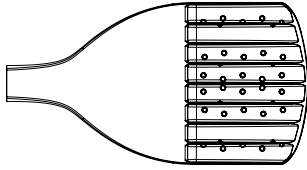
Catalog Number
Notes
Type

Hit the Tab key or mouse over the page to see all interactive elements.

d^{series}

Specifications

EPA:	0.44 ft ² (0.04 m ²)
Length:	26.18" (66.5 cm)
Width:	14.06" (35.7 cm)
Height H1:	2.26" (5.7 cm)
Height H2:	7.46" (18.9 cm)
Weight:	23 lbs (10.4 kg)



Introduction

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications, with typical energy savings of 70% and expected service life of over 100,000 hours.

Ordering Information

EXAMPLE: DSX0 LED P6 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature ²	Color Rendering Index ²	Distribution	Voltage	Mounting
DSX0 LED	Forward optics	(this section 70CRI only)		AFR Automotive front row	T5M Type V medium	Shipped included SPA Square pole mounting (#8 drilling, 3.5" min. SQ pole) RPA Round pole mounting (#8 drilling, 3" min. RND pole) SPA5 Square pole mounting (#5 drilling, 3" min. SQ pole) ⁹ RPA5 Round pole mounting (#5 drilling, 3" min. RND pole) ⁹ SPA8N Square narrow pole mounting (#8 drilling, 3" min. SQ pole) WBA Wall bracket ¹⁰
	P1 P5	30K 3000K	70CRI	T1S Type I short	T5LG Type V low glare	
	P2 P6	40K 4000K	70CRI	T2M Type II medium	T5W Type V wide	
	P3 P7	50K 5000K	70CRI	T3M Type III medium	BLC3 Type III backlight control ³	
	P4	(this section 80CRI only, extended lead times apply)		T3LG Type III low glare ³	BLC4 Type IV backlight control ³	
	Rotated optics			T4M Type IV medium	LCCO Left corner cutoff ³	
	P10 ¹ P12 ¹	27K 2700K	80CRI	T4LG Type IV low glare ³	RCCO Right corner cutoff ³	
	P11 ¹ P13 ¹	30K 3000K	80CRI	TFTM Forward throw medium		
		35K 3500K	80CRI			
		40K 4000K	80CRI			
	50K 5000K	80CRI				

Control options	Other options	Finish (required)
Shipped installed NLTAIR2 PIRHN nLight AIR gen 2 enabled with bi-level motion / ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{11,12,18,19} PIR High/low, motion/ambient sensor, 8-40' mounting height, ambient sensor enabled at 2fc. ^{13,18,19} PER NEMA twist-lock receptacle only (controls ordered separate) ¹⁴ PER5 Five-pin receptacle only (controls ordered separate) ^{14,19}	Shipped installed HS Houseside shield (black finish standard) ²⁰ L90 Left rotated optics ¹ R90 Right rotated optics ¹ CCE Coastal Construction ²¹ Shipped separately EGSR External Glare Shield (reversible, field install required, matches housing finish) BSDB Bird Spikes (field install required)	DDBXD Dark Bronze DBLXD Black DNAXD Natural Aluminum DWHXD White DDBTXD Textured dark bronze DBLTXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white
PER7 Seven-pin receptacle only (controls ordered separate) ^{14,19} FAO Field adjustable output ^{15,19} BL30 Bi-level switched dimming, 30% ^{16,19} BL50 Bi-level switched dimming, 50% ^{16,19} DMG 0-10v dimming wires pulled outside fixture (for use with an external control, ordered separately) ¹⁷		



Ordering Information

Accessories

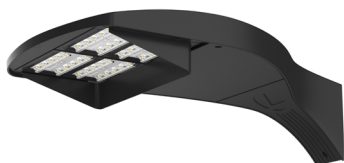
Ordered and shipped separately.

DLL127F 1.5 JU	Photocell - SSL twist-lock (120-277V) ²²
DLL347F 1.5 CUL JU	Photocell - SSL twist-lock (347V) ²²
DLL480F 1.5 CUL JU	Photocell - SSL twist-lock (480V) ²²
DSHORT SBK	Shorting cap ²²
DSX0HS P#	House-side shield (enter P1-7, P10-13 in place of #)
DSXRPA (FINISH)	Round pole adapter (#8 drilling, specify finish)
DSXRPA5 (FINISH)	Round pole adapter #5 drilling (specify finish)
DSXSPA5 (FINISH)	Square pole adapter #5 drilling (specify finish)
DSXOEGSR (FINISH)	External glare shield

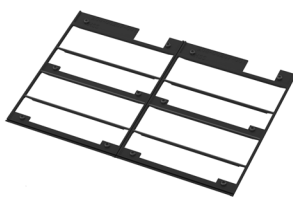
NOTES

- 1 Rotated optics available with packages P10, P11, P12 and P13. Must be combined with option L90 or R90.
- 2 30K, 40K, and 50K available in 70CRI and 80CRI. 27K and 35K only available with 80CRI. Contact Technical Support for other possible combinations.
- 3 T3LG, T4LG, BLC3, BLC4, LCCO, RCCO not available with option HS.
- 4 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz).
- 5 HVOLT driver operates on any line voltage from 347-480V (50/60 Hz).
- 6 HVOLT not available with package P1, P2 and P10 when combined with option NLTAIR2 PIRHN or option PIR.
- 7 XVOLT operates with any voltage between 277V and 480V (50/60 Hz).
- 8 XVOLT not available in packages P1, P2 or P10.
- 9 SPAS and RPA5 for use with #5 drilling only (Not for use with #8 drilling).
- 10 WBA cannot be combined with Type 5 distributions plus photocell (PER).
- 11 NLTAIR2 and PIRHN must be ordered together. For more information on nLight Air 2.
- 12 NLTAIR2 PIRHN not available with other controls including PIR, PER, PER5, PER7, FAO, BL30, BL50 and DMG. NLTAIR2 PIRHN not available with P1, P2 and P10 using HVOLT. NLTAIR2 PIRHN not available with P1, P2 and P10 using XVOLT.
- 13 PIR not available with NLTAIR2, PER, PER5, PER7, FAO BL30, BL50 and DMG. PIR not available with P1, P2 and P10 using HVOLT. PIR not available with P1, P2 and P10 using XVOLT.
- 14 PER/PER5/PER7 not available with NLTAIR2, PIR, BL30, BL50. Photocell ordered and shipped as a separate line item from Acuity Brands Controls. See accessories. Shorting Cap included.
- 15 FAO not available with other dimming control options NLTAIR2 PIRHN, PIR, PER5, PER7, BL30, BL50, or DMG.
- 16 BL30 and BL50 are not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, FAO and DMG.
- 17 DMG not available with NLTAIR2 PIRHN, PIR, PER, PER5, PER7, BL30, BL50 and FAO.
- 18 Reference Motion Sensor Default Settings table on page 4 to see functionality.
- 19 Reference Controls Options table on page 4.
- 20 Option HS not available with T3LG, T4LG, BLC3, BLC4, LCCO and RCCO distribution. Also available as a separate accessory; see Accessories information.
- 21 CCE option not available with option BS and EGS. Contact Technical Support for availability.
- 22 Requires luminaire to be specified with PER, PER5 or PER7 option. See Controls Table on page 4.

Shield Accessories



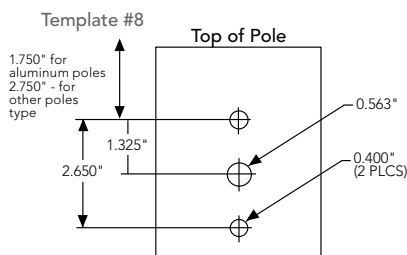
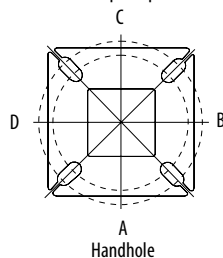
External Glare Shield (EGS)



House Side Shield (HS)

Drilling

HANDHOLE ORIENTATION (from top of pole)



Tenon Mounting Slipfitter

Tenon O.D.	Mounting	Single Unit	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
2-3/8"	RPA	AS3-5 190	AS3-5 280	AS3-5 290	AS3-5 390	AS3-5 320	AS3-5 490
2-7/8"	RPA	AST25-190	AST25-280	AST25-290	AST25-390	AST25-320	AST25-490
4"	RPA	AST35-190	AST35-280	AST35-290	AST35-390	AST35-320	AST35-490

Mounting Option	Drilling Template	Single	2 @ 180	2 @ 90	3 @ 90	3 @ 120	4 @ 90
Head Location		Side B	Side B & D	Side B & C	Side B, C & D	Round Pole Only	Side A, B, C & D
Drill Nomenclature	#8	DM19AS	DM28AS	DM29AS	DM39AS	DM32AS	DM49AS
Minimum Acceptable Outside Pole Dimension							
SPA	#8	3.5"	3.5"	3.5"	3.5"		3.5"
RPA	#8	3"	3"	3"	3"	3"	3"
SPAS	#5	3"	3"	3"	3"		3"
RPA5	#5	3"	3"	3"	3"	3"	3"
SPA8N	#8	3"	3"	3"	3"		3"

DSX0 Area Luminaire - EPA

*Includes luminaire and integral mounting arm. Other tenons, arms, brackets or other accessories are not included in this EPA data.

Fixture Quantity & Mounting Configuration	Single DM19	2 @ 180 DM28	2 @ 90 DM29	3 @ 90 DM39	3 @ 120 DM32	4 @ 90 DM49
Mounting Type						
DSX0 with SPA	0.44	0.88	0.96	1.18	---	1.16
DSX0 with SPAS, SPA8N	0.51	1.02	1.06	1.26	---	1.29
DSX0 with RPA, RPA5	0.51	1.02	1.06	1.26	1.24	1.29
DSX0 with MA	0.64	1.28	1.24	1.67	1.70	1.93

Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit Lithonia Lighting's [homepage](#).

Isofootcandle plots for the DSX0 LED P7 40K 70CRI. Distances are in units of mounting height (20').



Performance Data

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient	Lumen Multiplier	
0°C	32°F	1.04
5°C	41°F	1.04
10°C	50°F	1.03
15°C	59°F	1.02
20°C	68°F	1.01
25°C	77°C	1.00
30°C	86°F	0.99
35°C	95°F	0.98
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a **25°C ambient**, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	Lumen Maintenance Factor
0	1.00
25,000	0.94
50,000	0.89
100,000	0.80

FAO Dimming Settings

FAO Position	% Wattage	% Lumen Output
8	100%	100%
7	93%	95%
6	80%	85%
5	66%	73%
4	54%	61%
3	41%	49%
2	29%	36%
1	15%	20%

*Note: Calculated values are based on original performance package data. When calculating new values for given FAO position, use published values for each package based on input watts and lumens by optic type.

Electrical Load

	Performance Package	LED Count	Drive Current (mA)	Wattage	Current (A)					
					120V	208V	240V	277V	347V	480V
Forward Optics (Non-Rotated)	P1	20	530	34	0.28	0.16	0.14	0.12	0.10	0.07
	P2	20	700	45	0.38	0.22	0.19	0.16	0.13	0.09
	P3	20	1050	69	0.57	0.33	0.29	0.25	0.20	0.14
	P4	20	1400	94	0.78	0.45	0.39	0.34	0.27	0.19
	P5	40	700	89	0.75	0.43	0.38	0.33	0.26	0.19
	P6	40	1050	136	1.14	0.66	0.57	0.49	0.39	0.29
	P7	40	1300	170	1.42	0.82	0.71	0.62	0.49	0.36
Rotated Optics (Requires L90 or R90)	P10	30	530	51	0.42	0.24	0.21	0.18	0.15	0.11
	P11	30	700	67	0.57	0.33	0.28	0.25	0.20	0.14
	P12	30	1050	103	0.86	0.50	0.43	0.37	0.30	0.22
	P13	30	1300	129	1.07	0.62	0.54	0.46	0.37	0.27

LED Color Temperature / Color Rendering Multipliers

	70 CRI		80CRI		90CRI	
	Lumen Multiplier	Availability	Lumen Multiplier	Availability	Lumen Multiplier	Availability
5000K	102%	Standard	92%	Extended lead-time	71%	(see note)
4000K	100%	Standard	92%	Extended lead-time	67%	(see note)
3500K	100%	(see note)	90%	Extended lead-time	63%	(see note)
3000K	96%	Standard	87%	Extended lead-time	61%	(see note)
2700K	94%	(see note)	85%	Extended lead-time	57%	(see note)

Note: Some LED types are available as per special request. Contact Technical Support for more information.

Motion Sensor Default Settings

Option	Unoccupied Dimmed Level	High Level (when occupied)	Photocell Operation	Dwell Time	Ramp-up Time	Dimming Fade Rate
PIR	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min
NLTAIR2 PIRHN	30%	100%	Enabled @ 2FC	7.5 min	3 sec	5 min

Controls Options

Nomenclature	Description	Functionality	Primary control device	Notes
FAO	Field adjustable output device installed inside the luminaire; wired to the driver dimming leads.	Allows the luminaire to be manually dimmed, effectively trimming the light output.	FAO device	Cannot be used with other controls options that need the 0-10V leads
DS (not available on DSX0)	Drivers wired independently for 50/50 luminaire operation	The luminaire is wired to two separate circuits, allowing for 50/50 operation.	Independently wired drivers	Requires two separately switched circuits. Consider nLight AIR as a more cost effective alternative.
PERS or PER7	Twist-lock photocell receptacle	Compatible with standard twist-lock photocells for dusk to dawn operation, or advanced control nodes that provide 0-10V dimming signals.	Twist-lock photocells such as DLL Elite or advanced control nodes such as ROAM.	Pins 4 & 5 to dimming leads on driver, Pins 6 & 7 are capped inside luminaire. Cannot be used with other controls options that need the 0-10V leads.
PIR	Motion sensor with integral photocell. Sensor suitable for 8' to 40' mounting height.	Luminaires dim when no occupancy is detected.	Acuity Controls rSBG	Cannot be used with other controls options that need the 0-10V leads.
NLTAIR2 PIRHN	nLight AIR enabled luminaire for motion sensing, photocell and wireless communication.	Motion and ambient light sensing with group response. Scheduled dimming with motion sensor over-ride when wirelessly connected to the nLight Eclipse.	nLight Air rSBG	nLight AIR sensors can be programmed and commissioned from the ground using the CIAIRity Pro app. Cannot be used with other controls options that need the 0-10V leads.
BL30 or BL50	Integrated bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output	BLC device provides input to 0-10V dimming leads on all drivers providing either 100% or dimmed (30% or 50%) control by a secondary circuit	BLC UVOLT1	BLC device is powered off the 0-10V dimming leads, thus can be used with any input voltage from 120 to 480V



Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																			
LED Count	Drive Current (mA)	Performance Package	System Watts	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
20	530	P1	33W	T1S	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157
				T2M	4,545	1	0	2	137	4,736	1	0	2	143	4,829	1	0	2	145
				T3M	4,597	1	0	2	138	4,791	1	0	2	144	4,885	1	0	2	147
				T3LG	4,107	1	0	1	124	4,280	1	0	1	129	4,363	1	0	1	131
				T4M	4,666	1	0	2	141	4,863	1	0	2	146	4,957	1	0	2	149
				T4LG	4,244	1	0	1	128	4,423	1	0	1	133	4,509	1	0	1	136
				TFTM	4,698	1	0	2	141	4,896	1	0	2	147	4,992	1	0	2	150
				T5M	4,801	3	0	1	145	5,003	3	0	1	151	5,101	3	0	1	154
				T5W	4,878	3	0	1	147	5,084	3	0	2	153	5,183	3	0	2	156
				T5LG	4,814	2	0	1	145	5,018	2	0	1	151	5,115	2	0	1	154
				BLC3	3,344	0	0	1	101	3,485	0	0	1	105	3,553	0	0	1	107
				BLC4	3,454	0	0	2	104	3,599	0	0	2	108	3,670	0	0	2	111
				RCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108
				LCCO	3,374	0	0	1	102	3,517	0	0	1	106	3,585	0	0	1	108
				AFR	4,906	1	0	1	148	5,113	1	0	1	154	5,213	1	0	1	157
				20	700	P2	45W	T1S	6,328	1	0	1	140	6,595	1	0	1	146	6,724
T2M	5,862	1	0					2	130	6,109	1	0	2	135	6,228	1	0	2	138
T3M	5,930	1	0					3	131	6,180	1	0	3	137	6,301	1	0	3	140
T3LG	5,297	1	0					1	117	5,521	1	0	1	122	5,628	1	0	1	125
T4M	6,018	1	0					3	133	6,272	1	0	3	139	6,395	1	0	3	142
T4LG	5,474	1	0					1	121	5,705	1	0	1	126	5,816	1	0	1	129
TFTM	6,060	1	0					3	134	6,316	1	0	3	140	6,439	1	0	3	143
T5M	6,192	3	0					1	137	6,453	3	0	2	143	6,579	3	0	2	146
T5W	6,293	3	0					2	139	6,558	3	0	2	145	6,686	3	0	2	148
T5LG	6,210	2	0					1	138	6,472	3	0	1	143	6,598	3	0	1	146
BLC3	4,313	0	0					2	96	4,495	0	0	2	100	4,583	0	0	2	102
BLC4	4,455	0	0					2	99	4,643	0	0	2	103	4,733	0	0	2	105
RCCO	4,352	0	0					2	96	4,536	0	0	2	100	4,624	0	0	2	102
LCCO	4,352	0	0					2	96	4,536	0	0	2	100	4,624	0	0	2	102
AFR	6,328	1	0					1	140	6,595	1	0	1	146	6,724	1	0	1	149
20	1050	P3	69W					T1S	9,006	1	0	2	131	9,386	1	0	2	136	9,569
				T2M	8,343	2	0	3	121	8,694	2	0	3	126	8,864	2	0	3	129
				T3M	8,439	2	0	3	122	8,795	2	0	3	128	8,967	2	0	3	130
				T3LG	7,539	1	0	2	109	7,857	1	0	2	114	8,010	1	0	2	116
				T4M	8,565	2	0	3	124	8,926	2	0	3	129	9,100	2	0	3	132
				T4LG	7,790	1	0	2	113	8,119	1	0	2	118	8,277	1	0	2	120
				TFTM	8,624	1	0	3	125	8,988	1	0	3	130	9,163	2	0	3	133
				T5M	8,812	3	0	2	128	9,184	4	0	2	133	9,363	4	0	2	136
				T5W	8,955	4	0	2	130	9,333	4	0	2	135	9,515	4	0	2	138
				T5LG	8,838	3	0	1	128	9,211	3	0	1	134	9,390	3	0	1	136
				BLC3	6,139	0	0	2	89	6,398	0	0	2	93	6,522	0	0	2	95
				BLC4	6,340	0	0	3	92	6,607	0	0	3	96	6,736	0	0	3	98
				RCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95
				LCCO	6,194	1	0	2	90	6,455	1	0	2	94	6,581	1	0	2	95
				AFR	9,006	1	0	2	131	9,386	1	0	2	136	9,569	1	0	2	139
				20	1400	P4	93W	T1S	11,396	1	0	2	122	11,877	1	0	2	128	12,109
T2M	10,557	2	0					3	113	11,003	2	0	3	118	11,217	2	0	3	121
T3M	10,680	2	0					3	115	11,130	2	0	3	120	11,347	2	0	3	122
T3LG	9,540	1	0					2	103	9,942	1	0	2	107	10,136	1	0	2	109
T4M	10,839	2	0					3	117	11,296	2	0	3	121	11,516	2	0	4	124
T4LG	9,858	1	0					2	106	10,274	1	0	2	110	10,474	1	0	2	113
TFTM	10,914	2	0					3	117	11,374	2	0	3	122	11,596	2	0	3	125
T5M	11,152	4	0					2	120	11,622	4	0	2	125	11,849	4	0	2	127
T5W	11,332	4	0					3	122	11,811	4	0	3	127	12,041	4	0	3	129
T5LG	11,184	3	0					1	120	11,656	3	0	2	125	11,883	3	0	2	128
BLC3	7,768	0	0					2	83	8,096	0	0	2	87	8,254	0	0	2	89
BLC4	8,023	0	0					3	86	8,362	0	0	3	90	8,524	0	0	3	92
RCCO	7,838	1	0					2	84	8,169	1	0	2	88	8,328	1	0	2	90
LCCO	7,838	1	0					2	84	8,169	1	0	2	88	8,328	1	0	2	90
AFR	11,396	1	0					2	122	11,877	1	0	2	128	12,109	2	0	2	130

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Forward Optics																							
LED Count	Drive Current (mA)	Performance Package	System Watts	Distribution Type	30K					40K					50K								
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)								
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW				
40	700	P5	90W	T1S	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146				
				T2M	11,468	2	0	3	127	11,952	2	0	3	133	12,185	2	0	3	135				
				T3M	11,601	2	0	3	129	12,091	2	0	3	134	12,326	2	0	4	137				
				T3LG	10,363	2	0	2	115	10,800	2	0	2	120	11,011	2	0	2	122				
				T4M	11,774	2	0	4	131	12,271	2	0	4	136	12,510	2	0	4	139				
				T4LG	10,709	1	0	2	119	11,160	2	0	2	124	11,378	2	0	2	126				
				TFTM	11,856	2	0	3	132	12,356	2	0	4	137	12,596	2	0	4	140				
				T5M	12,114	4	0	2	134	12,625	4	0	2	140	12,871	4	0	2	143				
				T5W	12,310	4	0	3	137	12,830	4	0	3	142	13,080	4	0	3	145				
				T5LG	12,149	3	0	2	135	12,662	3	0	2	141	12,908	3	0	2	143				
				BLC3	8,438	0	0	2	94	8,794	0	0	2	98	8,966	0	0	2	99				
				BLC4	8,715	0	0	3	97	9,083	0	0	3	101	9,260	0	0	3	103				
				RCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100				
				LCCO	8,515	1	0	2	94	8,874	1	0	2	98	9,047	1	0	2	100				
				AFR	12,380	2	0	2	137	12,902	2	0	2	143	13,154	2	0	2	146				
				40	1050	P6	137W	T1S	17,545	2	0	3	128	18,285	2	0	3	133	18,642	2	0	3	136
								T2M	16,253	3	0	4	119	16,939	3	0	4	124	17,269	3	0	4	126
T3M	16,442	2	0					4	120	17,135	3	0	4	125	17,469	3	0	4	128				
T3LG	14,687	2	0					2	107	15,306	2	0	2	112	15,605	2	0	2	114				
T4M	16,687	2	0					4	122	17,391	3	0	5	127	17,730	3	0	5	129				
T4LG	15,177	2	0					2	111	15,817	2	0	2	115	16,125	2	0	2	118				
TFTM	16,802	2	0					4	123	17,511	2	0	4	128	17,852	2	0	5	130				
T5M	17,168	4	0					2	125	17,893	5	0	3	131	18,241	5	0	3	133				
T5W	17,447	5	0					3	127	18,183	5	0	3	133	18,537	5	0	3	135				
T5LG	17,218	4	0					2	126	17,944	4	0	2	131	18,294	4	0	2	134				
BLC3	11,959	0	0					3	87	12,464	0	0	3	91	12,707	0	0	3	93				
BLC4	12,352	0	0					4	90	12,873	0	0	4	94	13,124	0	0	4	96				
RCCO	12,067	1	0					3	88	12,576	1	0	3	92	12,821	1	0	3	94				
LCCO	12,067	1	0					3	88	12,576	1	0	3	92	12,821	1	0	3	94				
AFR	17,545	2	0					3	128	18,285	2	0	3	133	18,642	2	0	3	136				
40	1300	P7	171W					T1S	20,806	2	0	3	122	21,683	2	0	3	127	22,106	2	0	3	129
								T2M	19,273	3	0	4	113	20,086	3	0	4	118	20,478	3	0	4	120
				T3M	19,497	3	0	5	114	20,319	3	0	5	119	20,715	3	0	5	121				
				T3LG	17,416	2	0	2	102	18,151	2	0	2	106	18,504	2	0	2	108				
				T4M	19,787	3	0	5	116	20,622	3	0	5	121	21,024	3	0	5	123				
				T4LG	17,997	2	0	2	105	18,756	2	0	2	110	19,121	2	0	2	112				
				TFTM	19,924	3	0	5	117	20,765	3	0	5	122	21,170	3	0	5	124				
				T5M	20,359	5	0	3	119	21,217	5	0	3	124	21,631	5	0	3	127				
				T5W	20,689	5	0	3	121	21,561	5	0	3	126	21,982	5	0	3	129				
				T5LG	20,418	4	0	2	120	21,279	4	0	2	125	21,694	4	0	2	127				
				BLC3	14,182	0	0	3	83	14,780	0	0	3	87	15,068	0	0	3	88				
				BLC4	14,647	0	0	4	86	15,265	0	0	4	89	15,562	0	0	4	91				
				RCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89				
				LCCO	14,309	1	0	3	84	14,913	1	0	3	87	15,204	1	0	3	89				
				AFR	20,806	2	0	3	122	21,683	2	0	3	127	22,106	2	0	3	129				

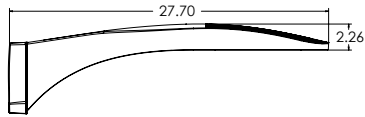
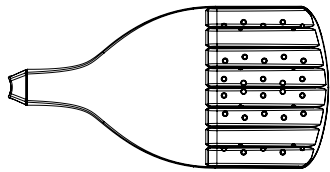
Performance Data

Lumen Output

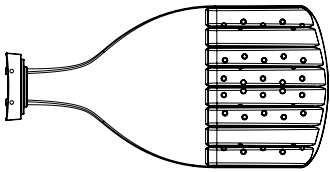
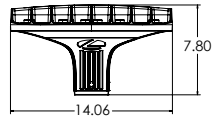
Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of configurations shown within the tolerances described within LM-79. Contact factory for performance data on any configurations not shown here.

Rotated Optics																			
LED Count	Drive Current (mA)	Performance Package	System Watts	Distribution Type	30K					40K					50K				
					(3000K, 70 CRI)					(4000K, 70 CRI)					(5000K, 70 CRI)				
					Lumens	B	U	G	LPW	Lumens	B	U	G	LPW	Lumens	B	U	G	LPW
30	530	P10	51W	T1S	7,399	3	0	3	145	7,711	3	0	3	151	7,862	3	0	3	154
				T2M	6,854	3	0	3	135	7,144	3	0	3	140	7,283	3	0	3	143
				T3M	6,933	3	0	3	136	7,225	3	0	3	142	7,366	3	0	3	145
				T3LG	6,194	2	0	2	122	6,455	2	0	2	127	6,581	2	0	2	129
				T4M	7,036	3	0	3	138	7,333	3	0	3	144	7,476	3	0	3	147
				T4LG	6,399	2	0	2	126	6,669	2	0	2	131	6,799	2	0	2	134
				TFTM	7,086	3	0	3	139	7,385	3	0	3	145	7,529	3	0	3	148
				T5M	7,239	3	0	2	142	7,545	3	0	2	148	7,692	3	0	2	151
				T5W	7,357	3	0	2	145	7,667	3	0	2	151	7,816	4	0	2	154
				T5LG	7,260	3	0	1	143	7,567	3	0	1	149	7,714	3	0	1	152
				BLC3	5,043	3	0	3	99	5,256	3	0	3	103	5,358	3	0	3	105
				BLC4	5,208	3	0	3	102	5,428	3	0	3	107	5,534	3	0	3	109
				RCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106
				LCCO	5,089	0	0	2	100	5,303	0	0	2	104	5,407	0	0	2	106
				AFR	7,399	3	0	3	145	7,711	3	0	3	151	7,862	3	0	3	154
				30	700	P11	68W	T1S	9,358	3	0	3	138	9,753	3	0	3	143	9,943
T2M	8,669	3	0					3	127	9,034	3	0	3	133	9,211	3	0	3	135
T3M	8,768	3	0					3	129	9,138	3	0	3	134	9,316	3	0	3	137
T3LG	7,833	3	0					3	115	8,164	3	0	3	120	8,323	3	0	3	122
T4M	8,899	3	0					3	131	9,274	3	0	3	136	9,455	3	0	3	139
T4LG	8,093	3	0					3	119	8,435	3	0	3	124	8,599	3	0	3	126
TFTM	8,962	3	0					3	132	9,340	3	0	3	137	9,522	3	0	3	140
T5M	9,156	4	0					2	135	9,542	4	0	2	140	9,728	4	0	2	143
T5W	9,304	4	0					2	137	9,696	4	0	2	143	9,885	4	0	2	145
T5LG	9,182	3	0					1	135	9,569	3	0	1	141	9,756	3	0	1	143
BLC3	6,378	3	0					3	94	6,647	3	0	3	98	6,777	3	0	3	100
BLC4	6,587	3	0					3	97	6,865	3	0	3	101	6,999	3	0	3	103
RCCO	6,436	0	0					2	95	6,707	0	0	2	99	6,838	0	0	2	101
LCCO	6,436	0	0					2	95	6,707	0	0	2	99	6,838	0	0	2	101
AFR	9,358	3	0					3	138	9,753	3	0	3	143	9,943	3	0	3	146
30	1050	P12	103W					T1S	13,247	3	0	3	128	13,806	3	0	3	134	14,075
				T2M	12,271	4	0	4	119	12,789	4	0	4	124	13,038	4	0	4	126
				T3M	12,412	4	0	4	120	12,935	4	0	4	125	13,187	4	0	4	128
				T3LG	11,089	3	0	3	107	11,556	3	0	3	112	11,782	3	0	3	114
				T4M	12,597	4	0	4	122	13,128	4	0	4	127	13,384	4	0	4	129
				T4LG	11,457	3	0	3	111	11,940	3	0	3	116	12,173	3	0	3	118
				TFTM	12,686	4	0	4	123	13,221	4	0	4	128	13,479	4	0	4	130
				T5M	12,960	4	0	2	125	13,507	4	0	2	131	13,770	4	0	2	133
				T5W	13,170	4	0	3	127	13,726	4	0	3	133	13,994	4	0	3	135
				T5LG	12,998	3	0	2	126	13,546	3	0	2	131	13,810	3	0	2	134
				BLC3	9,029	3	0	3	87	9,409	3	0	3	91	9,593	3	0	3	93
				BLC4	9,324	4	0	4	90	9,718	4	0	4	94	9,907	4	0	4	96
				RCCO	9,110	1	0	2	88	9,495	1	0	2	92	9,680	1	0	2	94
				LCCO	9,110	1	0	2	88	9,494	1	0	2	92	9,680	1	0	2	94
				AFR	13,247	3	0	3	128	13,806	3	0	3	134	14,075	3	0	3	136
				30	1300	P13	129W	T1S	15,704	3	0	3	122	16,366	3	0	3	127	16,685
T2M	14,547	4	0					4	113	15,161	4	0	4	118	15,457	4	0	4	120
T3M	14,714	4	0					4	114	15,335	4	0	4	119	15,634	4	0	4	121
T3LG	13,145	3	0					3	102	13,700	3	0	3	106	13,967	3	0	3	108
T4M	14,933	4	0					4	116	15,563	4	0	4	121	15,867	4	0	4	123
T4LG	13,582	3	0					3	105	14,155	3	0	3	110	14,431	3	0	3	112
TFTM	15,039	4	0					4	117	15,673	4	0	4	122	15,979	4	0	4	124
T5M	15,364	4	0					2	119	16,013	4	0	2	124	16,325	4	0	2	127
T5W	15,613	5	0					3	121	16,272	5	0	3	126	16,589	5	0	3	129
T5LG	15,409	3	0					2	120	16,059	3	0	2	125	16,372	4	0	2	127
BLC3	10,703	4	0					4	83	11,155	4	0	4	87	11,372	4	0	4	88
BLC4	11,054	4	0					4	86	11,520	4	0	4	89	11,745	4	0	4	91
RCCO	10,800	1	0					2	84	11,256	1	0	2	87	11,475	1	0	3	89
LCCO	10,800	1	0					2	84	11,255	1	0	2	87	11,475	1	0	3	89
AFR	15,704	3	0					3	122	16,366	3	0	3	127	16,685	4	0	4	130

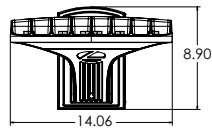
Dimensions



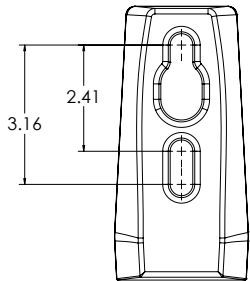
DSX0 with RPA, RPA5, SPA5, SPA8N



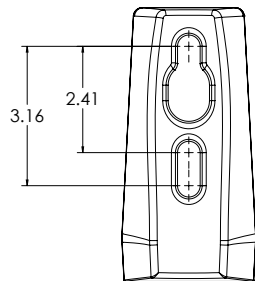
DSX0 with WBA



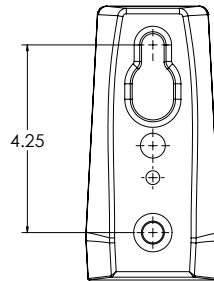
SPA8N



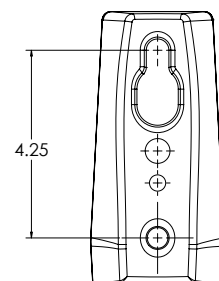
RPA



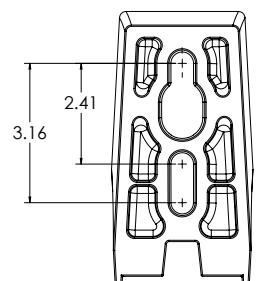
SPA5



RPA5

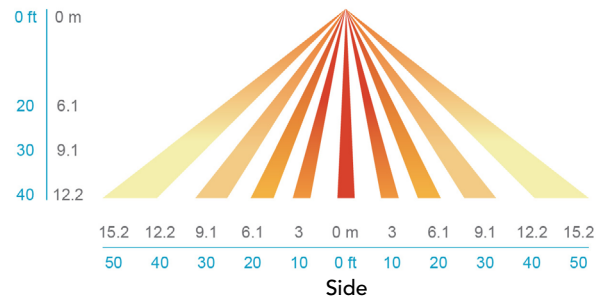
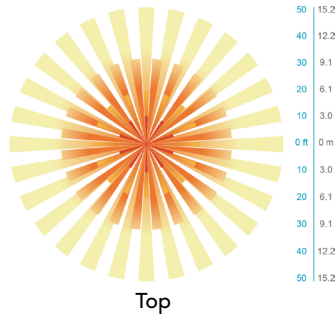
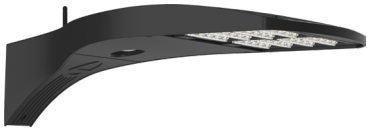


BASE FIXTURE



nLight Sensor Coverage Pattern

NLTAIR2 PIRHN



FEATURES & SPECIFICATIONS

INTENDED USE

The sleek design of the D-Series Size 0 reflects the embedded high performance LED technology. It is ideal for many commercial and municipal applications, such as parking lots, plazas, campuses, and pedestrian areas.

CONSTRUCTION

Single-piece die-cast aluminum housing has integral heat sink fins to optimize thermal management through conductive and convective cooling. Modular design allows for ease of maintenance and future light engine upgrades. The LED driver is mounted in direct contact with the casting to promote low operating temperature and long life. Housing driver compartment is completely sealed against moisture and environmental contaminants (IP66). Vibration rated per ANSI C136.31 for 1.5G. Low EPA (0.44 ft²) for optimized pole wind loading.

FINISH

Exterior parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a minimum 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Available in both textured and non-textured finishes.

COASTAL CONSTRUCTION (CCE)

Optional corrosion resistant construction is engineered with added corrosion protection in materials and/or pre-treatment of base material under super durable paint. Provides additional corrosion protection for applications near coastal areas. Finish is salt spray tested to over 5,000 hours per ASTM B117 with scribe rating of 10. Additional lead-times may apply.

OPTICS

Precision-molded proprietary silicone lenses are engineered for superior area lighting distribution, uniformity, and pole spacing. Light engines are available in 3000 K, 4000 K or 5000 K (70 CRI) configurations. 80CRI configurations are also available. The D-Series Size 0 has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine(s) configurations consist of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L80/100,000 hours at 25°C). Class 1 electronic drivers are designed to have a power factor >90%, THD <20%, and an expected life of 100,000 hours with <1% failure rate. Easily serviceable 10kV surge protection device meets a minimum Category C Low operation (per ANSI/IEEE C62.41.2).

STANDARD CONTROLS

The DSX0 LED area luminaire has a number of control options. DSX Size 0, comes standard with 0-10V dimming driver. Dusk to dawn controls can be utilized via optional NEMA twist-lock photocell receptacles. PIR integrated motion sensor with on-board photocell feature field-adjustable programming and are suitable for mounting heights up to 40 feet. Control option BL features a bi-level device that allows a second control circuit to switch all light engines to either 30% or 50% light output.

nLIGHT AIR CONTROLS

The DSX0 LED area luminaire is also available with nLight® AIR for the ultimate in wireless control. This powerful controls platform provides out-of-the-box basic motion sensing and photocontrol functionality and is suitable for mounting heights up to 40 feet. Once commissioned using a smartphone and the easy-to-use CLAIRITY app, nLight AIR equipped luminaires can be grouped, resulting in motion sensor and photocell group response without the need for additional equipment. Scheduled dimming with motion sensor over-ride can be achieved when used with the nLight Eclipse. Additional information about nLight Air can be found [here](#).

INSTALLATION

Integral mounting arm allows for fast mounting using Lithonia standard #8 drilling and accommodates pole drilling's from 2.41 to 3.12" on center. The standard "SPA" option for square poles and the "RPA" option for round poles use the #8 drilling. For #5 pole drillings, use SPA5 or RPA5. Additional mountings are available including a wall bracket (WBA) and mast arm (MA) option that allows luminaire attachment to a 2 3/8" horizontal mast arm.

LISTINGS

UL listed to meet U.S. and Canadian standards. UL Listed for wet locations. Light engines are IP66 rated; luminaire is IP66 rated. Rated for -40°C minimum ambient.

DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified.

International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Scarborough

landscapeforms®

Product Data Sheet



Scarborough is welcoming and comfortable in two versions. The horizontal strap seat is clean and simple. The woven seat suggests the familiar strapping fabric of patio furniture. The patented design is assembled as a warp and weft construction of pre-formed parts. The backless Scarborough bench can be used from either side and is ideal for narrow spaces. Litter receptacles with strap or square bar vertical panels are nicely scaled to the bench and the human form. Scarborough transcends categories. It is remarkably durable not only in the way it wears but in the way it remains current over time.

Bench

- Woven and horizontal strap seat styles may be specified for backed or backless benches.
- Backed benches are offered in 24", 48", 72", or 96" lengths.
- Backless benches are offered in 48", 72", or 96" lengths.
- Center arm may be specified on backed benches in 72" or 96" lengths.
- Bench in 96" length available with two intermediate arms.
- The bench comes standard with a freestanding/surface mount.

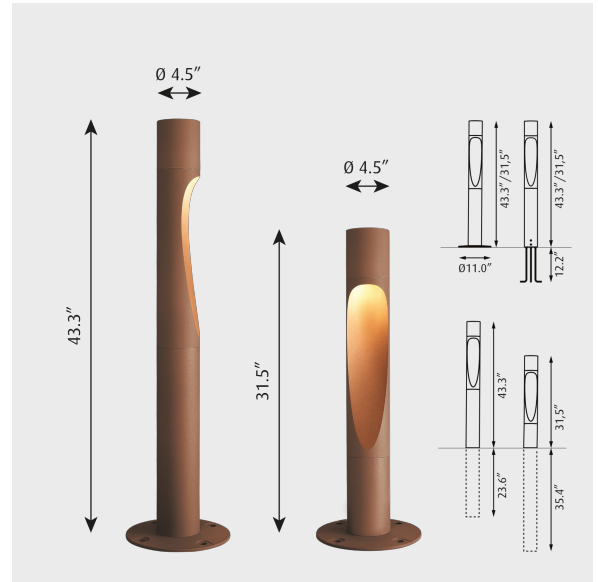
	Style	Depth	Width	Height	Product Weight
	96" with two intermediate arms	28"	97"	34"	Strap: 234 lb Weave: 211 lb
	72" with center arm	28"	73"	34"	Strap: 186 lb Weave: 169 lb
	48"	28"	49"	34"	Strap: 132 lb Weave: 126 lb
	24"	28"	22"	34"	Strap: 89 lb Weave: 86 lb
	Backless 96"	26"	97"	28"	Strap: 150 lb Weave: 136 lb
	Backless 72"	26"	73"	28"	Strap: 125 lb Weave: 114 lb
	Backless 48"	26"	49"	28"	Strap: 97 lb Weave: 93 lb

FLINDT BOLLARD

Project name:

Project type:

Notes:

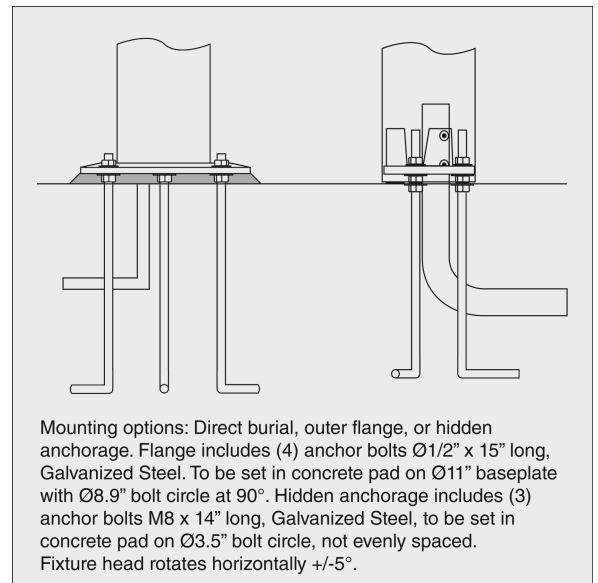


Design

Christian Flindt

Product description

Beautifully crafted slender post with a carved surface that is gently illuminated. Top section conceals downward facing LEDs that are positioned for wide distribution. Two horizontal connection lines underline the three parts of the bollard. A facet increases the visibility of the connection lines. Available in two heights, 43.3 IN and 31.5 IN. Available in three different mounting methods: with an 11 inch base plate and visible anchor bolts, with internally hidden anchor bolts, or direct burial in soil or gravel. Part of a family.



Variant options

Dimension	Color	Mounting	Light source	Lumen	Voltage frequency
31.5 IN	● Corten color	Post w/anchorage unit	LED 3000K	707	120-277V/60HZ
43.3 IN	● Natural paint aluminum	Post w/base plate	LED 4000K	757	
		Post w/direct burial		762	
				784	

Specification notes

a. Direct burial mounting only available with 43.3" size.

Light description

The luminaire provides a non-glaring wide characteristic asymmetrical and functional illumination. The design of the cut-out creates a reflector part which is gradually illuminated to emphasize the depth in the luminaire. The cut-out reflector and precise location of the LED's provides an wing-shaped light pattern on the ground. A white highly reflective material around the LED's ensure a wide distribution of light and high efficacy. The cut-out reflector part can be adjusted $\pm 10^\circ$ after installation to fine tune alignment of several luminaires and light distribution. Standard CCT in 3000K or 4000K, controlled by electronic dimmable driver.

Mounting

Top section housing holds driver and LED's connected with quick-disconnect plug for easy servicing. Terminal block is located in the reflector section. Thru wiring approved. Supplied with IP68 (water-tight) glands to seal mid-section for pass thru wiring. Mounted to a concrete base with (4) anchor bolts on a bolt circle of 8.9 inches.

Information

Electrical:
 System Wattage: 15W
 LED Wattage: 14W
 Delivered lumens: 536-591 lm
 Efficacy: 35.7-39.4 lm/W
 Certifications:
 cULus, Wet Location
 Protection class IP65
 IK class 10
 BUG Rating: B0-U2-G1
 Controllability: 0-10V Dimming
 Min.-Max. Ambient Temp: -40°C to $+70^\circ\text{C}$
 Color Rendering: Ra \geq 80

Other functions

Alternative mounting options include an 11" base plate, a hidden anchor base or for direct burial. LED in 2700K or 3500K. Amber LED available for sea turtle nesting areas. Custom finishes. Custom pole heights. Alternative dimming controls, including wireless systems.

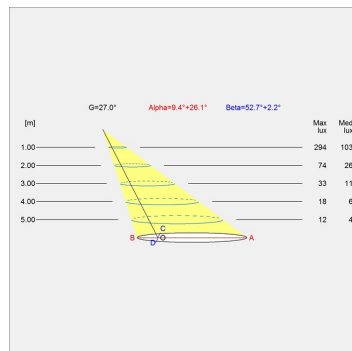
Voltage

120-277V/60HZ

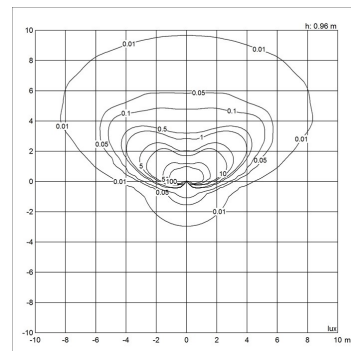
Light distribution diagrams

For the full data set on all variants, see louispoulsen.com.

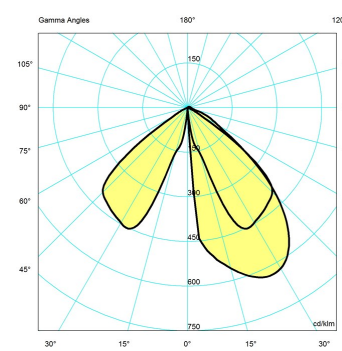
Cartesian



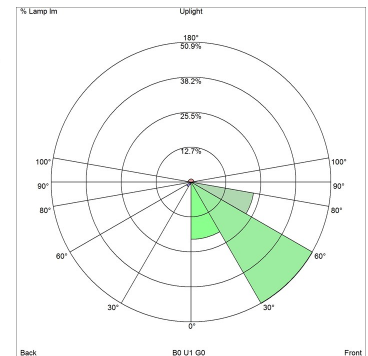
Isolux



Polar






















Bug



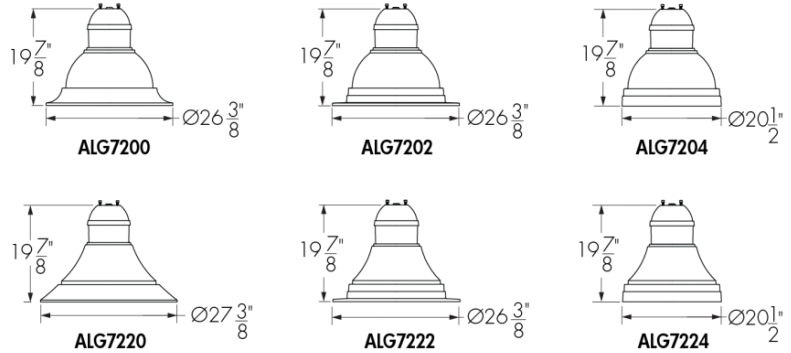
80 U1.00 Front Back

Variant options

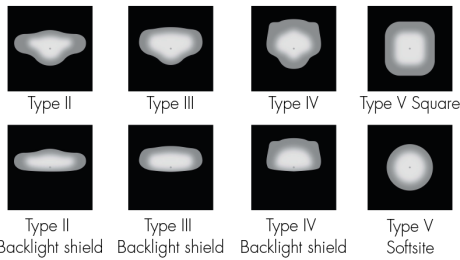
Dimension	Color	Mounting	Light source	Lumen	Voltage frequency	Variant number
31.5 IN	 Corten color	Post w/base plate	LED 3000K	707	120-277V/60HZ	10000162742
31.5 IN	 Corten color	Post w/anchorage unit	LED 3000K	707	120-277V/60HZ	10000162743
31.5 IN	 Natural paint aluminum	Post w/base plate	LED 3000K	762	120-277V/60HZ	10000162746
31.5 IN	 Natural paint aluminum	Post w/anchorage unit	LED 3000K	762	120-277V/60HZ	10000162747
31.5 IN	 Corten color	Post w/base plate	LED 4000K	757	120-277V/60HZ	10000162760
31.5 IN	 Corten color	Post w/anchorage unit	LED 4000K	757	120-277V/60HZ	10000162761
31.5 IN	 Natural paint aluminum	Post w/base plate	LED 4000K	784	120-277V/60HZ	10000162762
31.5 IN	 Natural paint aluminum	Post w/anchorage unit	LED 4000K	784	120-277V/60HZ	10000162763
43.3 IN	 Corten color	Post w/base plate	LED 3000K	707	120-277V/60HZ	10000162764
43.3 IN	 Corten color	Post w/direct burial	LED 3000K	707	120-277V/60HZ	10000162765
43.3 IN	 Corten color	Post w/anchorage unit	LED 3000K	707	120-277V/60HZ	10000162766
43.3 IN	 Natural paint aluminum	Post w/base plate	LED 3000K	762	120-277V/60HZ	10000162767
43.3 IN	 Natural paint aluminum	Post w/direct burial	LED 3000K	762	120-277V/60HZ	10000162768
43.3 IN	 Natural paint aluminum	Post w/anchorage unit	LED 3000K	762	120-277V/60HZ	10000162769
43.3 IN	 Corten color	Post w/direct burial	LED 4000K	757	120-277V/60HZ	10000162771
43.3 IN	 Corten color	Post w/anchorage unit	LED 4000K	757	120-277V/60HZ	10000162772
43.3 IN	 Corten color	Post w/base plate	LED 4000K	757	120-277V/60HZ	10000162770
43.3 IN	 Natural paint aluminum	Post w/base plate	LED 4000K	784	120-277V/60HZ	10000162773
43.3 IN	 Natural paint aluminum	Post w/direct burial	LED 4000K	784	120-277V/60HZ	10000162774

Project Name _____ Qty _____

Type _____ Catalog / Part Number _____



Distributions



Description

The Allegra Medium is a durable, stylish luminaire for urban lighting applications, including pedestrian plazas, residential streets and collector roads. Offering a choice of outputs, color temperatures, and distributions, the Allegra Medium is elegance personified.

Features

Color and Color Temperature	2200K, 2700K, 3000K, 3500K, 4000K, 5700K
Distributions	Type II, Type III or Type IV (with or without backlight shield), Type 5 square and Type V Softsite
Options	Corrosion-resistant coating for hostile environments, Surge protector
Mounting Options	Pendant Medium (4-Bolt Tenon Adaptor), Side Internal (2 3/8 in Tenon)
Warranty	5-year limited warranty

Colors and Color Temperatures



Performance

Output (nominal lumens)	Minimum 3000lm / Maximum 17000lm
Color Rendering	3 SDCM for CRI 70+ and 2 SDCM for CRI 80+
Lumen Maintenance	TM-21 L70 527,000 hrs (projected, Ta 77 °F), 36,000 hrs (reported, Ta 77 °F)
Dark Sky	Dark sky compliant (2200K, 2700K and 3000K color temperatures, BUG rating of U0)

Control

ON/OFF 0-10V

Rating

IP66 (optical chamber)

Certifications



Physical

Housing Material	Die cast low copper 360 aluminum alloy
Lens Material	Optical tempered clear glass (Clearsite lens), Optical tempered opal glass (Softsite lens)
Weight	Up to 35 lbs

EPA	Up to 1.13 sq ft
Surface Finish	Super durable resistant exterior polyester powder coating meets AAMA 2604-98 requirements (5-years Florida exposure), a corrosion resistant finish (CRC) pre-finish is available to meet ASTM B-117 & ASTM D-1654 (salt spray resistance) and ASTM D-2247 requirements (humidity resistance).

Electrical and control

Voltage	120 volts, 208 volts, 240 volts, 277 volts, 347 volts, 480 volts
Control	On/Off control, 0-10V dimming

Environmental

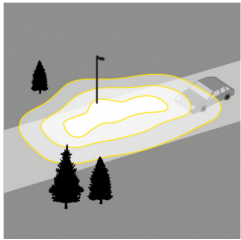
Storage Temperature	-40 °F to 122 °F (device must reach start-up temperature value before operating)
Start-up Temperature	-40 °F to 104 °F (-13 °F to 104 °F for 120V combined with M80, L170, L30 Softsite, L50 Softsite or L70 Softsite output)
Operating Temperature	-40 °F to 104 °F (-13 °F to 104 °F for 120V combined with M80, L170, L30 Softsite, L50 Softsite or L70 Softsite output)
Ingress Protection Rating	IP66 (optical chamber)
Environment	Dry/damp/wet location

Decorative arms (order separately, consult related specification sheets for details)

Compatible decorative arms	Pendant-Mount Decorative Arm: P4-Pendant Medium (4-Bolt Tenon Adaptor) Luminaire Mounting Option with DT6, CS2, CS4, CS6, CS12, CS13 and MC5 Arm Style., Side-Mount Decorative Arm: S12-Side Internal (2 3/8 in Tenon) Luminaire Mounting Option with PU2, PU4, PU5, PU8, CS12 and CS13 Arm Style.
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Photometric information

Type II, 4000K, CRI 70+



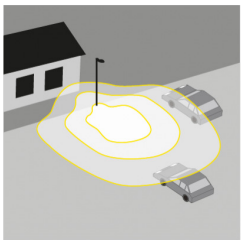
	Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
				B	U	G	
S40		3,376	109	1	0	1	31
S60		5,204	95	1	0	1	55
M80		6,892	108	2	0	1	64
M110		9,423	102	2	0	2	92
M150		12,518	95	2	0	2	132
L170		14,023*	96	3*	0*	2*	146

Type III, 4000K, CRI 70+



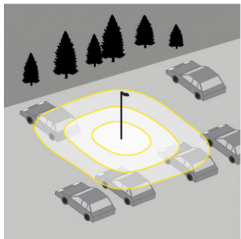
	Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
				B	U	G	
S40		3,801	123	1	0	1	31
S60		5,861	107	1	0	1	55
M80		7,761	121	2	0	2	64
M110		10,612	115	2	0	2	92
M150		14,097	107	3	0	2	132
L170		15,792*	108	3*	0*	2*	146

Type IV, 4000K, CRI 70+



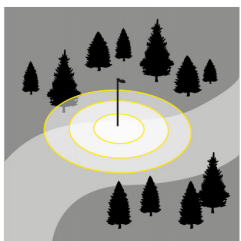
	Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
				B	U	G	
S40		3,529	114	1	0	1	31
S60		5,441	99	1	0	1	55
M80		7,205	113	2	0	2	64
M110		9,852	107	2	0	2	92
M150		13,087	99	3	0	3	132
L170		14,662*	100	3*	0*	3*	146

Type V square, 4000K, CRI 70+



	Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
				B	U	G	
S40		3,844	124	2	0	1	31
S60		5,927	108	3	0	1	55
M80		7,849	123	3	0	1	64
M110		10,733	117	3	0	2	92
M150		14,257	108	4	0	2	132
L170		15,980*	110	4*	0*	2*	146

Type V Softsite, 4000K, CRI 70+



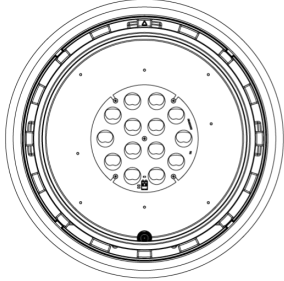
	Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
				B	U	G	
L30		2,647	58	1	0	1	46
L50		5,134	53	2	0	1	97
L70		6,979	48	2	0	1	146

*Photometric performance is measured in compliance with IESNA LM-79-08. Due to rapid and continuous advance in LED technology, photometric information is subject to change without notice.

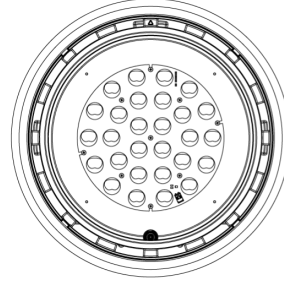
Optical System

LED board size

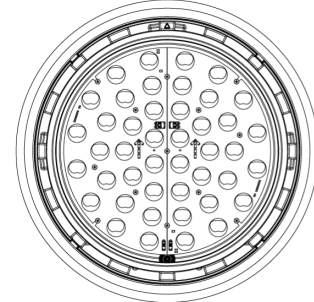
Small (4000lm to 6000lm)



Medium (8000lm to 15000lm)



Large (17000lm)



Type V Softsite is available with large LED board only (3000lm to 7000lm).

Backlight shield*



*Small, Medium and Large LED boards size have the same full coverage backlight shield pieces.

*Backlight shield available with Type II, Type III and Type IV only.

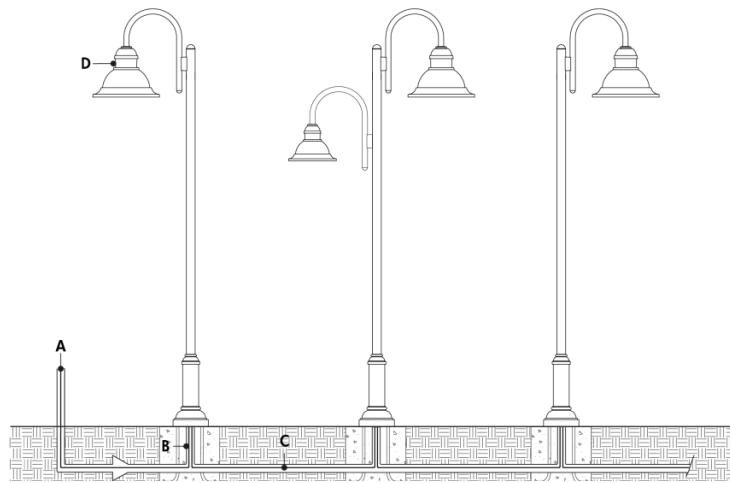
*Backlight shield is factory installed.

Typical wiring diagrams

Wiring color code

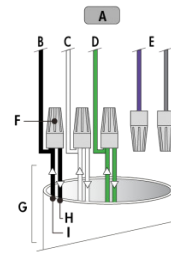
Color	Black	White	Green	Purple	Gray
Use	Line	Line/Neutral	Ground	0 -10V+	0 -10V -

On/Off Control (NO)



- A - Power input (120-480V, wiring by others)
- B - Conduit (by others)
- C - Power wiring (by others)
- D - Allegra medium

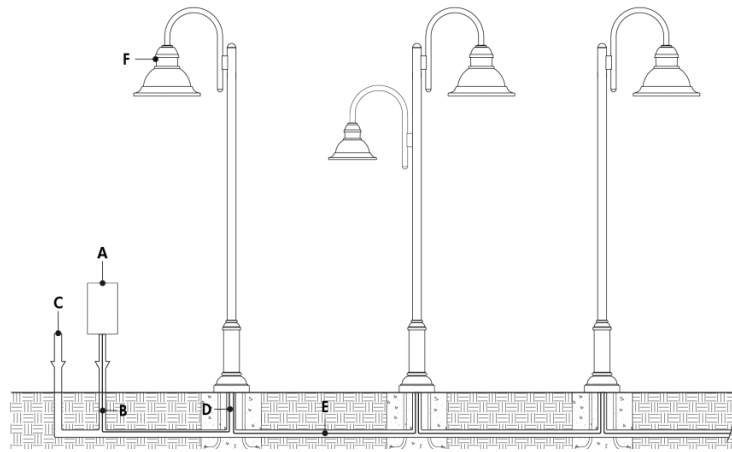
On/Off Control (NO) - wiring detail



- A - To fixture
- B - Line
- C - Line/Neutral
- D - Ground
- E - Not required
- F - Wire-nuts (by others)
- G - Conduit (by others)
- H - To next fixture
- I - Power input or from previous fixture

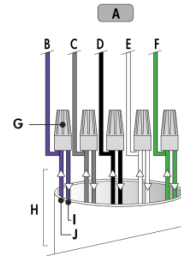
- Consult factory for specific applications and maximum fixture count/cable length recommendations.

0-10V dimming (DIM)



- A - Dimmer (by others)
- B - Data wiring (by others)
- C - Power input (120-480V, wiring by others)
- D - Conduit (by others)
- E - Power and data wiring (by others)
- F - Allegra medium

0-10V dimming (DIM) - wiring detail

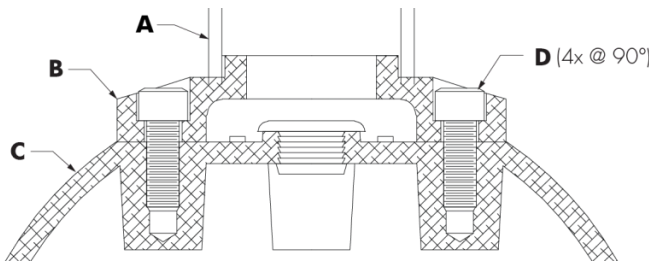


- A - To fixture
- B - 0-10V +
- C - 0-10V -
- D - Line
- E - Line/Neutral
- F - Ground
- G - Wire-nuts (by others)
- H - Conduit (by others)
- I - To next fixture
- J - Power input and from third party dimmer or from previous fixture

- Consult factory for specific applications and maximum fixture count/cable length recommendations.
- 0-10V mA ratings: passive dimmer (Current Sink): 3mA per fixture, active dimmer (Current Source): 0.5mA per fixture.
- 1% minimum dimming value.

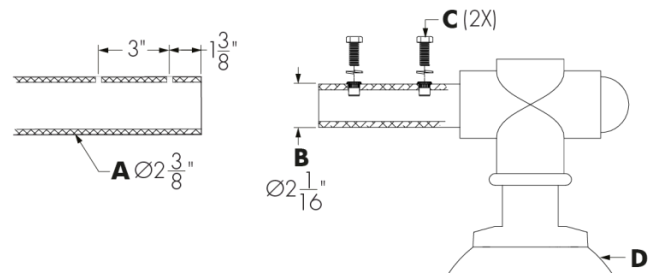
Mounting options

P4 - Pendant Medium (4-Bolt Tenon Adaptor)



- A - Decorative Arm
- B - 4-Bolt Tenon Adaptor
- C - Luminaire
- D - (4x) $\text{\O}3/8$ in x 1 in Bolt (included with luminaire). $\text{\O}3/4$ in Bolt Circle

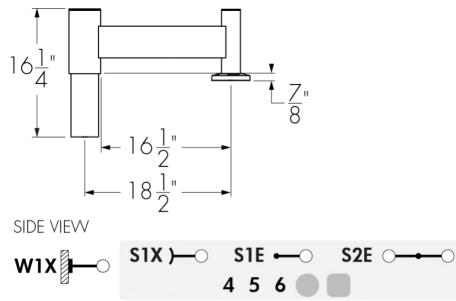
SI2 - Side Internal (2 3/8 in Tenon)



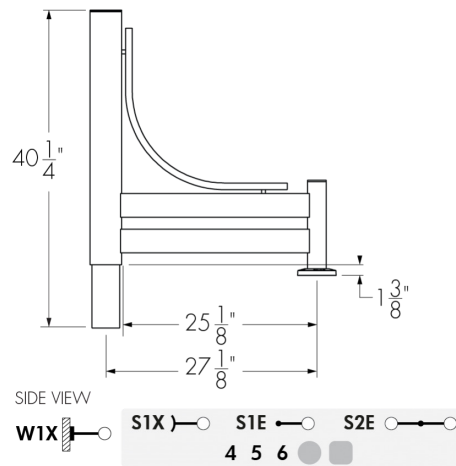
- A - Decorative Arm
- B - SI2 Tenon Adaptor
- C - 3/8-16 Bolt and Lock Washers
- D - Luminaire

P4 - Pendant Medium (4-Bolt Tenon Adaptor) Arm Style Dimensions

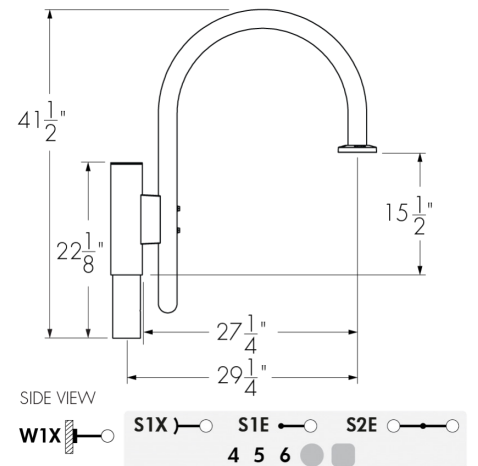
DT6 Arm Style



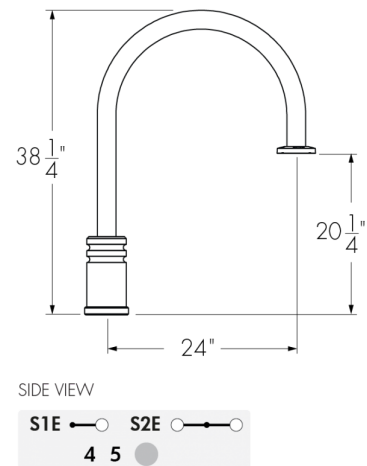
CS2 Arm Style



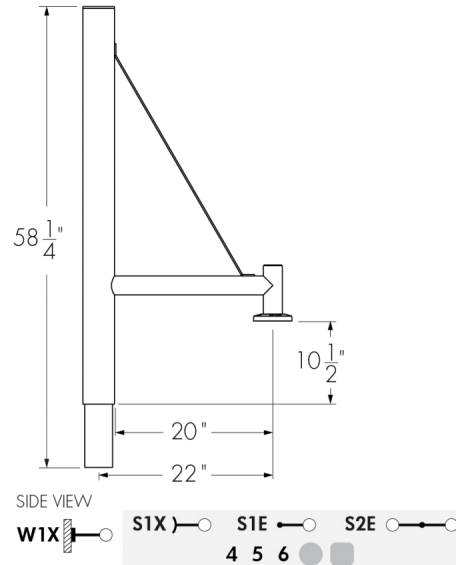
CS4 Arm Style



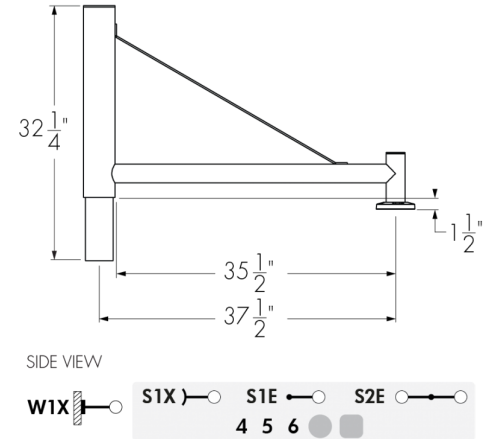
CS6 Arm Style



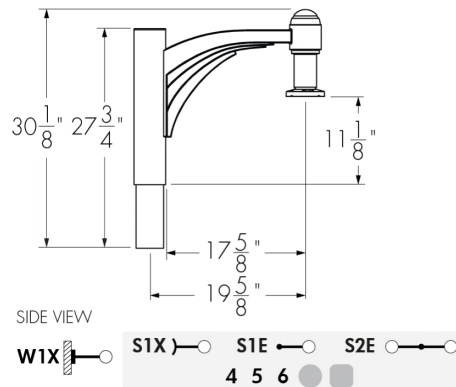
CS12 Arm Style



CS13 Arm Style



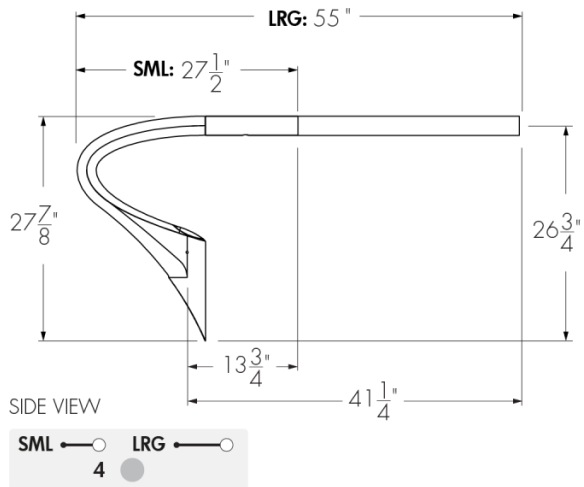
MC5 Arm Style



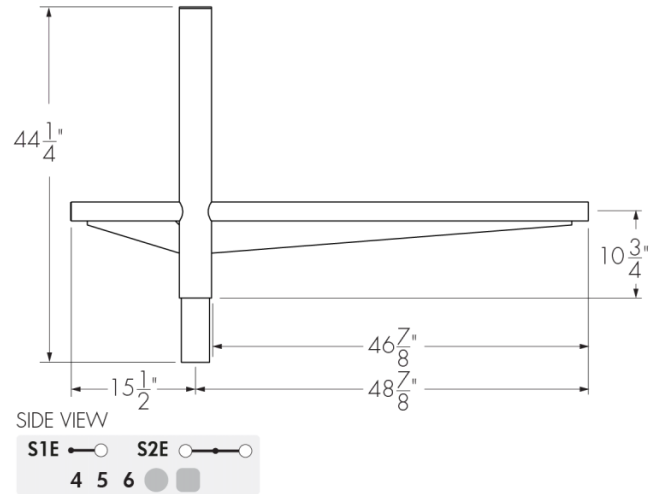
- Mid-pole/mid-luminaire distance is bases on 4 in pole (add 1/2 in for 5 in pole and 1 in for 6 in pole).

SI2 - Side Internal (2 3/8 in Tenon) Arm Style Dimensions

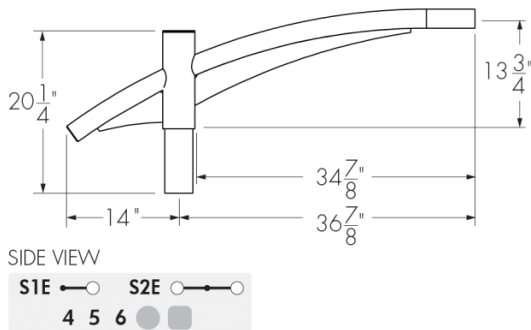
PU2 Arm Style



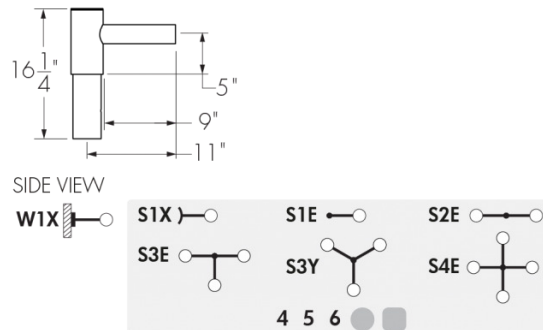
PU4 Arm Style



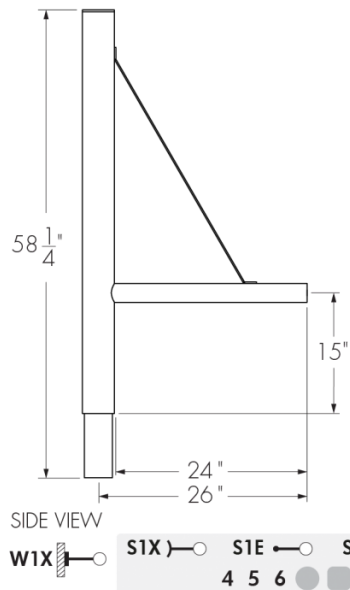
PU5 Arm Style



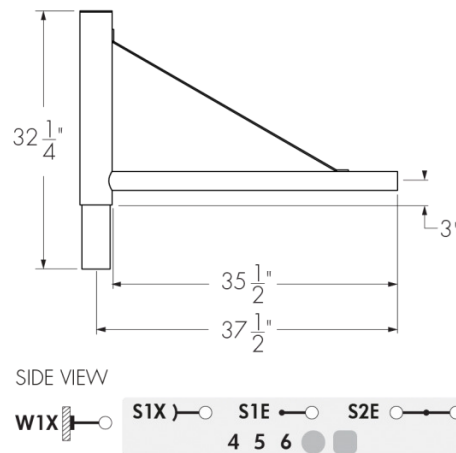
PU8 Arm Style



CS12 Arm Style



CS13 Arm Style



- Mid-pole/mid-luminaire distance is bases on 4 in pole (add 1/2 in for 5 in pole and 1 in for 6 in pole).

How to order

Housing ⁽¹⁾	Voltage	Lens	Output (nominal lumens)	Color and Color Temperature ⁽⁷⁾	Color Rendering	Distributions	Finish	Control	Options	Mounting Options
ALG7200 Allegra 7200	120 120 volts	CSL Clearsite lens ^{(2) (3)}	S40 4000lm ⁽⁶⁾	22K 2200K ⁽⁸⁾	CRI 70 CRI 70+ ⁽⁹⁾	2 Type II	BK Black Sandtex®	DIM 0-10V dimming ⁽¹⁴⁾	CRC Corrosion-resistant coating ^{(15) (16)}	P4 Pendant Medium (4-Bolt Tenon Adaptor)
ALG7202 Allegra 7202	208 208 volts	SSL Softsite lens ^{(4) (5)}	S60 6000lm	27K 2700K ⁽⁸⁾	CRI 80 CRI 80+ ⁽¹⁰⁾	2BLS Type II backlight shield	BRZ Bronze Sandtex®		SP Surge protector	SI2 Side Internal (2.3/8 in Tenon)
ALG7204 Allegra 7204	240 240 volts		M80 8000lm	30K 3000K		3 Type III	SI Silver Sandtex®			
ALG7220 Allegra 7220	277 277 volts		M110 11 000lm	35K 3500K		3BLS Type III backlight shield	BKTX Textured black			
ALG7222 Allegra 7222	347 347 volts		M150 15 000lm	40K 4000K		4 Type IV	BRZTX Textured bronze non-metallic			
ALG7224 Allegra 7224	480 480 volts		L170 17 000lm	57K 5700K		4BLS Type IV backlight shield	GRATX Textured medium gray			
			L30 3000lm Softsite ⁽⁵⁾			5S Type V square	GRNTX Textured green			
			L50 5000lm Softsite ⁽⁵⁾			5 Type V Softsite ⁽⁴⁾	WHTX Textured white			
		L70 7000lm Softsite ⁽⁵⁾			CC Custom color & finish ^{(11) (12) (13)}					

Notes:

- Consult Related Products section on webpage for a selection of compatible decorative arms, decorative poles (sold separately).
- Available with S40, S60, M80, M110, M150 and L170 output option only.
- Available with types 2, 2BLS, 3, 3BLS, 4, 4BLS and 5S distribution only.
- Available with L30, L50 and L70 output options only.
- Available with type 5 distribution only.
- Available up to 277V.
- Consult factory for more color temperature options.
- Available for CRI 80 only.
- Binning within a 3-step MacAdam ellipse, with the exception of 5700K.
- Binning within a 2-step MacAdam ellipse, with the exception of 2200K and 5700K.
- Specify RAL number followed by "TX" for textured finish (ex: RAL9007TX) or STX for Sandtex finish (ex: RAL9007STX). Textured or Sandtex finishes are recommended for the durability of all products. If a finish is not specified with the RAL number (ex: RAL9007), a glossy finish will be provided. Please consult factory for other RAL textures and glosses, or to match alternate color charts. Final color matching results may vary.
- Setup charges apply for RAL colors. Consult factory for details.
- Longer lead times can be expected for custom RAL color finishes.
- DIM control can be used as NO (On/off control) if no data is required.
- Use only when exposed to salt spray. This option is not required for normal outdoor exposure.
- Setup charges apply. Consult factory for details.

PRODUCT: **QR-COZ3733P**

WEIGHT: 279 lbs.
(CUSTOMER TO OFFLOAD IF OVER 6000 Lbs.)

Authorized Signature _____

Date _____

By signing above or stamping this drawing "approved" or "no exception taken" authorization is give to QCP to produce this drawing as shown within a 1/4" tolerance.

QUANTITY: _____

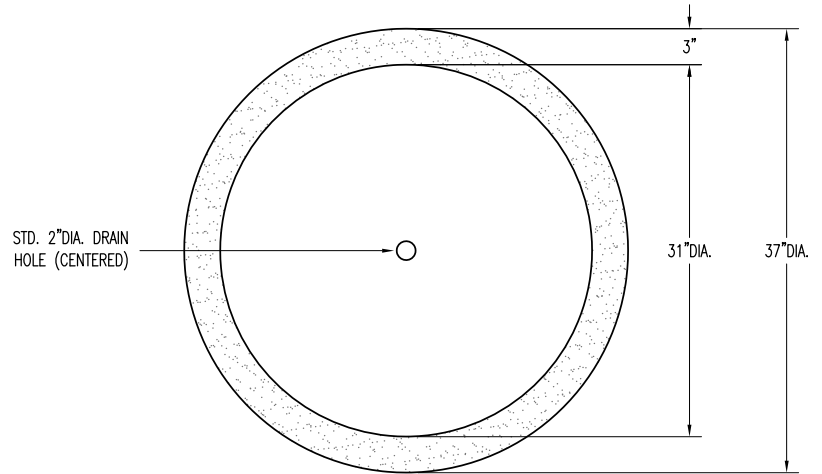
- CONCRETE COLOR:
- QUAIL HILL RED
 - NATURAL
 - MISSION WHITE
 - LATTE
 - HARVEST
 - FRENCH GREY
 - BUNGALOW
 - ADOBE TAUPE
 - CUSTOM COLOR

- CONCRETE TEXTURE:
- MANO

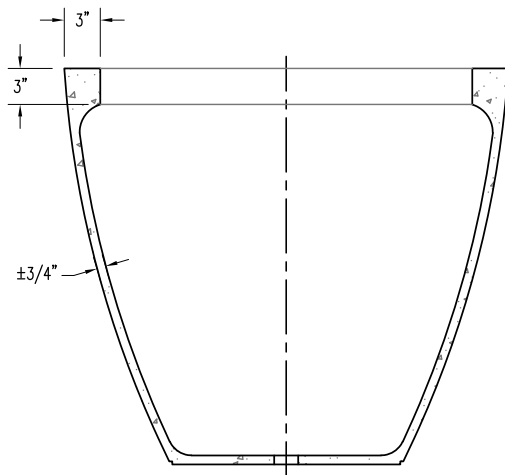
SEALER: STANDARD SEALER

GENERAL PRODUCT NOTES:

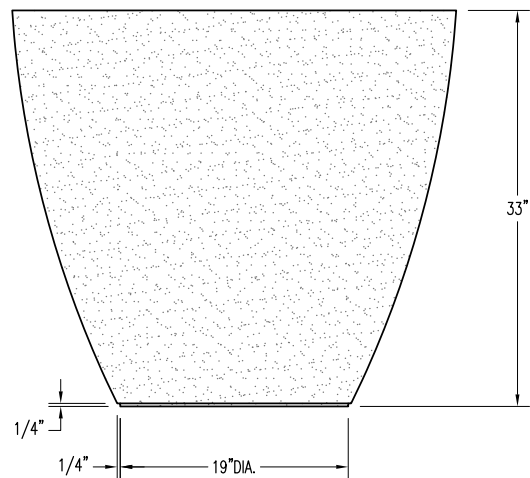
- E = EXPOSED FINISHED SURFACE
- INSTALLATION IS REQUIRED BY OTHERS.
- ALL EDGES TO BE EASED.
- MANUFACTURING TOLERANCE $\pm 1/4"$.
- INCLUDE INTERIOR WATER SEALANT
- STD. 2" DIA. DRAIN HOLE
- LITE CRETE



PLAN VIEW



SECTION VIEW



ELEVATION VIEW



www.qcp-corp.com

PLAN TYPE	CONSTRUCTION PLAN	DATE	8/8/17	FILE NO.	309_QR_COZ_3733P	SHEET
	PRODUCT	QR-COZ3733P TRINIDAD PLANTER COZUMEL	SCALE	3/4" = 1'	DRAWN BY:	D.R.
	PROJECT NAME		PC. NO.		QC ITEM NO.	OF

Scarborough




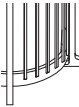

landscapeforms®

Product Data Sheet



Litter Receptacles

- Scarborough™ receptacles are durably constructed of metal side panels and a spun metal top to meet the demands of active public spaces.
- Choose from vertical strap or square bar side panels.
- Top- or side-opening receptacles may be specified.
- The receptacle lid lifts up and swings to the side for easy litter removal.
- Litter can be specified as a single or dual use receptacle.
 - For single use, select one opening style and signage (optional)
 - For dual use select two opening styles and signage. Dual purpose units come with divider installed in liner.
- An optional keyed lock may be added for security, and an optional ash pan may be specified for the side-opening receptacle.
- The 30-gallon polyethylene liner coordinates with specified powdercoat color.
- Receptacles are standard with a freestanding/surface mount option.
- Metal support legs are 1" x 1" square.
- Vertical metal straps 1-1/2" x 3/16".
- Vertical metal bars are 3/8" square.
- Straps and bars are welded to metal bands.
- Tubular steel collar is 1-1/4" dia., 0.120" wall thickness.
- Tops are formed of spun metal.
- Pop-up rod is stainless steel.

	Style	Diameter	Height	Product Weight
	Top-Opening	25"	33"	Bar: 72 lb Strap: 77 lb
	Side-Opening	25"	41"	Bar: 75 lb Strap: 81 lb
	Strap details	-	-	-
	Square bar details	-	-	-
	Ash pan	-	-	-

Finishes

- Metal is finished with Landscape Forms' proprietary Pangard II® polyester powdercoat, a hard yet flexible finish that resists rusting, chipping, peeling and fading.
- Call for standard color chart.

To Specify

- Bench: Specify backed or backless, bench length, horizontal strap or woven seat style, with or without center/intermediate arm, and powder coat color. Bench comes standard with a freestanding/surface mount.
- Litter receptacle: Select top or side opening, vertical strap or square bar side panel, and powdercoat color. If certain color is specified select standard color for liner (see Materials for offerings). Select single or dual use and optional signage.
- Other options: keyed lock; ash pan on side-opening units.

Designed by Arno Yurk, AIA, IDSA

Visit our landscapeforms.com for more information. Specifications are subject to change without notice. Landscape Forms supports the Landscape Architecture Foundation at the Second Century level.
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TARGETTI

ZEDGE MINI

Professional Small Scale LED Steplight

Concept: Recessed LED steplight for indoor and outdoor applications.

Housing: Small 2.5" x 2.5" faceplate available in 3 emission options (Floor Washer, Louvre, or Bi-Emission Floor Washer + Halo).

Materials: Die-cast anodized aluminum body fitted with a spring fixing system. Powder coated die-cast anodized aluminum external frame. ^AConsult factory for use in marine grade environments.

Source: Low power LED High Efficiency Board.

Optic: Polycarbonate opal screen. Only for Louvre version: optical system composed of a high reflectance anodized aluminum flux regenerator. It is available as three frames for three distinct lighting effects.

Floor Washer: A steplight with uniform optical distribution on the floor and excellent visual comfort.
Louvre: High visual comfort with the source entirely hidden from view producing defined light on the floor from two precise louvre windows.

Bi-Emission: The floor washer optics combined with an indirect glow where the halo effect becomes a uniformly illuminated marker light with an opal diffuser.

Mounting: To be completed with installation back box. Fixture secured with stainless steel spring system for semi-flush installation only. Recommended mounting height is +18" A.F.F. on 48" center spacing to meet egress requirements of 1fc minimum.

Installation: Pre-cabled with 3' Belden 18ga 2 conductor direct burial cable (no conduit required).

Finish: Textured Standard Finishes – Ferrite Grey / Heritage Brown / Bronze RAL 8019 / White / Black / Sandstone Grey

Power Supply: Remote Class 2, 120V-277VAC power supply required, see remote driver option pages.

Wattage: 4W

Color Temperature: 2700K / 3000K / 3500K / 4000K

CRI: Ra84, Ra90 available upon request

Lumen Maintenance (L80/B10): 56,000hrs tq +25°C

Calculation for LED fixtures are based on measurements that comply with IES LM-80.

Voltage: 24V DC

IK Rating: IK10

IP Rating: IP66

BUG: B0-U1-G0

Certifications: UL Listed Class 2 wet location E479873

Low voltage landscape lighting. Tested in accordance with LM-79-08

Energy efficient for California installations.

Warranty: 5 year limited warranty

Designed in collaboration with Gensler as Product Design Consultant

^AConsult factory for use in marine grade environments. Not to be in direct contact with salt for extended periods of time or used with corrosive agents.



Louvre Faceplate Shown in Deep Black Finish



Bi-Emission Faceplate Shown in Ferrite Grey Finish



Floor Wash Faceplate Shown in Sandstone Grey Finish



Suitable for indoor and outdoor applications

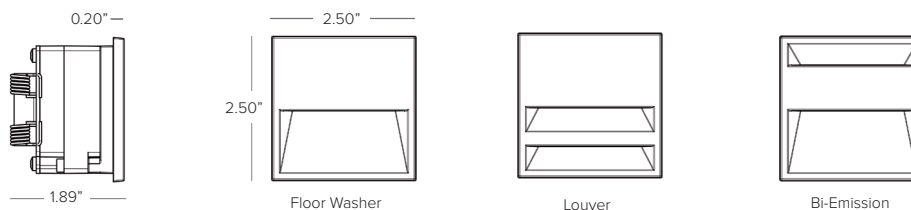
Delivered Lumens:	Values in White Textured Finish			
	2700K	3000K	3500K	4000K
Floor Washer =	82Lm	87Lm	90Lm	90Lm
Louvre =	37Lm	39Lm	40Lm	40Lm
Bi-Emission =	111Lm	117Lm	120Lm	121Lm

PRODUCT CODE	DRIVER	FACEPLATE	FINISH	WATTAGE	COLOR TEMP	VOLTAGE	+	INSTALLATION	+	POWER SUPPLY
ZES – ZEDGE	RP – Remote Power	FW – Floor Washer	FE – Ferrite Grey	L1 – 4W	27 – 2700K	24 – 24VDC	+	See page 2	+	See page 3
		LV – Louvre	HB – Heritage Brown		30 – 3000K					
		BE – Bi-Emission Floor Washer + Halo	BZ – Bronze RAL8019		35 – 3500K					
			WT – White Textured		40 – 4000K					
			BT – Black Textured							
			SG – Sandstone Grey							

QUICK SHIP 1-2 weeks ZESRPFWFEL13024-QS + 1US3166-B-QS + POWER SUPPLY

* Lead time for quick ship fixtures is 1-2 weeks from processed PO date. Consult factory for quantities of over 20 fixtures to confirm lead time.

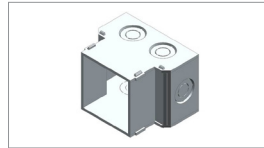
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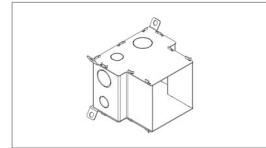
TARGETTI

ZEDGE

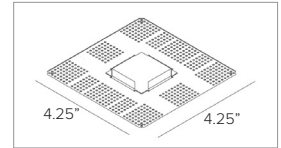
INSTALLATION (REQUIRED) - CHOOSE 1	
1US3166-B	PVC installation back box for semi-fush installations fitted for parallel connection with feed through-wiring, black finish. 1/2" knockout made for low voltage cable (no conduit required, class 2 wiring). Suitable for drywall or stucco applications. Dimensions: 2 3/4"D x 2 1/4"H x 3 1/4"W
1US3166	Stainless steel installation back box for semi-fush installations fitted for parallel connection with feed through-wiring. 3/8" and 1/2" grommet made for low voltage cable (no conduit required, class 2 wiring). Suitable for concrete pour outdoor/harsh environment applications. Dimensions: 2 3/4"D x 2 1/4"H x 3 1/4"W
1USMK01	Mud kit for drywall or stucco. For retrofit or Class 2 installations. Dimensions: 4.25" x 4.25"



1US3166-B

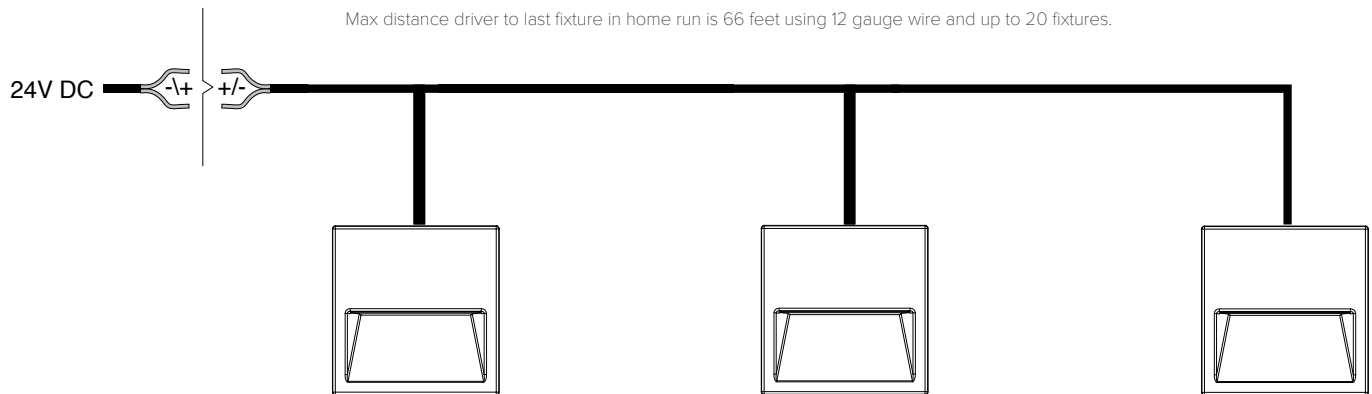


1US3166



1USMK01

Wiring Diagram



Maximum Cable Distances

No. Fixtures	Load	18 AWG	16 AWG	14 AWG	12 AWG
1-4 Fixtures	≤16W	72ft	115ft	180ft	290ft
5-8 Fixtures	≤32W	42ft	67ft	106ft	165ft
9-12 Fixtures	≤48W	28ft	44ft	70ft	112ft
13-16 Fixtures	≤54W	20ft	33ft	52ft	84ft
17-20 Fixtures	≤80W	16ft	26ft	41ft	66ft

*Voltage drop calculations are based on 3% max drop to last fixture in run for load and distances below

Power Supply (REQUIRED)	Type	Wattage	Input/Output Voltage	Dimmable	IP Rating	Output	Dimensions
DMLE301242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	30W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	4.47" X 6.79" X 1.38"
DMLE601242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	60W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	4.47" X 6.79" X 1.38"
DMLE961242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	96W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	5.16" X 7.73" X 1.54"
DMLE1922242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	2X96W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	5.04" X 10.94" X 1.81"
DMLE2882242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	3X96W	120-277V / 24V	MLV <5% / ELV <20% / 0-10V <10% / TRIAC <5%	NEMA3R ENCLOSURE	UL CLASS 2	5.04" X 10.94" X 1.81"
DEL60PWM	MEANWELL ELECTRONIC STANDALONE PWM DRIVER, UL LISTED ENCLOSURE PROVIDED BY OTHERS.	60W	120-277V / 24V	0-10V <10%	IP67	UR CLASS 2	5.9" X 2.09" X 1.38"
DEL90PWM	MEANWELL ELECTRONIC STANDALONE PWM DRIVER, UL LISTED ENCLOSURE PROVIDED BY OTHERS.	90W	120-277V / 24V	0-10V <10%	IP67	UR CLASS 2	6.73" X 2.48" X 1.48"
DELX601241CPWM	MEANWELL ELECTRONIC PWM DRIVER.	60W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	10" x 10" x 4" ¹
DELX901241CPWM	MEANWELL ELECTRONIC PWM DRIVER.	90W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	10" x 10" x 4" ¹
DELX1802242CPWM	MEANWELL ELECTRONIC PWM DRIVER.	2X90W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	12" x 12" x 4" ¹
DELX2703243CPWM	MEANWELL ELECTRONIC PWM DRIVER.	3X90W	120-277V / 24V	0-10V <10%	IP67 DRIVER IN NEMA3R ENCLOSURE	UL CLASS 2	12" x 12" x 4" ¹
PS060	LUTRON HI-LUME PREMIER 0.1% CONSTANT VOLTAGE DRIVER WITH UL LISTED ENCLOSURE	96W	UNIVERSAL 120-277 VAC	HI-LUME ECOSYSTEM 0.1%	IP20/NOM CERTIFIED	UL CLASS 2	10.5" x 5.5" x 2" ¹

¹ Dimensions include enclosure with mounting bracket.

* Constant voltage drivers 50/60HZ, voltage regulated with short circuit protection. Operating temperature -40 C- 80° C

* Installation of power supply must be compliant to Class 2 installation standards. Refer to NEC and local building code requirements.

* Consult factory for additional driver options (ie: DMX, DALI, wattage, size, shape, Lutron, ELDO, or others).

Max Fixtures Per Driver

Fixture Wattage	Driver Wattage									
	30W	40W	60W	96W	90W	2X90W	3X90W	192W	288W	
4W	6	8	12	20	18	2X18	2X18	2X20	3X20	

Photometry Cont.

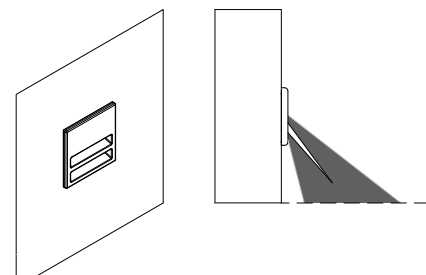
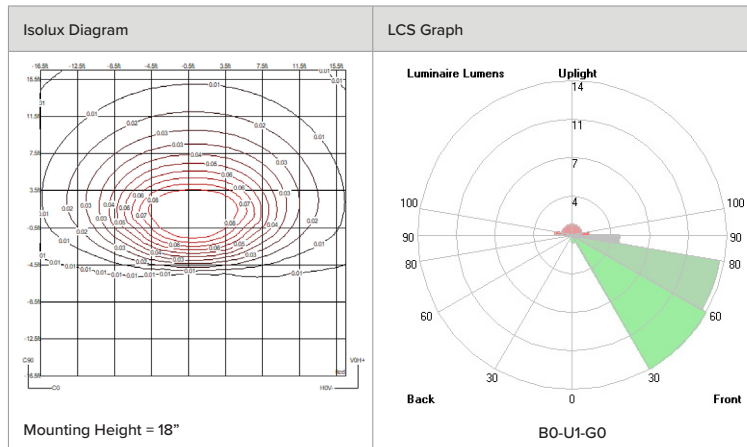
LOUVER

	2700K	H(m)	D1(m)	D2(m)	E _{max} (lx)	
	Ra84		49°	103°		
	Fixture Power	4W	1	7.97	3.92	9
	Source Flux	608lm	2	15.95	7.85	2
	Fixture Flux	37lm	3	23.92	11.77	1
	Efficacy	9lm/W	4	31.90	15.69	1
	TS1001 Imax=45cd/klm	Imax	27cd	5	39.87	19.62

	3000K	H(m)	D1(m)	D2(m)	E _{max} (lx)	
	Ra84		49°	103°		
	Fixture Power	4W	1	7.97	3.92	10
	Source Flux	645lm	2	15.95	7.85	2
	Fixture Flux	39lm	3	23.92	11.77	1
	Efficacy	10lm/W	4	31.90	15.69	1
	TS1001 Imax=45cd/klm	Imax	29cd	5	39.87	19.62

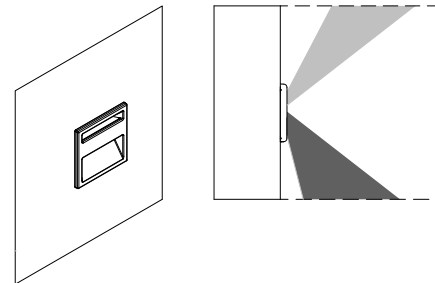
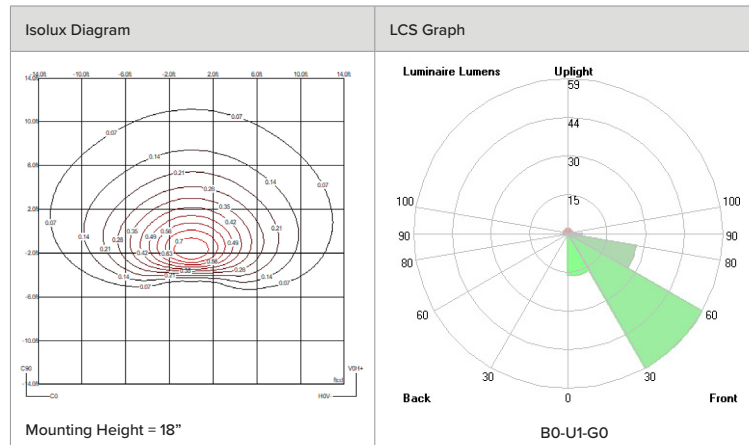
	3500K	H(m)	D1(m)	D2(m)	E _{max} (lx)	
	Ra84		49°	103°		
	Fixture Power	4W	1	7.97	3.92	10
	Source Flux	662lm	2	15.95	7.85	2
	Fixture Flux	40lm	3	23.92	11.77	1
	Efficacy	10lm/W	4	31.90	15.69	1
	TS1001 Imax=45cd/klm	Imax	30cd	5	39.87	19.62

	4000K	H(m)	D1(m)	D2(m)	E _{max} (lx)	
	Ra84		49°	103°		
	Fixture Power	4W	1	7.97	3.92	10
	Source Flux	666lm	2	15.95	7.85	2
	Fixture Flux	40lm	3	23.92	11.77	1
	Efficacy	10lm/W	4	31.90	15.69	1
	TS1001 Imax=45cd/klm	Imax	30cd	5	39.87	19.62

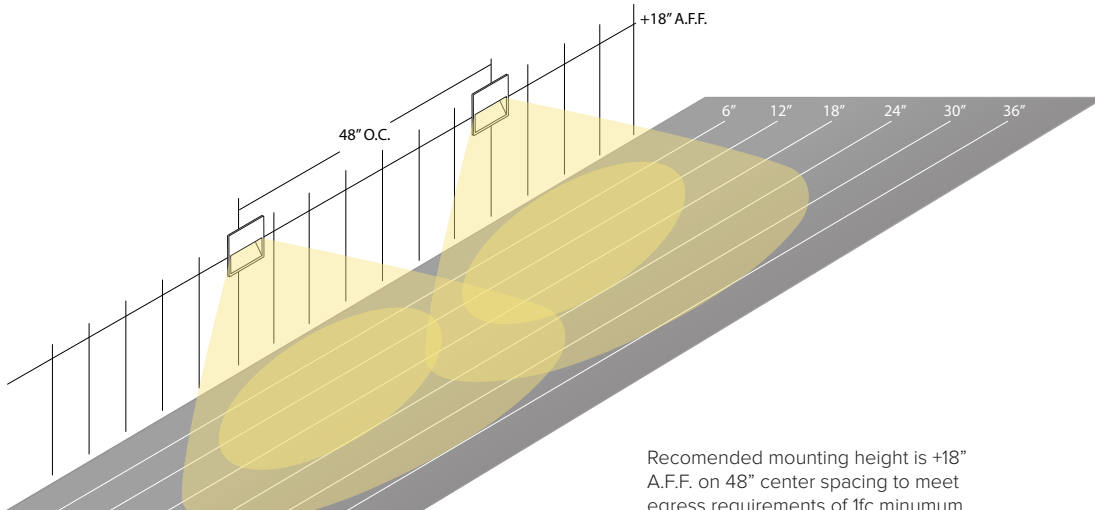


Photometry Cont.

BI-EMISSION FLOOR WASHER + HALO



Suggested Mounting Diagram



Recommended mounting height is +18" A.F.F. on 48" center spacing to meet egress requirements of 1fc minimum.

**Fixture calculated Floor Wash Faceplate using 3000K and Plaster White finish.*



a brand of **TARGETTI**

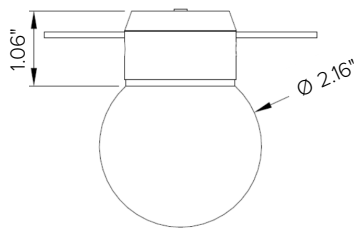
INTELLISTRAND CABLE LIGHT

KEY FEATURES

- Low voltage cable light for indoor / outdoor lighting applications, perfect for festoon mounting, taught or swayed.
- 16 gauge conductive cable with factory attached sockets.
- Lamp spacing available in 12" OC and 24" OC.
- Flat base can be easily mounted against a wall or ridged surface.
- Max continuous length: 50' max per run (12" OC)
100' max per run (24" OC)
- Multiple dimming options available, see power supply selections.



DIMENSIONAL DRAWING

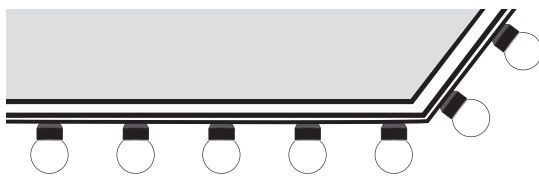


DETAILS

- Spacing** 12" or 24" OC Socket Spacing
- Color Temp** 2300K
- Wattage** 1.5W per socket
- Installation** Attach to aircraft cable (sold separately) and to be secured with cable ties (provided by others). Optional cable wrap encases aircraft cable and INTELLISTRAND cable for a clean one wire look, see options available.
- Weight** 0.25lbs/socket
- Power Supply** Listed Class 2 output, 24V DC power supply required
- IP Rating** IP65
- Certifications** cETLus Class 2 Wet Listed 4007019
Tested in accordance with LM-79-08
Energy efficient for California installations.
- Warranty** 5 year warranty

INSTALLATION EXAMPLES

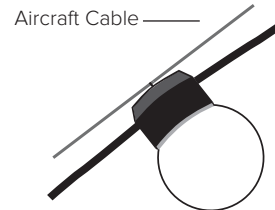
Facade



Swayed



Straight



FIXTURE DATA

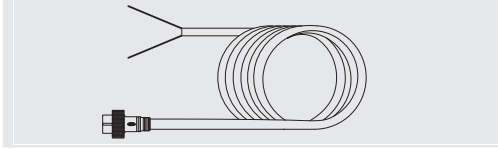
Model	Efficacy* Lm/Wt	Lm/Bulb	Wt/ Globe
2300K	45*	67	1.5

* Meets Title 24 High efficacy rating.

PRODUCT CODE	TYPE	WATTAGE	COLOR TEMP	SOCKET SPACING	VOLTAGE	+	CONNECTION CABLE / END CAP / POWER SUPPLY
IN — INTELLISTRAND	CL — Cable Light	1 — 1.5W	WW — 2300K	12 — 12" OC 24 — 24" OC	24 — 24V DC		

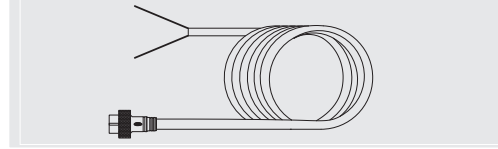
Fixture is project specific and manufactured to order, longer lead times may be expected based on a project by project basis. Consult factory for more information.

CONNECTION CABLE (REQUIRED, CHOOSE 1)



INTEL09

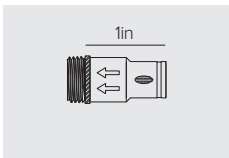
Lead cable 10ft length with 2-pole female connector, black finish.



INTEL19

Lead cable 20ft length with 2-pole female connector, black finish.

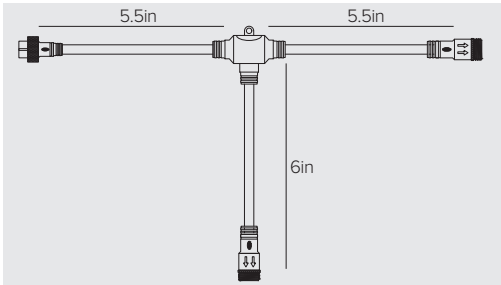
END CAP (REQUIRED)



INTEL18

End Cap 2-Pole Male Connector, black finish.

CONNECTION CABLE (OPTIONAL)



INTEL109

T-split cable with 1ea 2-pole female connector and 2 each 2-pole male connectors, black finish.

MOUNTING ACCESSORIES (OPTIONAL)



DLDCCLAC1/16SS

1/16" inch (diameter) Aircraft cable stainless steel. For use up to 70lbs load, 7 x 7 SS T304 with a minimum break strength at 480lbs.

DLDCCLAC3/32SS

3/32" inch (diameter) Aircraft cable stainless steel. For use up to 150lbs load, 7 x 7 SS T304 with a minimum break strength at 900lbs.



DLDSLWRAP

1/2" Diameter black spiral cable wrap for use with aircraft cable. To encase aircraft cable and DuraLED Light Cable for a clean 1 wire look, sold per foot. **(1.5ft of Wrap needed to span evenly per 1ft of cable)**



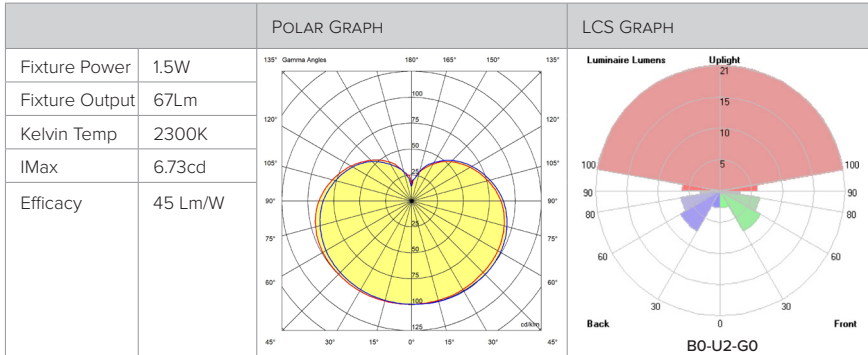
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INTELLISTRAND CABLE LIGHT

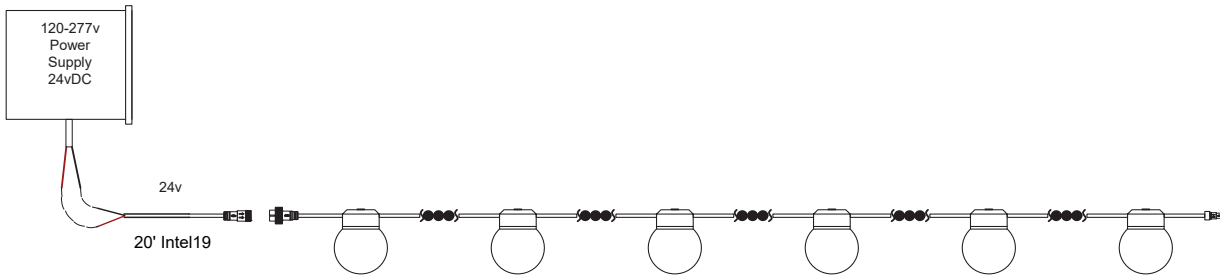
POWER SUPPLY (REQUIRED)

Power Supply (REQUIRED)	Type	Wattage	Input/Output Voltage	Dimmable	IP Rating	Output	Dimensions
DMLE301242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	30W	120-277V / 24V	MLV / ELV / 0-10V / TRIAC	NEMA3R ENCLOSURE	UL CLASS 2	4.47" X 6.79" X 1.38"
DMLE601242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	60W	120-277V / 24V	MLV / ELV / 0-10V / TRIAC	NEMA3R ENCLOSURE	UL CLASS 2	4.47" X 6.79" X 1.38"
DMLE961242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	96W	120-277V / 24V	MLV / ELV / 0-10V / TRIAC	NEMA3R ENCLOSURE	UL CLASS 2	5.16" X 7.73" X 1.54"
DMLE1922242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	2X96W	120-277V / 24V	MLV / ELV / 0-10V / TRIAC	NEMA3R ENCLOSURE	UL CLASS 2	5.04" X 10.94" X 1.81"
DMLE2882242UD	EMCOD MLE ELECTRONIC UNIVERSAL DIMMING DRIVER WITH WIRING COMPARTMENT.	3X96W	120-277V / 24V	MLV / ELV / 0-10V / TRIAC	NEMA3R ENCLOSURE	UL CLASS 2	5.04" X 10.94" X 1.81"
DEL60PWM	MEANWELL ELECTRONIC STANDALONE PWM DRIVER, UL LISTED ENCLOSURE PROVIDED BY OTHERS.	60W	120-277V / 24V	0-10V <10%	IP67	UR CLASS 2	5.9" X 2.09" X 1.38"
DELI601241CPWM	MEANWELL ELECTRONIC PWM DRIVER.	60W	120-277V / 24V	0-10V <10%	NEMA1 ENCLOSURE	UL CLASS 2	10" x 10" x 4"*
DEL90PWM	MEANWELL ELECTRONIC STANDALONE PWM DRIVER, UL LISTED ENCLOSURE PROVIDED BY OTHERS.	90W	120-277V / 24V	0-10V <10%	IP67	UR CLASS 2	6.73" X 2.48" X 1.48"
DELI901241CPWM	MEANWELL ELECTRONIC PWM DRIVER.	90W	120-277V / 24V	0-10V <10%	NEMA1 ENCLOSURE	UL CLASS 2	10" x 10" x 4"*
DELI1802242CPWM	MEANWELL ELECTRONIC PWM DRIVER.	2X90W	120-277V / 24V	0-10V <10%	NEMA1 ENCLOSURE	UL CLASS 2	12" x 12" x 4"*
DELI2703243CPWM	MEANWELL ELECTRONIC PWM DRIVER.	3X90W	120-277V / 24V	0-10V <10%	NEMA1 ENCLOSURE	UL CLASS 2	12" x 12" x 4"*

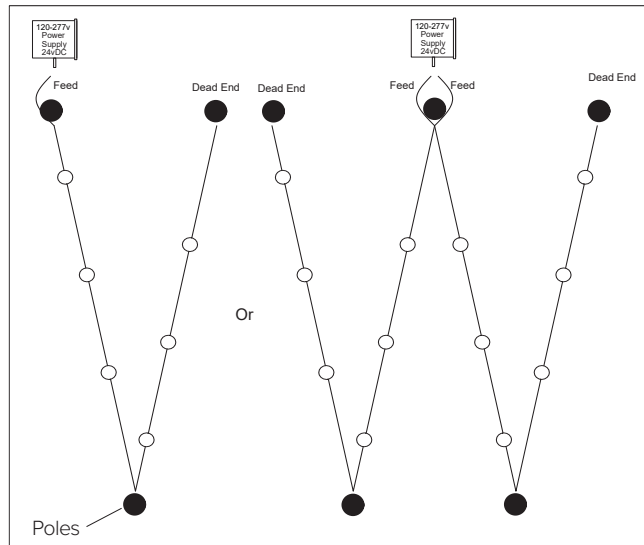
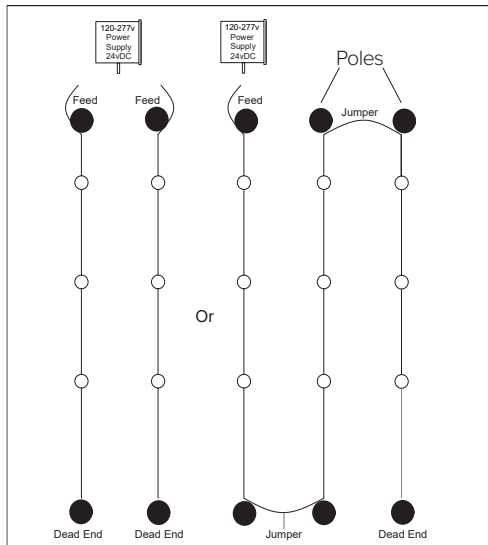
PHOTOMETRY



SYSTEM LAYOUT EXAMPLE DIAGRAMS



POSSIBLE CONFIGURATIONS



DATE	PROJECT	FIRM	TYPE
------	---------	------	------

RISE IS A SYSTEM OF BEAUTIFULLY DESIGNED OUTDOOR RATED LUMINAIRES THAT PROVIDE EFFICIENT AND POWERFUL LIGHT USING THE LATEST IN LED TECHNOLOGY. RISE F080 SINGLE IS A POWERFUL AND COMPACT LED LIGHT FIXTURE, DELIVERING UP TO 1170 LUMENS, THAT CAN BE USED IN SPOT, ACCENT, LANDSCAPE AND FLOODLIGHT APPLICATIONS. ITS UNIQUE MACRO™ LOCK FEATURE ALLOWS FOR FULL 180 DEGREE TILT AND 360 DEGREE PAN AIMABILITY USING ONLY ONE TWIST.

FEATURES :

- POWERFUL CBCP
- EXTREMELY COMPACT
- POWERFUL OUTPUT UP TO 1170 LUMENS
- MACRO™ LOCK - 180° TILT AND 360° PAN
- 12 UNIQUE BEAM ANGLES
- MULTIVOLT (110 V-277 V)
- 8 CCTS: 2200K THROUGH 6500K
- 80+ AND 90+ CRI
- DIMMABLE TO 5%
- IP66 RATED



FIXTURE MODEL	FIXTURE CONFIG.	POWER/LUMEN OUTPUT*	CCT/COLOR	CRI	BEAM ANGLE	FINISHES	ACCESSORIES	WIRING AND MOUNTING
F080	1S - Single Head	LO - Low Output MO - Medium Output HO - High Output	22 - 2200K 25 - 2500K 27 - 2700K 30 - 3000K 35 - 3500K 40 - 4000K 50 - 5000K 65 - 6500K RD - Red GR - Green BL - Blue AM - Amber	8 - 80 9 - 90* X - For RD, GR, BL, AM *90 CRI not available in 2200K, 2500K, 5000K, and 6500K	05 - Laser Spot (5°) 10 - Very Narrow Spot (10°) 15 - Narrow Spot (15°) 20 - Spot (20°) 40 - Flood (40°) 60 - Medium Flood (60°) 70 - Wide Flood (70°) 90 - Very Wide Flood (90°) E1 - Elliptical 1 (15°x60°) E2 - Elliptical 2 (30°x60°) E3 - Elliptical 3 (60°x15°) E4 - Elliptical 4 (60°x30°)	K - Black Z - Bronze S - Silver W - White C - Custom* *Provide RAL #	X - No Accessory H - Half Snoot F - Full Snoot Will ship as X if not specified	A - 19" Flying Leads - Internal Cable IC; Bottom Exit; 1/2" NPT ; UL/CE Listed B* - 10' External Cable Side Exit; Surface Mount ; UL Listed C* - 10' External Cable Bottom Exit; Surface Mount - 1/2" NPT ; UL Listed D* - 10' External Cable Side Exit; Surface Mount ; CE Listed E* - 10' External Cable Bottom Exit; Surface Mount - 1/2" NPT; CE Listed *Will ship as A if not specified

EXAMPLE: F080-1S-LO-22-8-05-S-X-A

*See Photometry Chart for Lumen Data

PERFORMANCE	WATTS	POWER	LUMEN OUTPUT	OPTIC	EFFICACY	CBCP
	4	Low Output	309	5°	77	22,017
	7.5	Medium Output	531	5°	71	37,812
	11.5	High Output	744	5°	65	52,991

ALL LUMEN DATA IS FROM 4000K 80CRI FIXTURES. PLEASE SEE PHOTOMETRY SPEC SHEET FOR ADDITIONAL LUMEN DATA.

COLOR RENDERING INDEX
COLOR CONSISTENCY
LUMEN DEPRECIATION

WATTS	3-STEP MACADAM ELLIPSE			
	L70 @ 25C	L70 @ 50C	L90 @ 25C	L90 @ 50C
LOW	>60,500* >(109,000)**	>60,500* >(109,000)**	>60,500* >(109,000)**	>60,500* >(109,000)**
MEDIUM	>60,500* >(109,000)**	>60,500* >(109,000)**	>60,500* >(109,000)**	>60,500* >(109,000)**
HIGH	>60,500* >(181,000)**	>36,300*	>60,500* >(69,800)**	>33,200*

* ENERGY STAR REPORTED TESTING HOURS TO DATE. CALCULATIONS FOR LED FIXTURES ARE BASED ON MEASUREMENTS THAT COMPLY WITH IES LM-80 TESTING PROCEDURES AND IES TM-21 CALCULATOR
 ** ESTIMATED HOURS

NOTE: Information on this Spec Sheet is subject to change, please visit ecosenselighting.com/downloads/raise for the most updated information.

DATE	PROJECT	FIRM	TYPE	
ELECTRICAL	WATTAGE POWER FACTOR THD OPERATING VOLTAGE DRIVER STARTUP TEMPERATURE OPERATING TEMPERATURE STORAGE TEMPERATURE	LOW OUTPUT = 4 W; MEDIUM OUTPUT = 7.5 W; HIGH OUTPUT = 11.5 W >0.9 for 120 V (HO, MO, LO), 230 V (HO, MO), 277 V (HO) <0.2 for 120 V (HO, MO, LO), 230 V (HO, MO), 277 V (HO) MULTIVOLT: 110-277 VAC, 50/60 Hz INTEGRAL TO FIXTURE; DE-RATED POWER AND SYNCHRONOUS START-UP AT FULL BRIGHTNESS -40 °F TO 122 °F (-40 °C TO 50 °C) -40 °F TO 122 °F (-40 °C TO 50 °C) -40 °F TO 176 °F (-40 °C TO 80 °C)		
CONTROL	DIMMING	110-277 VAC, ELV TYPE, REVERSE PHASE, TRAILING EDGE		
PHYSICAL	DIMENSIONS HOUSING/LENS WEIGHT ENVIRONMENT MOUNTING OPTIONS WIRING TOOLS WIND LOAD (EPA) CORROSION RESISTANT	W 2.49" x H 8.13" x L 6.97" ; (63.33 mm x 206.45 mm x 177.05 mm) EXTRUDED ALUMINUM; UV STABILIZED POLYCARBONATE; STAINLESS STEEL FASTENERS 1.25 LBS / 0.56 KG OUTDOOR • UL CERTIFIED FOR WET LOCATIONS IP66 IMPACT RATED TO IK10 MEETS 3G ANSI C136.31 VIBRATION STANDARD FOR BRIDGE APPLICATIONS A - FLYING LEADS - INTERNAL CABLE IC; BOTTOM EXIT; 1/2" NPT ; UL/ CE RATED B - EXTERNAL CABLE SIDE EXIT; SURFACE MOUNT ; UL LISTED SURFACE MOUNT PLATE INCLUDED C - EXTERNAL CABLE BOTTOM EXIT; 1/2" NPT ; UL LISTED SURFACE MOUNT PLATE INCLUDED D - EXTERNAL CABLE SIDE EXIT; SURFACE MOUNT ; CE LISTED SURFACE MOUNT PLATE INCLUDED E - EXTERNAL CABLE BOTTOM EXIT; SURFACE MOUNT ; CE LISTED SURFACE MOUNT PLATE INCLUDED LENGTH OF FLYING LEADS 19" (482.6 mm) LENGTH OF EXTERNAL CABLE 10' (3.05 m) 2.5 mm HEX KEY AND PHILLIPS #0 SCREWDRIVER FOR INTERCHANGEABLE LENS + SNOOTS 4 mm HEX KEY FOR AIMING 5 mm HEX KEY FOR MAIN TILT ARM EFFECTIVE PROJECTED AREA 0.14 ft² RISE HAS A HIGH-PERFORMING, CORROSION-RESISTANT FINISH THAT USES HIGH DURABILITY TRIGLYCIDYL ISOCYANURATE (TGIC) POWDER COATINGS SPECIFICALLY DESIGNED FOR NATATORIUMS AND EXTERIOR WEATHER EXPOSURE. THIS FINISH HAS BEEN TESTED AND APPROVED TO MARINE GRADE CORROSION RESISTANCE STANDARD IN UL1598A, ASTM B117 SALT FOG TEST FOR 200 HOURS.		

FIXTURE RATING & CERTIFICATIONS **CE, UL CERTIFIED**
RoHS COMPLIANT, IK10



LIMITED WARRANTY **5 YEARS**

0-10V CONTROL OPTIONS

100-120 VAC / 277 VAC Linear Dimming Control Module 0-10 V - Plenum Rated LDCM-PL-120-277-010V-GR
 All products come standard with ELV dimming capabilities. 0-10V Control options required for operation at 0-10V.

OPTIONAL ACCESSORIES

Snoots
 Half Snoot, Color Finish (K=Black, Z=Bronze, S=Silver, W=White, C=Custom) F080-H-(K,Z,S,W,C)
 Full Snoot, Color Finish (K=Black, Z=Bronze, S=Silver, W=White, C=Custom) F080-F-(K,Z,S,W,C)

Interchangeable Lens

If inner optic = 5°,
Desired angle**order the following spread lens**
 5 Degree F080-LENS-05
 10 Degree F080-LENS-10
 15 Degree F080-LENS-15
 20 Degree F080-LENS-20
 40 Degree F080-LENS-40
 60 Degree F080-LENS-60
 80 Degree F080-LENS-80
 15x60 or 60x15 Degree F080-LENS-E1E3
 30x60 or 60x30 F080-LENS-E2E4
 Full Set of Beam Angle Lens Degree (5, 10, 15, 20, 40, 60, 80, 15x60 or 60x15, 30x60 or 60x30) F080-LENS-FULLSET

NOTE: Information on this Spec Sheet is subject to change, please visit ecosenselighting.com/downloads/raise for the most updated information.



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DATE	PROJECT	FIRM	TYPE
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If inner optic = 40°,

Desired angle	Order the following spread lens
5 Degree	NOT SUPPORTED
10 Degree	NOT SUPPORTED
15 Degree	NOT SUPPORTED
20 Degree	NOT SUPPORTED
40 Degree	F080-LENS-10
60 Degree	F080-LENS-40
70 Degree	F080-LENS-60
90 Degree	F080-LENS-80
15x60 or 60x15 Degree	NOT SUPPORTED
30x60 or 60x30 Degree	NOT SUPPORTED
Full Set of Beam Angle Lens Degree (5, 10, 15, 20, 40, 60, 70, 90, 15X60 or 60X15, 30X60 or 60X30)	F080-LENS-FULLSET

Honeycomb Louver

Honeycomb Louver F080.....	F080-LV-HComb
----------------------------	---------------

Canopy Plate (Not for use with wire Option B - External Cable Side Exit)

RISE Canopy Plate (K=Black, Z=Bronze, S=Silver, W=White, C=Custom)	RISE-CANOPY-04-(K,Z,S,W,C)
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Color Filters

Red	F080-FILTER-RED
Blue	F080-FILTER-BLUE
Green	F080-FILTER-GREEN
Amber	F080-FILTER-AMBER

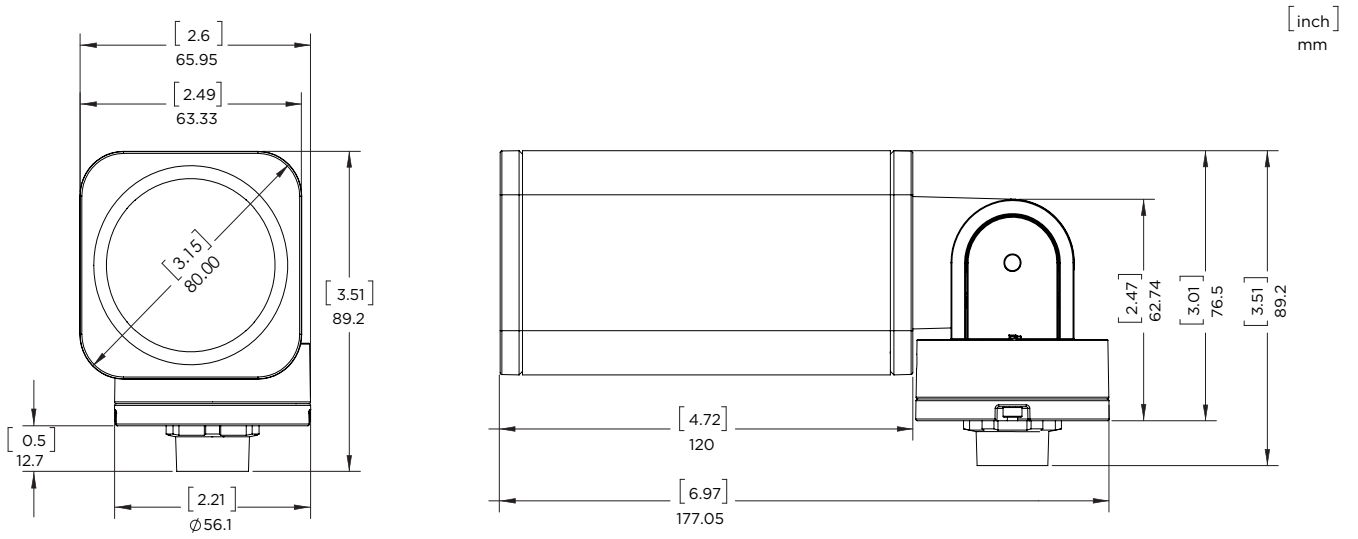
F080 Wall Mount Arm (for use only with Wiring Option C - External Cable Bottom Exit and not for use with multi-up fixtures)

Wall Mount Arm, 6 inch, Color Finish (K=Black, Z=Bronze, S=Silver, W=White, C=Custom)	F080-WMA-06-(K,Z,S,W,C)
Wall Mount Arm, 12 inch, Color Finish (K=Black, Z=Bronze, S=Silver, W=White, C=Custom)	F080-WMA-12-(K,Z,S,W,C)
Wall Mount Arm, 18 inch, Color Finish (K=Black, Z=Bronze, S=Silver, W=White, C=Custom)	F080-WMA-18-(K,Z,S,W,C)
Wall Mount Arm, 24 inch, Color Finish (K=Black, Z=Bronze, S=Silver, W=White, C=Custom)	F080-WMA-24-(K,Z,S,W,C)

Ground Stake (for use only with Wiring Option C - External Cable Bottom Exit and not for use with multi-up fixtures)

Landscape Stake, 12 in (for use with F080 Single Head only, not for use with multi-fixture units)	F080-LS-1S-STK-12
---	-------------------

DIMENSIONS



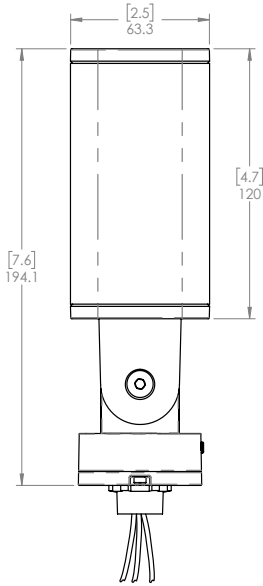
NOTE: Information on this Spec Sheet is subject to change, please visit ecosenselighting.com/downloads/raise for the most updated information.

DATE	PROJECT	FIRM	TYPE
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WIRING GUIDE

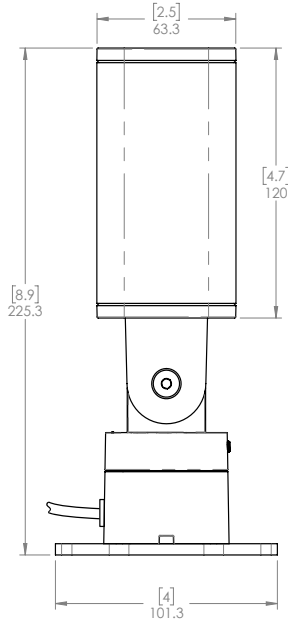
RISE is an interior and exterior rated (IP66) fixture that is available in three different wiring options:

Flying Leads - Internal Cable (UL Listed or CE Listed)



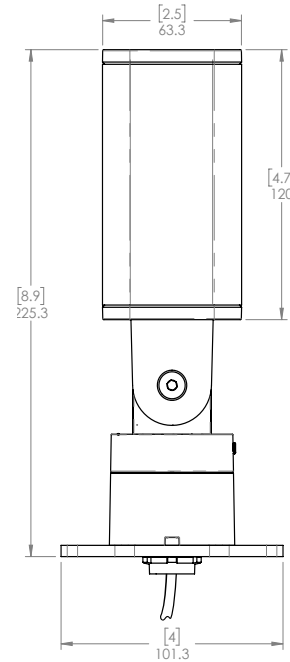
- For use with standard junction boxes
- 1/2" NPT Taper, Cable Length is 19"
- Compatible with EcoSense Canopy junction Box Cover
- 18 AWG Stranded Copper Cable - 3 Conductors

External Cable Side Exit (UL Listed or CE Listed)



- For use when external, exterior rated cable is required to run to remote junction box or mains
- Cable exits the side of the base
- Comes with a Surface Mount Plate, for mounting direct to surface
- Cable Length is 10' (3.05 m)

External Cable Bottom Exit (UL Listed or CE Listed)



- For use when external, exterior rated cable is required to run to remote junction box or mains
- Cable exits the bottom for use with various accessories such as Wall Mount Arm and Ground Stake
- 1/2" NPT taper for mounting
- Comes with a Surface Mount Plate, for mounting direct to surface
- Cable Length is 10' (3.05 m)

NOTE: Information on this Spec Sheet is subject to change, please visit ecosenselighting.com/raise for the most updated information.



WDGE2 LED

Architectural Wall Sconce

Precision Refractive Optic



Catalog Number

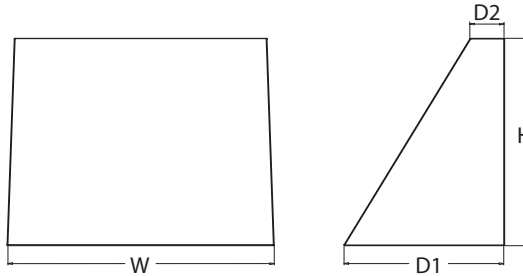
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

- Depth (D1):** 7"
- Depth (D2):** 1.5"
- Height:** 9"
- Width:** 11.5"
- Weight:** 13.5 lbs
(without options)



Introduction

The WDGE LED family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean rectilinear design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing a true site-wide solution. Embedded with nLight® AIR wireless controls, the WDGE family provides additional energy savings and code compliance.

WDGE2 with industry leading precision refractive optics provides great uniform distribution and optical control. When combined with multiple integrated emergency battery backup options, including an 18W cold temperature option, the WDGE2 becomes the ideal wall-mounted lighting solution for pedestrian scale applications in any environment.

WDGE LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	Approximate Lumens (4000K, 80CRI)						
					P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		--	750	1,200	2,000	--	--	--	--
WDGE2 LED	Visual Comfort	10W	18W	Standalone / nLight	--	1,200	2,000	3,000	4,500	6,000	--
WDGE2 LED	Precision Refractive	10W	18W	Standalone / nLight	700	1,200	2,000	3,200	4,200	--	--
WDGE3 LED	Precision Refractive	15W	18W	Standalone / nLight	--	7,500	8,500	10,000	12,000	--	--
WDGE4 LED	Precision Refractive			Standalone / nLight	--	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information

EXAMPLE: WDGE2 LED P3 40K 80CRI VF MVOLT SRM DDBXD

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE2 LED	P0 ¹	27K 2700K	70CRI ⁴	T1S Type I Short	MVOLT	Shipped included SRM Surface mounting bracket ICW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ⁶ Shipped separately AWS 3/8inch Architectural wall spacer PBBW Surface-mounted back box (top, left, right conduit entry). Use when there is no junction box available.
	P1 ²	30K 3000K	80CRI	T2M Type II Medium	347 ⁵	
	P2 ²	40K 4000K	LW ³ Limited Wavelength	T3M Type III Medium	480 ⁵	
	P3 ²	50K 5000K		T4M Type IV Medium		
	P4 ²	AMB ³ Amber		TFTM Forward Throw Medium		

Options	Finish
E10WH Emergency battery backup, Certified in CA Title 20 MAEDBS (10W, 5°C min) E20WC Emergency battery backup, Certified in CA Title 20 MAEDBS (18W, -20°C min) PE⁷ Photocell, Button Type DMG⁸ 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately) BCE Bottom conduit entry for back box (PBBW). Total of 4 entry points. BAA Buy America(n) Act Compliant	DDBXD Dark bronze DBLXD Black DNAXD Natural aluminum DWHXD White DSSXD Sandstone DBBTXD Textured dark bronze DBL BXD Textured black DNATXD Textured natural aluminum DWHGXD Textured white DSSTXD Textured sandstone
Standalone Sensors/Controls PIR Bi-level (100/35%) motion sensor for 8-15' mounting heights. Intended for use on switched circuits with external dusk to dawn switching. PIRH Bi-level (100/35%) motion sensor for 15-30' mounting heights. Intended for use on switched circuits with external dusk to dawn switching PIR1FC3V Bi-level (100/35%) motion sensor for 8-15' mounting heights with photocell pre-programmed for dusk to dawn operation. PIRH1FC3V Bi-level (100/35%) motion sensor for 15-30' mounting heights with photocell pre-programmed for dusk to dawn operation. Networked Sensors/Controls NLTAIR2 PIR nLightAIR Wireless enabled bi-level motion/ambient sensor for 8-15' mounting heights. NLTAIR2 PIRH nLightAIR Wireless enabled bi-level motion/ambient sensor for 15-30' mounting heights. See page 4 for out of box functionality	



COMMERCIAL OUTDOOR

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WDGE2 LED
 Rev. 11/21/22

Accessories

Ordered and shipped separately.

WDGEAWS DDBXD W DGE 3/8inch Architectural Wall Spacer (specify finish)
 WDGE2P8BW DDBXD U W DGE2 surface-mounted back box (specify finish)

NOTES

- 1 PO option not available with sensors/controls.
- 2 P1-P4 not available with AMB and LW.
- 3 AMB and LW always go together.
- 4 70CRI only available with T3M and T4M.
- 5 347V and 480V not available with E10WH or E20WC.
- 6 Not qualified for DLC. Not available with emergency battery backup or sensors/controls.
- 7 PE not available in 480V or with sensors/controls.
- 8 DMG option not available with sensors/controls.

Performance Data

Lumen Output

Lumen values are from photometric tests performed in accordance with IESNA LM-79-08. Data is considered to be representative of the configurations shown, within the tolerances allowed by Lighting Facts. Contact factory for performance data on any configurations not shown here.

Performance Package	System Watts	Dist. Type	27K (2700K, 80 CRI)					30K (3000K, 80 CRI)					40K (4000K, 80 CRI)					50K (5000K, 80 CRI)					Amber (Limited Wavelength)				
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G
P0	7W	T1S	636	92	0	0	0	666	97	0	0	0	699	101	0	0	1	691	100	0	0	1	712	47	0	0	1
		T2M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T3M	662	96	0	0	0	693	101	0	0	0	728	106	0	0	0	719	104	0	0	0	741	48	0	0	0
		T4M	648	94	0	0	0	679	98	0	0	0	712	103	0	0	0	704	102	0	0	0	726	47	0	0	0
		TFTM	652	95	0	0	0	683	99	0	0	0	717	104	0	0	0	708	103	0	0	0	730	48	0	0	1
P1	11W	T1S	1,105	99	0	0	1	1,157	104	0	0	1	1,215	109	0	0	1	1,200	107	0	0	1					
		T2M	1,150	103	0	0	1	1,204	108	0	0	1	1,264	113	0	0	1	1,249	112	0	0	1					
		T3M	1,150	103	0	0	1	1,205	108	0	0	1	1,265	113	0	0	1	1,250	112	0	0	1					
		T4M	1,126	101	0	0	1	1,179	106	0	0	1	1,238	111	0	0	1	1,223	110	0	0	1					
		TFTM	1,133	101	0	0	1	1,186	106	0	0	1	1,245	112	0	0	1	1,230	110	0	0	1					
P2	19W	T1S	1,801	95	1	0	1	1,886	99	1	0	1	1,981	104	1	0	1	1,957	103	1	0	1					
		T2M	1,875	99	1	0	1	1,963	103	1	0	1	2,061	109	1	0	1	2,037	107	1	0	1					
		T3M	1,876	99	1	0	1	1,964	103	1	0	1	2,062	109	1	0	1	2,038	107	1	0	1					
		T4M	1,836	97	1	0	1	1,922	101	1	0	1	2,018	106	1	0	1	1,994	105	1	0	1					
		TFTM	1,847	97	1	0	1	1,934	102	1	0	1	2,030	107	1	0	1	2,006	106	1	0	1					
P3	32W	T1S	2,809	87	1	0	1	2,942	92	1	0	1	3,089	96	1	0	1	3,052	95	1	0	1					
		T2M	2,924	91	1	0	1	3,062	95	1	0	1	3,215	100	1	0	1	3,176	99	1	0	1					
		T3M	2,925	91	1	0	1	3,063	95	1	0	1	3,216	100	1	0	1	3,177	99	1	0	1					
		T4M	2,862	89	1	0	1	2,997	93	1	0	1	3,147	98	1	0	1	3,110	97	1	0	1					
		TFTM	2,880	90	1	0	1	3,015	94	1	0	1	3,166	99	1	0	1	3,128	97	1	0	1					
P4	47W	T1S	3,729	80	1	0	1	3,904	84	1	0	1	4,099	88	1	0	1	4,051	87	1	0	1					
		T2M	3,881	83	1	0	1	4,063	87	1	0	1	4,267	91	1	0	1	4,216	90	1	0	1					
		T3M	3,882	83	1	0	1	4,065	87	1	0	1	4,268	91	1	0	1	4,217	90	1	0	1					
		T4M	3,799	81	1	0	1	3,978	85	1	0	1	4,177	90	1	0	1	4,127	88	1	0	1					
		TFTM	3,822	82	1	0	1	4,002	86	1	0	1	4,202	90	1	0	1	4,152	89	1	0	1					

Performance Package	System Watts	Dist. Type	27K (2700K, 70 CRI)					30K (3000K, 70 CRI)					40K (4000K, 70 CRI)					50K (5000K, 70 CRI)									
			Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G	Lumens	LPW	B	U	G					
P0	7W	T3M	737	107	0	0	0	763	111	0	0	0	822	119	0	0	0	832	121	0	0	1					
		T4M	721	105	0	0	0	746	108	0	0	0	804	117	0	0	1	814	118	0	0	1					
P1	11W	T3M	1,280	115	0	0	1	1,325	119	0	0	1	1,427	128	1	0	1	1,445	129	1	0	1					
		T4M	1,253	112	0	0	1	1,297	116	0	0	1	1,397	125	0	0	1	1,415	127	0	0	1					
P2	19W	T3M	2,087	110	1	0	1	2,160	114	1	0	1	2,327	123	1	0	1	2,357	124	1	0	1					
		T4M	2,042	108	1	0	1	2,114	111	1	0	1	2,278	120	1	0	1	2,306	121	1	0	1					
P3	32W	T3M	3,254	101	1	0	1	3,369	105	1	0	1	3,629	113	1	0	1	3,675	114	1	0	1					
		T4M	3,185	99	1	0	1	3,297	103	1	0	1	3,552	111	1	0	1	3,597	112	1	0	1					
P4	47W	T3M	4,319	93	1	0	1	4,471	96	1	0	1	4,817	103	1	0	2	4,878	105	1	0	2					
		T4M	4,227	91	1	0	1	4,376	94	1	0	2	4,714	101	1	0	2	4,774	102	1	0	2					



Electrical Load

Performance Package	System Watts	Current (A)					
		120Vac	208Vac	240Vac	277Vac	347Vac	480Vac
P0	7.0	0.061	0.042	0.04	0.039	--	--
	9.0	--	--	--	--	0.031	0.021
P1	11.0	0.100	0.064	0.059	0.054	--	--
	14.1	--	--	--	--	0.046	0.031
P2	19.0	0.168	0.106	0.095	0.083	--	--
	22.8	--	--	--	--	0.067	0.050
P3	32.0	0.284	0.163	0.144	0.131	--	--
	37.1	--	--	--	--	0.107	0.079
P4	47.0	0.412	0.234	0.207	0.185	--	--
	53.5	--	--	--	--	0.153	0.112

Lumen Output in Emergency Mode (4000K, 80 CRI, T3M)

Option	Lumens
E10WH	1,358
E20WC	2,230

Lumen Ambient Temperature (LAT) Multipliers

Use these factors to determine relative lumen output for average ambient temperatures from 0-40°C (32-104°F).

Ambient		Lumen Multiplier
0°C	32°F	1.03
10°C	50°F	1.02
20°C	68°F	1.01
25°C	77°F	1.00
30°C	86°F	0.99
40°C	104°F	0.97

Projected LED Lumen Maintenance

Data references the extrapolated performance projections for the platforms noted in a 25°C ambient, based on 10,000 hours of LED testing (tested per IESNA LM-80-08 and projected per IESNA TM-21-11).

To calculate LLF, use the lumen maintenance factor that corresponds to the desired number of operating hours below. For other lumen maintenance values, contact factory.

Operating Hours	0	25,000	50,000	100,000
Lumen Maintenance Factor	1.0	>0.96	>0.93	>0.87

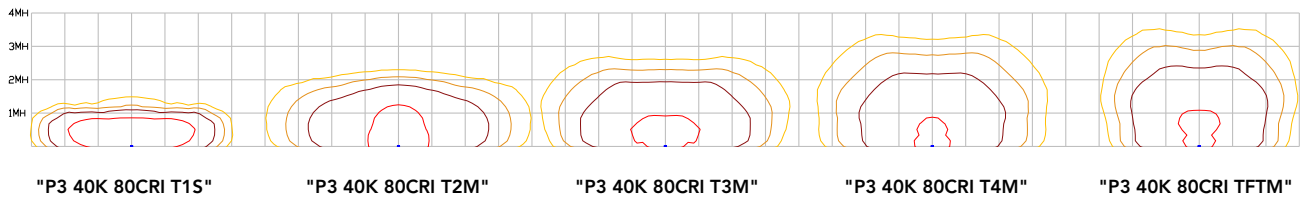
Photometric Diagrams

To see complete photometric reports or download .ies files for this product, visit the Lithonia Lighting WEDGE LED homepage. Tested in accordance with IESNA LM-79 and LM-80 standards.

LEGEND

■	0.25 fc
■	0.5 fc
■	1.0 fc
■	3.0 fc

MH = 10ft
Grid = 10ft x 10ft



Emergency Egress Options

Emergency Battery Backup

The emergency battery backup is integral to the luminaire — no external housing required! This design provides reliable emergency operation while maintaining the aesthetics of the product. All emergency battery backup configurations include an independent secondary driver with an integral relay to immediately detect loss of normal power and automatically energize the luminaire. The emergency battery will power the luminaire for a minimum duration of 90 minutes (maximum duration of three hours) from the time normal power is lost and maintain a minimum of 60% of the light output at the end of 90minutes.

Applicable codes: NFPA 70/NEC – section 700.16, NFPA 101 Life Safety Code Section 7.9

Motion/Ambient Sensor (PIR_, PIRH_)

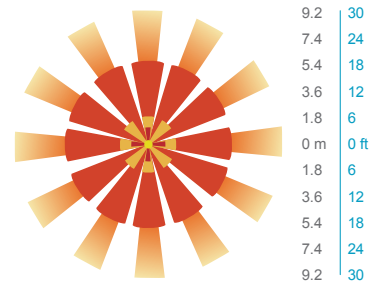
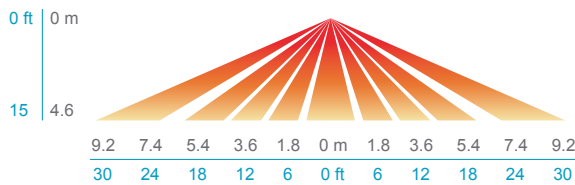
Motion/Ambient sensor (Sensor Switch MSOD) is integrated into the the luminaire. The sensor provides both Motion and Daylight based dimming of the luminaire. For motion detection, the sensor utilizes 100% Digital Passive Infrared (PIR) technology that is tuned for walking size motion while preventing false tripping from the environment. The integrated photocell enables additional energy savings during daytime periods when there is sufficient daylight. Optimize sensor coverage by either selecting PIR or PIRH option. PIR option comes with a sensor lens that is optimized to provide maximum coverage for mounting heights between 8-15ft, while PIRH is optimized for 15-40ft mounting height.

Networked Control (NLTAIR2)

nLight® AIR is a wireless lighting controls platform that allows for seamless integration of both indoor and outdoor luminaires. Five-tier security architecture, 900 MHz wireless communication and app (CLAIRITY™ Pro) based configurability combined together make nLight® AIR a secure, reliable and easy to use platform.

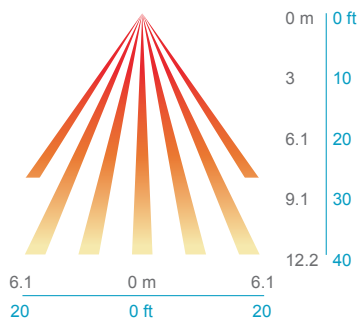
PIR

HIGH VIEW

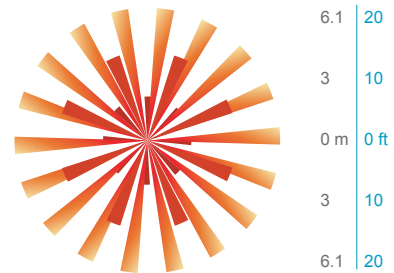


PIRH

SIDE VIEW



TOP VIEW



Option	Dim Level	High Level (when triggered)	Photocell Operation	Motion Time Delay	Ramp-down Time	Ramp-up Time
PIR or PIRH	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
PIR1FC3V, PIRH1FC3V	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 1fc	5 min	5 min	Motion - 3 sec Photocell - 45 sec
NLTAIR2 PIR, NLTAIR2 PIRH (out of box)	Motion - 3V (37% of full output) Photocell - 0V (turned off)	10V (100% output)	Enabled @ 5fc	7.5 min	5 min	Motion - 3 sec Photocell - 45 sec



Motion/Ambient Sensor

D = 7"
 H = 9" (Standalone controls)
 11" (nLight AIR controls, 2" antenna will be pointing down behind the sensor)
 W = 11.5"



PBBW – Surface-Mounted Back Box Use when there is no junction box available.

D = 1.75"
 H = 9"
 W = 11.5"



AWS – 3/8inch Architectural Wall Spacer

D = 0.38"
 H = 4.4"
 W = 7.5"

FEATURES & SPECIFICATIONS

INTENDED USE

Common architectural look, with clean rectilinear shape, of the WEDGE LED was designed to blend with any type of construction, whether it be tilt-up, frame or brick. Applications include commercial offices, warehouses, hospitals, schools, malls, restaurants, and other commercial buildings.

CONSTRUCTION

The single-piece die-cast aluminum housing integrates secondary heat sinks to optimize thermal transfer from the internal light engine heat sinks and promote long life. The driver is mounted in direct contact with the casting for a low operating temperature and long life. The die-cast door frame is fully gasketed with a one-piece solid silicone gasket to keep out moisture and dust, providing an IP66 rating for the luminaire.

FINISH

Exterior painted parts are protected by a zinc-infused Super Durable TGIC thermoset powder coat finish that provides superior resistance to corrosion and weathering. A tightly controlled multi-stage process ensures a 3 mils thickness for a finish that can withstand extreme climate changes without cracking or peeling. Standard Super Durable colors include dark bronze, black, natural aluminum, sandstone and white. Available in textured and non-textured finishes.

OPTICS

Individually formed acrylic lenses are engineered for superior application efficiency which maximizes the light in the areas where it is most needed. The WEDGE LED has zero uplight and qualifies as a Nighttime Friendly™ product, meaning it is consistent with the LEED® and Green Globes™ criteria for eliminating wasteful uplight.

ELECTRICAL

Light engine consists of high-efficacy LEDs mounted to metal-core circuit boards to maximize heat dissipation and promote long life (up to L91/100,000 hours at 25°C). The electronic driver has a power factor of >90%, THD <20%. Luminaire comes with built in 6kV surge protection, which meets a minimum Category C low exposure (per ANSI/IEEE C62.41.2). Fixture ships standard with 0-10v dimmable driver.

INSTALLATION

A universal mounting plate with integral mounting support arms allows the fixture to hinge down for easy access while making wiring connections. The 3/8" Architectural Wall Spacer (AWS) can be used to create a floating appearance or to accommodate small imperfections in the wall surface. The ICW option can be used to mount the luminaire inverted for indirect lighting in dry and damp locations. Design can withstand up to a 1.5 G vibration load rating per ANSI C136.31.

LISTINGS

CSA certified to U.S. and Canadian standards. Luminaire is IP66 rated. PIR options are rated for wet location. Rated for -40°C minimum ambient. DesignLights Consortium® (DLC) Premium qualified product and DLC qualified product. Not all versions of this product may be DLC Premium qualified or DLC qualified. Please check the DLC Qualified Products List at www.designlights.org/QPL to confirm which versions are qualified. International Dark-Sky Association (IDA) Fixture Seal of Approval (FSA) is available for all products on this page utilizing 2700K and 3000K color temperature only and SRM mounting only.

BUY AMERICAN ACT

Product with the BAA option is assembled in the USA and meets the Buy America(n) government procurement requirements under FAR, DFARS and DOT regulations. Please refer to www.acuitybrands.com/buy-american for additional information.

WARRANTY

5-year limited warranty. This is the only warranty provided and no other statements in this specification sheet create any warranty of any kind. All other express and implied warranties are disclaimed. Complete warranty terms located at: www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: March 14, 2023
APPLICANT: T. J. McDonald; *Halff and Associates*
CASE NUMBER: SP2023-009; *Amended Site Plan for SPR Packaging*

SUMMARY

Discuss and consider a request by T. J. McDonald of Halff and Associations on behalf of Carolina Molina of Alvaplast US Development, LLC for the approval of an Amended Site Plan for a *warehouse/manufacturing facility* on a 42.6034-acre parcel of land identified as a portion of Lot 2, Block 1, Indalloy Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 501 Industrial Boulevard, and take any action necessary.

BACKGROUND

The west portion on the subject property was annexed into the City of Rockwall on February 6, 1961 [Case No. A1960-001] by Ordinance No. 60-01. At the time of annexation, the west portion of the subject property was zoned Agricultural (AG) District. According to the January 3, 1972 historic zoning map, at some point between the time of annexation and January 3, 1972 the west portion of the subject property was rezoned from Agricultural (AG) District to Light Industrial (LI) District. The remainder of the subject property was annexed into the City of Rockwall on February 7, 1983 [Case No. A1983-001] by Ordinance No. 83-06. At the time of annexation, the remainder of the subject property was zoned Agricultural (AG) District. According to the May 16, 1983 historic zoning map, at some point between the time of annexation and May 16, 1983 the remainder of the subject property was rezone from Agricultural (AG) District to Light Industrial (LI) District. On March 12, 2019, the Planning and Zoning Commission approved a site plan [Case No. SP2019-004] to allow the construction of a *warehouse/manufacturing facility*. On August 5, 2019, the City Council approved a replat [Case No. P2019-028] that establish the subject property as Lot 2, Block 1, Indalloy Addition. Since the approval of the site plan the *warehouse/manufacturing facility* has been constructed. In addition to this structure the Rockwall County Appraisal District (RCAD) indicates there are four (4) storage buildings that were constructed in 1976, and two (2) other industrial buildings that were constructed in 1976 and 1978 located on the subject property.

PURPOSE

On February 17, 2023, the applicant -- T. J. McDonald of Halff and Associates -- submitted an application requesting the approval of a Site Plan for the purpose of expanding the existing *Warehouse/Manufacturing Facility* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is located at 501 Industrial Boulevard. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the intersection of Airport Road, which is classified as a M4U (*i.e. major collector, four [4] lane, undivided roadway*) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this are three (3) tracts of land, two (2) that are vacant (*i.e. Tracts 4-3 & 4-4, of the N. Butler Survey, Abstract No. 20*) and one (1) that is developed (*i.e. Tracts 4, of the N. Butler Survey, Abstract No. 20*) with a single-family home. Following this is a vacant 31.393-acre tract of land (*i.e. Tract 3, of the N. Butler Survey, Abstract No. 20*).

South: Directly south of the subject property is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. Beyond this is a 10.1893-acre parcel of land (*i.e. Lot 3, Block A, SPR Packaging Addition*) developed

with warehouse/manufacturing facility. Following this is Justin Road, which is classified as a M4D (i.e. major collector, four [4] lane, divided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

East: Directly east of the subject property is Industrial Boulevard, which is classified as a M4U (i.e. major collector, four [4] lane, undivided roadway) on the City's Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 20.0-acre parcel of land (i.e. Lot 2 of the Rockwall Service Center and Park) developed with a sports complex (i.e. Leon Tuttle Athletic Complex).

West: Directly west of the subject property are Phase 2 & 3 of the Park Place residential subdivision, which is zoned Planned Development District 59 (PD-59) for Single Family 7 (SF-7) District land uses.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* and a *Light Manufacturing* is a permitted *by-right* land use in a Light Industrial (LI) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within a Light Industrial (LI) District with the exception of the items noted in the *VariANCES and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	12,500 SF	X=11.37-Acres; In Conformance
<i>Minimum Lot Frontage</i>	100-Feet	X= 788.63-Feet; In Conformance
<i>Minimum Lot Depth</i>	125-Feet	X=584-Feet; In Conformance
<i>Minimum Front Yard Setback</i>	25-Feet	X>25-Feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-Feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-Feet; In Conformance
<i>Maximum Building Height</i>	60-Feet	X=93.4-Feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X=26.8%; In Conformance
<i>Minimum Number of Parking Spaces</i>	1 Parking Space per 300 SF for Office and 1 Parking Space per 1,000 SF for Warehouse/ Manufacturing	X=146; Exception Requested
<i>Minimum Landscaping Percentage</i>	15%	X=25%; In Conformance
<i>Maximum Impervious Coverage</i>	90-95%	X=75%; In Conformance

TREESCAPE PLAN

No trees are being removed from the subject property. Based on this, no *Treescape Plan* is required.

CONFORMANCE WITH THE CITY'S CODES

The applicant is requesting to construct *Warehouse/Distribution Center* and a *Light Manufacturing Facility* on the subject property. According to Subsection 02.02(J)(7), *Warehouse/Distribution Center*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Warehouse/Distribution Center* is defined as a "...building used primarily for the storage and distribution of goods, merchandise, supplies, and equipment including wholesalers which display, sell, and distribute merchandise to business representatives for resale..." In addition, Subsection 02.02(I)(10), *Light Manufacturing*, of Article 13, *Definitions*, of the Unified Development Code (UDC), a *Light Manufacturing* is defined as a "...facility or area for producing goods without the use of chemical processing of materials." In this case, the applicant's request for the *warehouse/manufacturing facility* land use is permitted *by-right* as stipulated by Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 07.03, *Non-Residential District Development Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the maximum building height within a Light Industrial (LI) District is 60-feet. In this case, the proposed building elevations indicate the maximum building height is 93.4-feet. That being said, the subject property has been granted a Specific Use Permit (SUP) [*Ordinance No. 19-19; S-207*] that allows for a maximum

height of 100-feet. Given this, the proposed building elevations are in accordance with the SUP. In addition to the increased building height allowance, the approved SUP allows for Silos to be located on the property; however, they must be located on the south side of the buildings, directly adjacent to the *Union Pacific/Dallas Garland NE Railroad* right-of-way. In this case, the applicant has located the silos in conformance with the SUP.

According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), parking for an *office building* is one (1) parking space per 300 SF of building area, and for warehousing it is one (1) parking space per 1,000 SF of building area. In this case, the applicant is requesting their parking be calculated in accordance with the anticipated number of employees for any given shift. The proposed site plan indicates that there are 60 employees per shift with a 50.00% overlap. Given this, the total parking they are proposing is 146 spaces for employees and visitors. Staff should note that, existing on site are 88 parking spaces. The original site plan [Case No. SP2019-004] indicated that Phase 2 would have 79 additional parking spaces, for a total of 167 parking spaces. The proposed site plan indicates that 58 parking spaces will be added for a total of 146 parking spaces. Also, the original site plan indicated that Phase 2 would be 64,950 SF of building area and the proposed site plan indicates 80,000 SF of building area. Based on the original site plan, the number of projected parking spaces has decreased by 21 spaces and the square footage of the proposed building has increased by 15,050 SF.

The proposed site plan generally conforms to the requirements of the *General Industrial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the exceptions being requested as outlined in the *Variations and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exceptions:

- (1) Parking. According to Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), parking for an *office building* is one (1) parking space per 300 SF of building area, and for warehousing it is one (1) parking space per 1,000 SF of building area. This would equate to 231 parking spaces. In this case, the applicant is requesting their parking be justified by the number of employees on site at one time. Base on this, the applicant is proposing a total 146 parking spaces, which is deficient by 85. This will require an exception from the Planning and Zoning Commission.
- (2) Building Materials.
 - (a) Stone. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), a "...minimum of 20% stone (*i.e. natural or synthetic/cultured*) is required on all building façades." In this case, the applicant is proposing a stone patterned formliner and not stone. That being said, this material matches the existing building that the proposed expansion will be attached to. This will require an exception from the Planning and Zoning Commission.
 - (b) Primary Materials. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a minimum of 90% Primary Materials..." or masonry material. That being said, the proposed materials match the existing building that the proposed expansion will be attached to. This will require an exception from the Planning and Zoning Commission.
 - (c) Secondary Materials. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), "(e)ach exterior wall of a building's façade shall consist of a maximum of 10% Secondary Materials..." In this case, the applicant is proposing greater than 10% metal on the south, east, and west elevations. This is being done to screen the extruder bays, and given the height of the extruders metal is most realistic construction material. This will require an exception from the Planning and Zoning Commission.

(d) Tilt Wall. According to Subsection 05.01 (A)(1), *Materials and Masonry Composition*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(t)he use of concrete tilt-up walls may be permitted on a case-by-case basis in accordance with the exception requirements outlined below.” In this case, the applicant is proposing a stone patterned formliner and not stone. That being said, this material matches the existing building that the proposed expansion will be attached to. This will require an exception from the Planning and Zoning Commission.

(3) Building Articulation.

(a) Primary Building Facades. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed four (4) times the wall height. In this case, the wall length requirement does not meet on the east side of the building. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

(b) Secondary Building Facades. According to Subsection 05.01 (C), *Building Articulation*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), the minimum wall length shall not exceed three (3) times the wall height. In this case, the wall length requirement is not met on the west side of the building. This will require an exception from the Planning and Zoning Commission pending a recommendation from the Architectural Review Board (ARB).

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. The applicant has indicated the following as compensatory measures: [1] plant an additional eight (8) evergreen shrubs, [2] plant five (5) additional canopy trees, and [3] plant (3) additional accent trees. The applicant’s variance letter states that they are requesting the material variances in order for the expansion to match the existing building. In addition, the applicant’s letter indicates that “...due to the unique height requirements of the equipment inside the building...” they are requesting the articulation variances. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

The Future Land Use Plan adopted with the OURHometown Vision 2040 Comprehensive Plan identifies the subject property as being situated in the Central District. The Central District “...is composed of a wide range of land uses that vary from single-family to industrial.” In addition, the Central District “...incorporates a high volume of industrial land uses adjacent to the *Union Pacific/Dallas Garland and Northeastern Rail Road* line that bisects the district -- and *City* -- in an east/west direction.” The Future Land Use Map contained in the OURHometown Vision 2040 Comprehensive Plan, indicates that the subject property should be developed with industrial land uses. In this case, the applicant is expanding the existing industrial land use. Based on this, the applicant’s proposal appears to conform with the goals and policies of the Comprehensive Plan.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On February 28, 2023 the Architecture Review Board reviewed the building elevations provided by the applicant and requested the applicant ensure the RTUs are fully screened and to stamp the smooth band on the west elevations. The ARB will review the revised building elevations at the March 14, 2023 meeting and make recommendation to the Planning and Zoning Commission. Based on the revised building elevation submit by the applicant they have addressed the ARB comments.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant's Amended Site Plan for the construction of a *warehouse/manufacturing facility* on the *subject property*, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans.
- (2) All roof top equipment shall be fully screened from all adjacent properties and public right-of-way.
- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

IF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹

PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹

FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹

REPLAT (\$300.00 + \$20.00 ACRE) ¹

AMENDING OR MINOR PLAT (\$150.00)

PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

SITE PLAN (\$250.00 + \$20.00 ACRE) ¹

AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹

SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ¹

PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

TREE REMOVAL (\$75.00)

VARIANCE REQUEST (\$100.00)

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS **501 INDUSTRIAL BLVD, ROCKWALL TX 75087**

SUBDIVISION **INDALLOY ADDITION** LOT **2** BLOCK **1**

GENERAL LOCATION **INTERSECTION OF RAILROAD RD AND INDUSTRIAL BLVD; NORTH OF I-30**

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING **LIGHT INDUSTRIAL** CURRENT USE **OFFICE, WAREHOUSE, MANUFACTURING**

PROPOSED ZONING **LIGHT INDUSTRIAL** PROPOSED USE **OFFICE, WAREHOUSE, MANUFACTURING**

ACREAGE **11.37 AC** LOTS [CURRENT] **1** LOTS [PROPOSED] **1**

SITE PLANS AND PLATS: BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

<input type="checkbox"/> OWNER ALVAPLAST US DEVELOPMENT LLC	<input checked="" type="checkbox"/> APPLICANT HALFF ASSOCIATES
CONTACT PERSON CAROLINA MOLINA	CONTACT PERSON TJ MCDONALD
ADDRESS 1480 JUSTIN ROAD	ADDRESS 3803 PARKWOOD BLVD, SUITE 800
CITY, STATE & ZIP ROCKWALL, TX 75087	CITY, STATE & ZIP FRISCO, TX 75034
PHONE 469-402-1232	PHONE 214-937-3939
E-MAIL CMolina@sprpackaging.com	E-MAIL tjcdonald@halff.com

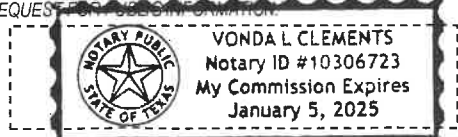
NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Marcus McKee [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 477.40 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 15 DAY OF February 2023 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15th DAY OF February 2023

OWNER'S SIGNATURE [Signature]



NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS [Signature]

MY COMMISSION EXPIRES 1/5/2025

PD-87

Feet

0 55 110 220 330 440

SP2023-009: Site Plan for SPR Packaging

E WASHINGTON ST

AG

G

ALUMINUM PLANT RD

AIRPORT RD

LI

INDUSTRIAL BLVD

Case Location Map = 



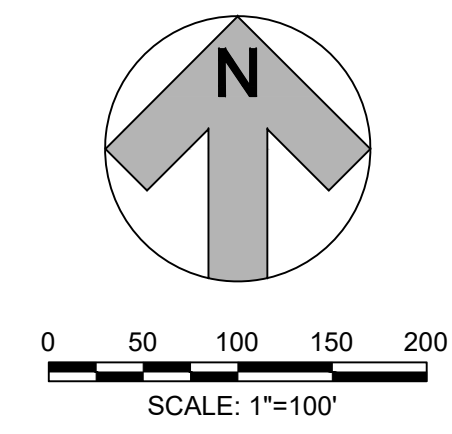
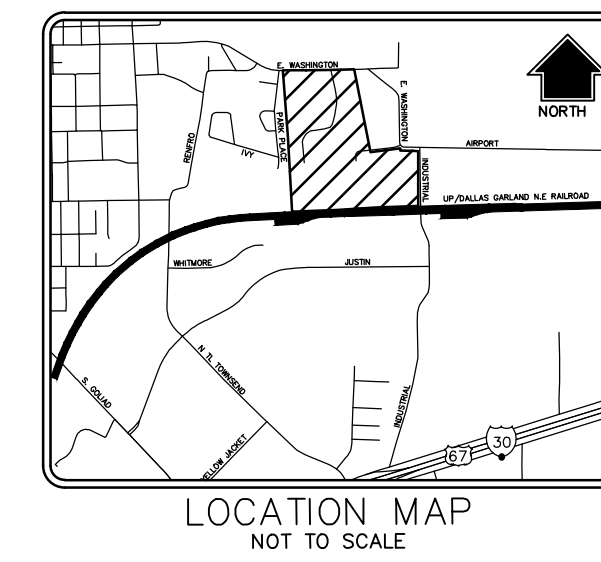
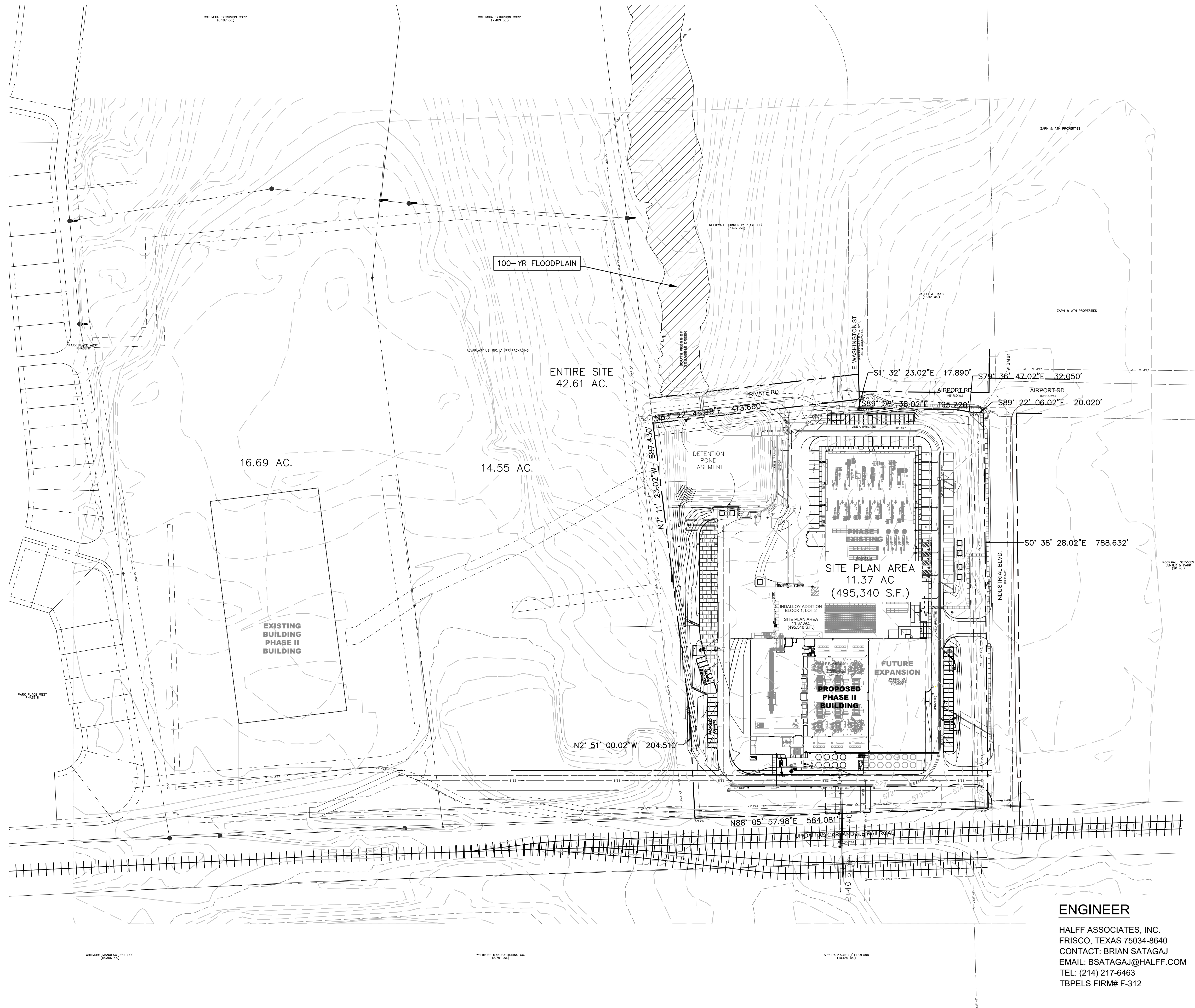
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



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drawn: TJM
checked: BMS
date: 03/07/2023

#	DATE	DESCRIPTION

03/07/2023

PRELIMINARY

FOR INTERIM REVIEW ONLY
These documents are for Interim Review and not intended for Construction, Bidding, or Permit Purposes. They were prepared by, or under the supervision of:

BRIAN M. SATAGAJ P.E. 107708
NAME P.E. NO.
DATE 3/7/2023
TBPELS Engineering Firm #312

- BENCHMARK 1**
 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTH-EAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER ELEVATION=580.82'
- BENCHMARK 2**
 CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER ELEVATION =577.13'



SURVEYOR

HALFF ASSOCIATES, INC.
RICHARDSON, TEXAS 75081
CONTACT: DREW CHAVCHALOV
EMAIL: DCHAVCALOV@HALFF.COM
TEL: (214) 217-6461
TBPELS FIRM# F-312

DEVELOPER/OWNER

ALVAPLAST US DEVELOPMENT LLC
1480 JUSTIN ROAD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

ENGINEER

HALFF ASSOCIATES, INC.
FRISCO, TEXAS 75034-8640
CONTACT: BRIAN SATAGAJ
EMAIL: BSATAGAJ@HALFF.COM
TEL: (214) 217-6463
TBPELS FIRM# F-312

ARCHITECT

PROSS DESIGN GROUP, INC.
DALLAS, TEXAS 75230-8640
CONTACT: DAVID MORALES
EMAIL: DMORALES@PDGARCH.COM
TEL: (972) 759-1400

LANDSCAPE ARCHITECT

BELLE FIRMA
4245 NORTH CENTRAL EXPY
SUITE 501
DALLAS, TX 75205
CONTACT: KORI HAUG
EMAIL: KHAUG@BELLEFIRMA.COM
TEL: 214-865-7192

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

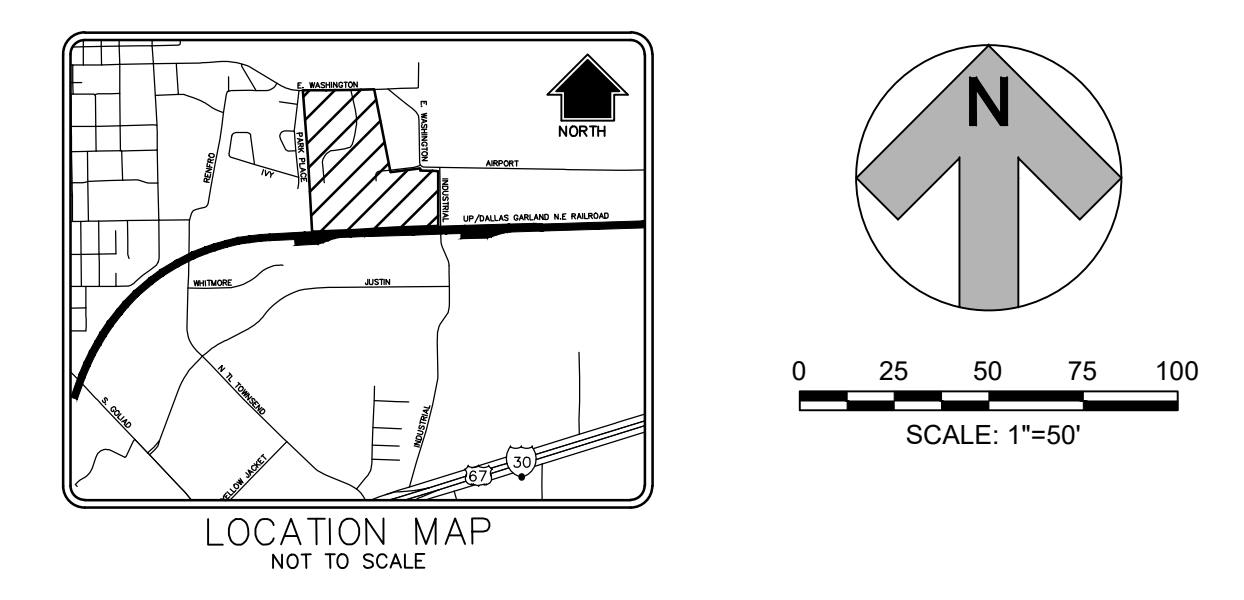
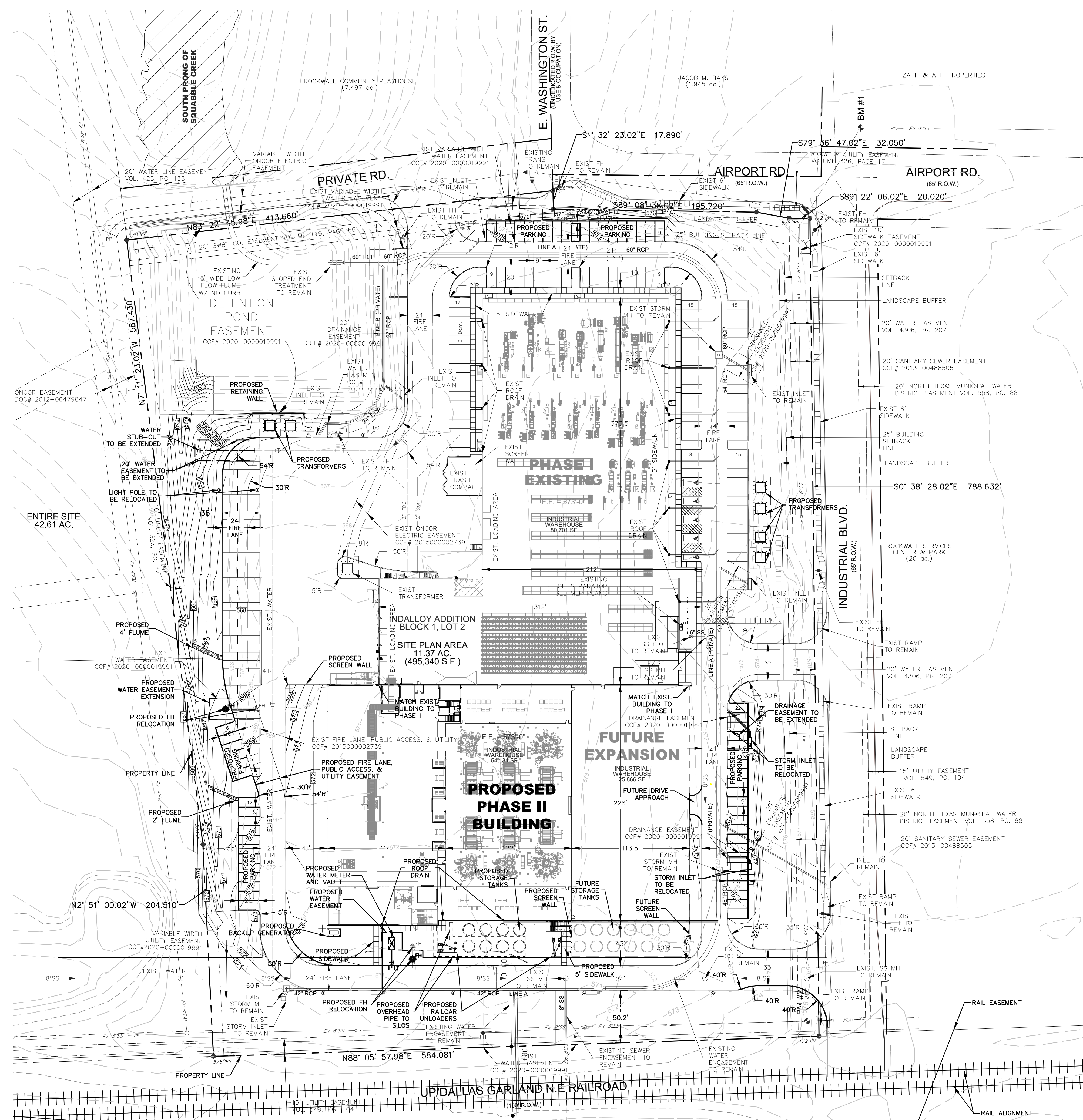
FOR 11.37 AC. OF INDALLOY ADDITION, BLOCK 1, LOT 2
ROCKWALL, TEXAS



job no
OVERALL SITE PLAN
sheet
CO.01

CASE NO. SP2023-009

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SITE DATA:

CURRENT ZONING:	(L) LIGHT INDUSTRIAL
PROPOSED LAND USE:	OFFICE, WAREHOUSE, MANUFACTURING
TOTAL SITE AREA:	11.37 AC. (495,340 SF)

BUILDING:

PHASE 1	
1st FLOOR EXISTING	78,682 SF
2nd FLOOR EXISTING	536 SF
2nd FLOOR NEW	1,483 SF
TOTAL	80,701 SF
PHASE 2	
1st FLOOR	54,134 SF
2nd FLOOR	34,291 SF
TOTAL	88,425 SF
FUTURE EXPANSION (ESTIMATED)	
1st FLOOR	25,866 SF

PARKING:

NOTE:
REQUIRED PARKING CALCULATED PER OWNER PROVIDED EMPLOYEE & SHIFT DATA REFERENCE VARIANCE REQUEST SUBMITTED WITH SITE PLAN

EMPLOYEES PER SHIFT = 60 ON 50% STAGGERED/OVERLAPPING SCHEDULE

EMPLOYEE PARKING SPACES REQUIRED = 90 SPACES
VISITOR PARKING SPACES REQUIRED = 20 SPACES
TOTAL PARKING SPACES REQUIRED = 110 SPACES
TOTAL PARKING SPACES PROVIDED = 146 SPACES

ACCESSIBLE SPACES REQUIRED = 5 SPACES
ACCESSIBLE SPACES PROVIDED = 5 SPACES
*SPACES ARE INCLUDED IN TOTAL ABOVE

EXISTING LEGEND

	FIRE DEPARTMENT CONNECTION
	FIRE HYDRANT
	WATER VALVE
	SANITARY SEWER MANHOLE
	POWER POLE
	STORM MANHOLE
	WATERLINE
	SEWER LINE
	EASEMENT LINE
	PROPERTY LINE
	CONTOUR LINE

LEGEND

	7" THICK, 3600 PSI CONCRETE PAVEMENT (6.5 SACK MIX) WITH #3 BARS AT 18" O.C.E.W. OVER LIME TREATED SUBGRADE PER GEOTECHNICAL RECOMMENDATIONS
--	--

- BENCHMARK 1
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 100 FEET NORTHEAST OF THE EASTERN-MOST NORTHEAST PROPERTY CORNER ELEVATION=580.82'
- BENCHMARK 2
CENTER OF SANITARY SEWER MANHOLE LID, LOCATED 18.5 FEET NORTHWEST OF THE SOUTHEAST PROPERTY CORNER ELEVATION =577.13'

SURVEYOR

HALFF ASSOCIATES, INC.
RICHARDSON, TEXAS 75081
CONTACT: DREW CHAVCHALOV
EMAIL: DCHAVCALOV@HALFF.COM
TEL: (214) 217-6461
TBPELS FIRM# F-312

DEVELOPER/OWNER

ALVAPLAST US DEVELOPMENT LLC
1480 JUSTIN ROAD
ROCKWALL, TX 75087
CONTACT: CAROLINA MOLINA
EMAIL: CMOLINA@SPRPACKAGING.COM
TEL: 469-402-1232

ENGINEER

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FRISCO, TEXAS 75034-8640
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WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

drawn:
TJM
checked:
BWS
date:
03/07/2023

DESCRIPTION	DATE

03/07/2023

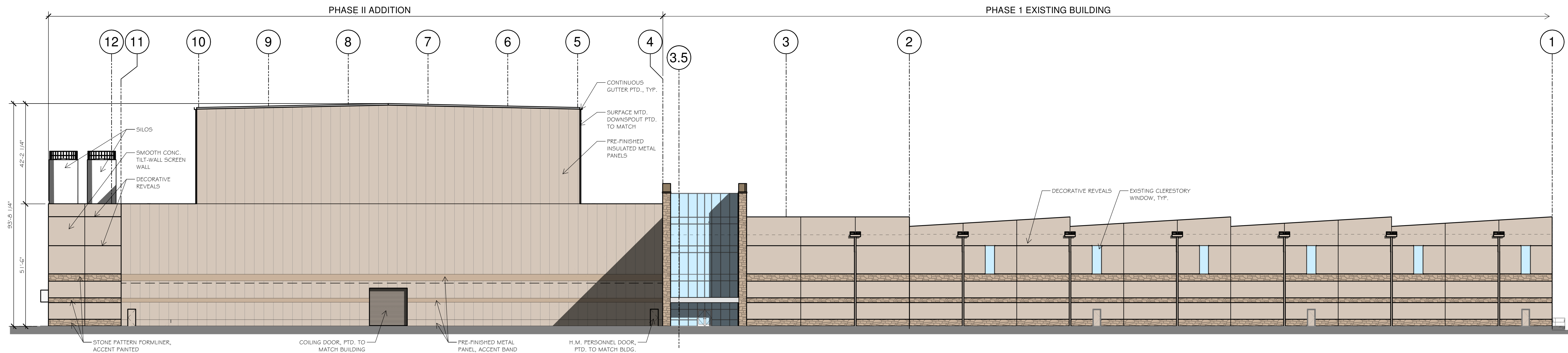
PRELIMINARY
FOR INTERIM REVIEW ONLY
These documents are for interim review and not intended for Construction, Bidding, or Permit Purposes. They were prepared by, or under the supervision of:

BRIAN M. SATAGAJ P.E. 107708
NAME P.E. NO.
DATE 3/8/2023
TBPELS Engineering Firm #312



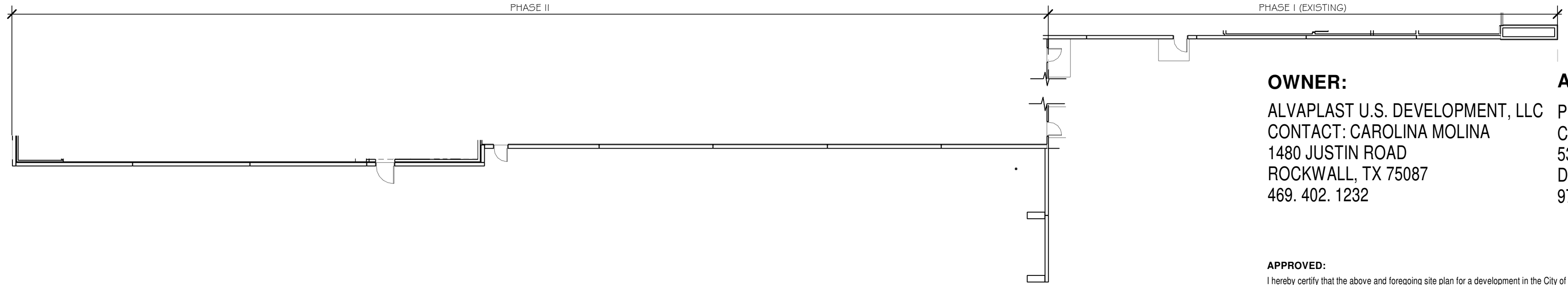
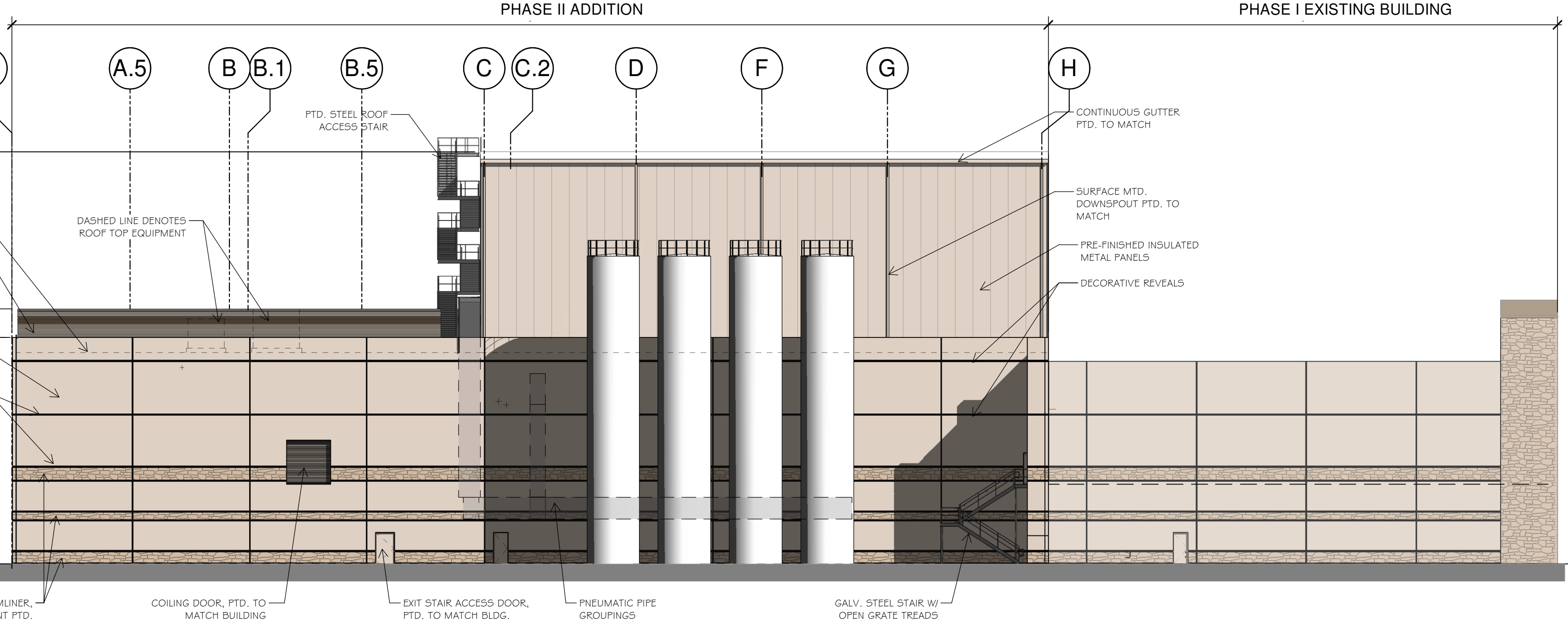
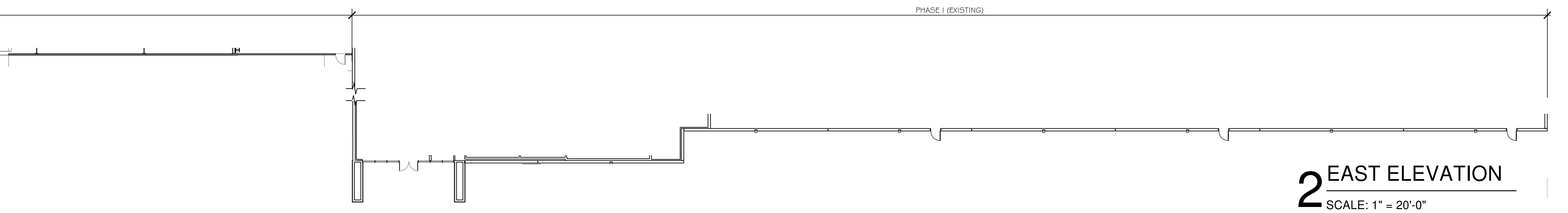
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DETAIL SITE PLAN
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PAINT SCHEME LEGEND	
(A) BASE PAINT COLOR	SHERWIN WILLIAMS - SW 9085 TOUCH OF SAND
(B) ACCENT PAINT COLOR 01	SHERWIN WILLIAMS - SW 7518 BEACH HOUSE
(C) ACCENT PAINT COLOR 02	SHERWIN WILLIAMS - SW 7550 RESORT TAN
(D) METAL PANEL - ACCENT TRIM	METAL SPAN WEATHERXL- SADDLE TAN
(E) METAL PANEL - FIELD	MORIN MATRIX MX-1- T.B.D.
(F) METAL PANEL - ACCENT TRIM	MORIN MATRIX MX-1- T.B.D.

FACADE MATERIAL CALCULATIONS				
	NORTH	SOUTH	EAST	WEST
TOTAL FACADE SQ. FT.	16,964 S.F.	32,427 S.F.	28,696 S.F.	47,585 S.F.
FACADE SQ. FT. EXCLUDING DOORS & WINDOWS	16,360 S.F.	31,917 S.F.	25,731 S.F.	44,904 S.F.
DOORS AND WINDOWS	604 S.F.	510 S.F.	2,965 S.F.	2,681 S.F.
INSULATED METAL PANELS (IMP)	43 S.F.	5,859 S.F.	7,129 S.F.	7,129 S.F.
	0.3 %	19.0 %	28.0 %	16.0 %
PERFORATED SCREEN WALL	978 S.F.	723 S.F.	0 S.F.	1717 S.F.
	6.0 %	2.0 %	0.0 %	4.0 %
MASONRY TOTAL	15,339 S.F.	25,335 S.F.	18,602 S.F.	36,058 S.F.
	93.7 %	79.0 %	72.0 %	80.0 %



1 SOUTH ELEVATION
SCALE: 1" = 20'-0"

2 EAST ELEVATION
SCALE: 1" = 20'-0"

OWNER:
 ALVPLAST U.S. DEVELOPMENT, LLC
 CONTACT: CAROLINA MOLINA
 1480 JUSTIN ROAD
 ROCKWALL, TX 75087
 469. 402. 1232

ARCHITECT:
 PROSS DESIGN GROUP, INC.
 CONTACT: ROBERT PROSS
 5310 HARVEST HILL RD., SUITE 180
 DALLAS, TX 75230
 972. 759. 1400

APPROVED:
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WITNESS OUR HANDS, this _____ day of _____, 2023.

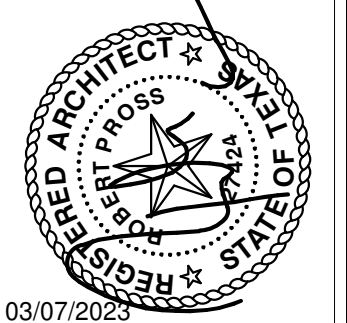
 Planning & Zoning Commission, Chairman

 Director of Planning and Zoning

CASE NO: SP2023-009

drawn: MA
 checked: ROBERT PROSS
 date: 03/07/2023

#	DATE	DESCRIPTION



03/07/2023

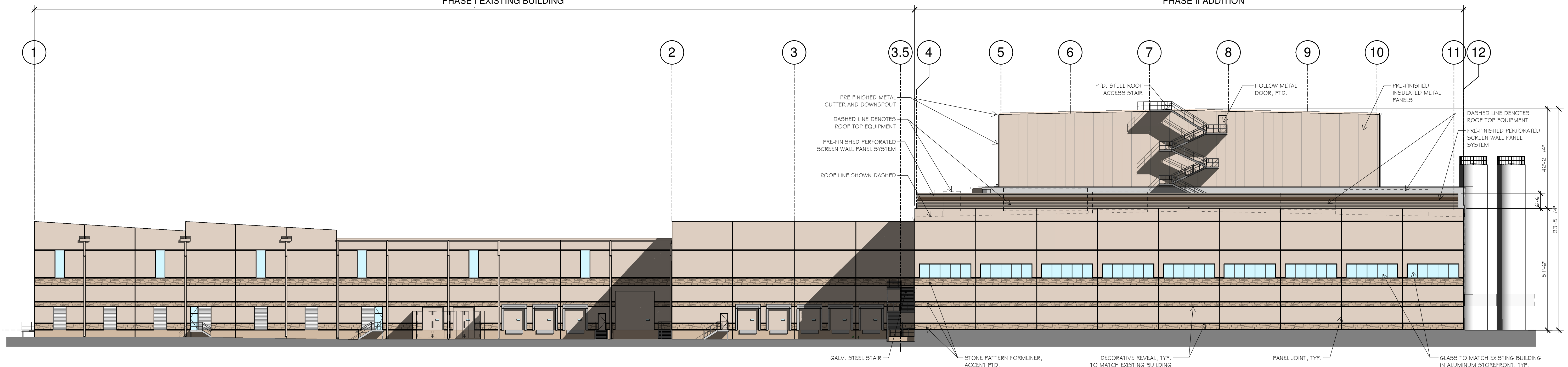
pross design group, incorporated
 5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230. 972/759-1400

SPR PACKAGING
 SPR NORTH - PHASE II
 ROCKWALL, TEXAS

job no
 2033
 sheet
A3-0

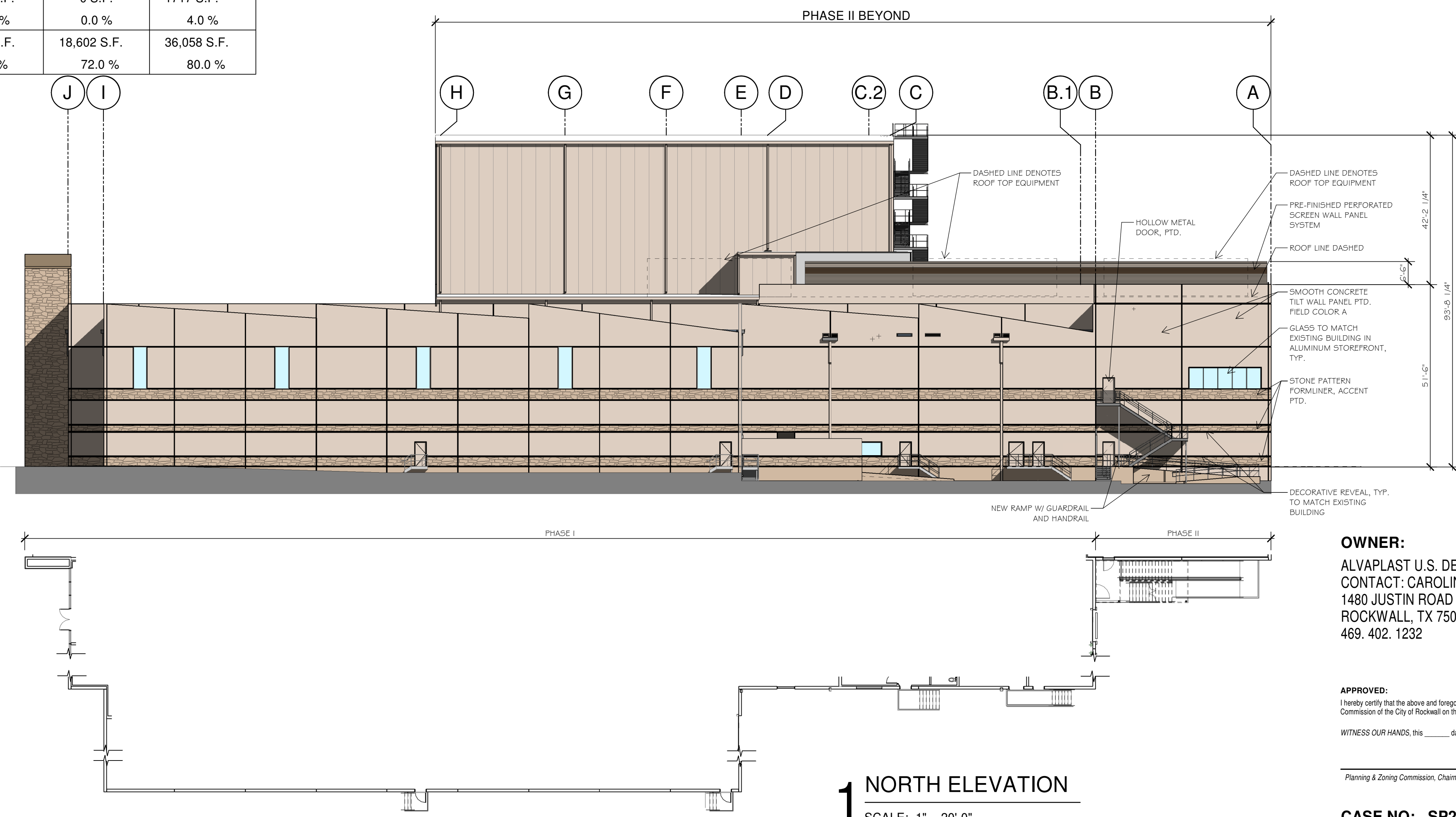
PHASE I EXISTING BUILDING

PHASE II ADDITION



FACADE MATERIAL CALCULATIONS				
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PERFORATED SCREEN WALL	978 S.F. 6.0 %	723 S.F. 2.0 %	0 S.F. 0.0 %	1717 S.F. 4.0 %
MASONRY TOTAL	15,339 S.F. 93.7 %	25,335 S.F. 79.0 %	18,602 S.F. 72.0 %	36,058 S.F. 80.0 %

PAINT SCHEME LEGEND	
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2 WEST ELEVATION
SCALE: 1" = 20'-0"

1 NORTH ELEVATION
SCALE: 1" = 20'-0"

OWNER:
ALVPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469. 402. 1232

ARCHITECT:
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5310 HARVEST HILL RD., SUITE 180
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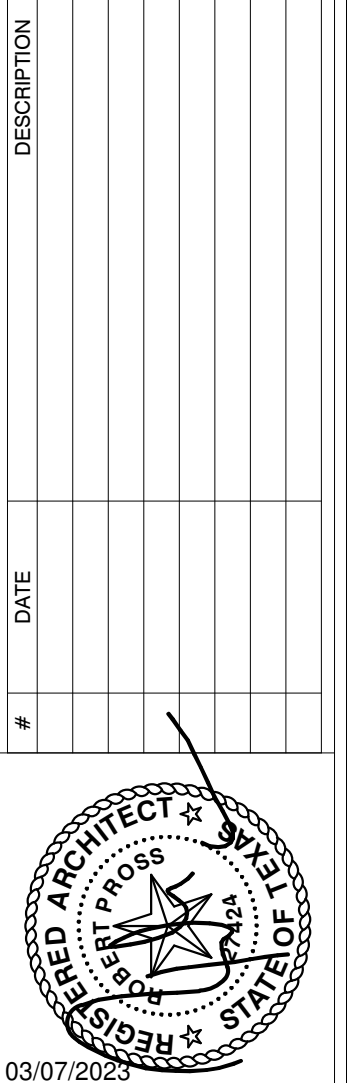
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Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NO: SP2023-009

drawn: MA
checked: ROBERT PROSS
date: 03/07/2023



03/07/2023

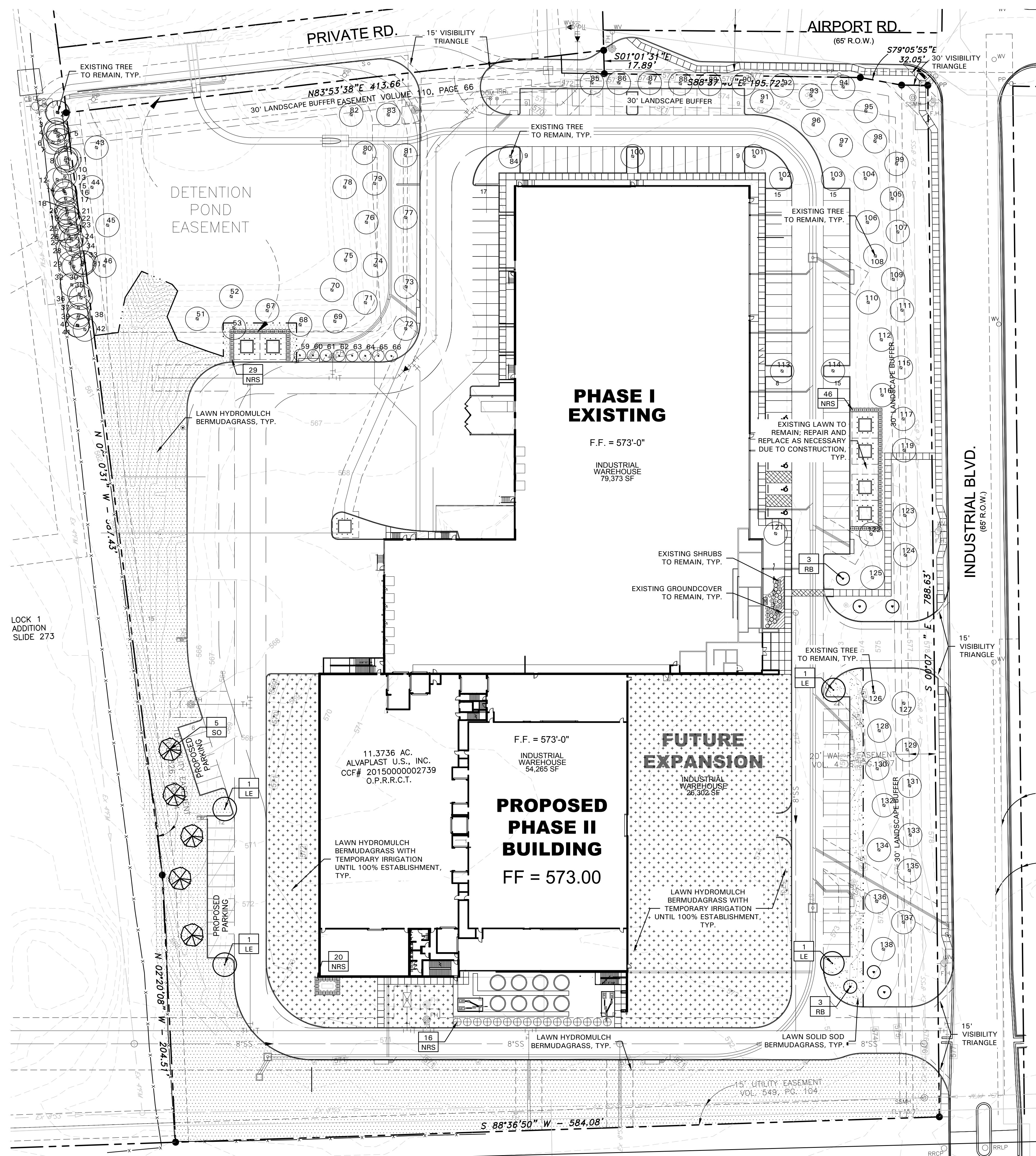
pross design group, incorporated
5310 Harvest Hill Road, Suite 180, Dallas, Texas 75230. 972/759-1400

SPR PACKAGING
SPR NORTH - PHASE II
ROCKWALL, TEXAS

job no
2033
sheet
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LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR SHALL PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL FINISHED GRADE IN PLANTING AREAS AND 1" BELOW FINAL FINISHED GRADE IN LAWN AREAS.
- ALL PLANTING BEDS AND LAWN AREAS SHALL BE SEPARATED BY STEEL EDGING. NO STEEL EDGING SHALL BE INSTALLED ADJACENT TO BUILDINGS, WALKS, OR CURBS. CUT STEEL EDGING AT 45 DEGREE ANGLE WHERE IT INTERSECTS WALKS AND CURBS.
- TOP OF MULCH SHALL BE 1/2" MINIMUM BELOW THE TOP OF WALKS AND CURBS.
- ALL LAWN AREAS SHALL BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- ALL REQUIRED LANDSCAPE AREAS SHALL BE PROVIDED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM WITH RAIN AND FREEZE SENSORS AND EVAPOTRANSPIRATION (ET) WEATHER-BASED CONTROLLERS AND SAID IRRIGATION SYSTEM SHALL BE DESIGNED BY A QUALIFIED PROFESSIONAL AND INSTALLED BY A LICENSED IRRIGATOR.
- CONTRACTOR SHALL PROVIDE BID PROPOSAL LISTING UNIT PRICES FOR ALL MATERIAL PROVIDED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.

SOLID SOD NOTES

- PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDAGRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

LANDSCAPE TABULATIONS
THE CITY OF ROCKWALL, TEXAS

STREET LANDSCAPING

- 30' wide landscape buffer with one tree per 50 l.f.

INDUSTRIAL BLVD.: 789 l.f.	Required	Provided
(16) trees, 3" cal.	(16) existing trees, 4" cal. +	
AIRPORT RD.: 248 l.f.	Required	Provided
(5) trees, 3" cal.	(5) existing trees, 4" cal. +	

PARKING LOT LANDSCAPING

- 5% of the interior parking lot shall be landscape.
- One (1) tree for every ten (10) parking spaces.
- All parking spaces shall be a minimum eighty (80) feet from a tree.

Total interior parking lot area: 38,589 s.f.		
Total parking spaces: 88 spaces		
Required	Provided	
1,930 s.f. (5%)	3,164 s.f. (16%)	
(9) trees	(9) existing trees	

SITE LANDSCAPING

- 10% of the total site shall be landscaped for LIGHT INDUSTRIAL.
- 100% of the total requirements shall be located in the front of and along side buildings for LIGHT INDUSTRIAL.

Total site: 11.37 AC; 495,440 s.f.		
Required	Provided	
49,544 s.f. (10%)	263,051 s.f. (25%)	
49,544 s.f. (100%)	168,924 s.f.	

DETENTION BASIN REQUIREMENTS

- A minimum of one (1) tree for every 750 s.f. of dry land area.

Dry Land Area: 17,143 s.f.		
Required	Provided	
(23) trees	(23) existing trees	

INCREASED LANDSCAPING

- Materials and Masonry Composition
- Above Ground Silo Screening
- Parking

Provided:

- (5) Additional trees along west parking row.
- (6) Ornamental trees added at existing entry drives.
- (16) Evergreen screening shrubs provided around silos.

CITY OF ROCKWALL NOTES

- NO TREES WITHIN 5'-0" OF ANY UTILITIES
- IRRIGATION SYSTEM WILL MEET REQUIREMENTS IN THE UDC

OWNER:
ALVAPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469.402.1232

ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: ROBERT PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972.759.1400

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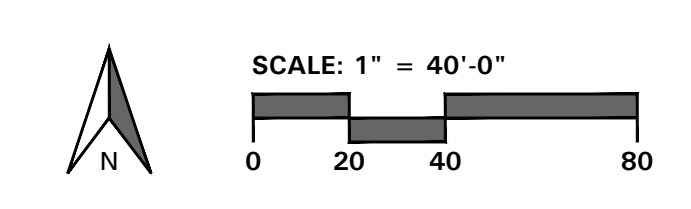
WITNESS OUR HANDS, this _____ day of _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NO: SP2023-009

LANDSCAPE PLAN



- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

drawn: [initials] checked: [initials] date: 03/07/2023

DATE	DESCRIPTION
03/07/2023	REGISTERED LANDSCAPE ARCHITECT

PROSS DESIGN GROUP, INCORPORATED
5010 Harvest Hill Road, Suite 180, Dallas, Texas 75230

SPR PACKAGING
SPR NORTH - PHASE II
ROCKWALL, TEXAS

job no _____
sheet **L2.01**

SECTION 32 9300 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

A. Refer to Landscape Plans, notes, details, bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

A. Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

1. Planting (trees, shrubs and grasses)
2. Bed preparation and fertilization
3. Notification of sources
4. Water and maintenance until final acceptance
5. Guarantee

1.3 REFERENCE STANDARDS

- A. American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1980, Edition; by American National Standards Institute, Inc. (Z60.1) - plant material
- B. American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- C. Texas Association of Nurserymen, Grades and Standards
- D. Hortis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

A. Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, crushed stone, steel edging and tree stakes. Samples shall be approved by Owner's Authorized Representative before use on the project.

1.5 JOB CONDITIONS

A. General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below final finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the final finish grade of sidewalks, drives and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.

B. Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- A. Maintenance:
1. The Landscape Contractor shall be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show healthy growth and satisfactory foliage conditions.
 2. Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 3. A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by the Owner's Authorized Representative will be completed prior to written acceptance.
- B. Guarantee:

1. Trees, shrubs and groundcover shall be guaranteed for a twelve (12) month period after final acceptance. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry have been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - a. Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including roots in lawn, shall be repaired as a result of making replacements shall be immediately repaired.
 - b. At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - c. When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with the contract requirements. All replacements are to be included under "Work" of this section.
2. The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
3. The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
4. Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a complete, undamaged condition and there is a stand of grass in all lawn areas. At that time, the Owner will assume maintenance on the accepted work.

C. Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting. In the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense to the Landscape Contractor.

1.7 QUALITY ASSURANCE

- A. General: Comply with applicable federal, state, county and local regulations governing landscape materials and work.
- B. Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- C. Selection of Plant Material:
1. Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will ensure the purchased materials will meet and / or exceed project specifications.
 2. Substitutions: Do not make plant material substitutions. If the specified landscape material is not obtainable, submit proof of non-availability to Landscape Architect, together with proposal for use of equivalent material. At the time bids are submitted, the Contractor is assumed to have located the materials necessary to complete the job as specified.
 3. Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
 4. Measurements: Measure trees with branches and trunks or canes in their normal position. Do not prune to obtain required sizes. Take caliper measurements six inches above ground for trees up to and including 4" caliper size, and twelve inches above ground for larger sizes. Measure main body of all plant material of height and spread dimensions,

do not measure from branch or root tip-to-tip.

5. Owner's Authorized Representative shall inspect all plant material with requirements for genus, species, cultivar / variety size and quality.
6. Owner's Authorized Representative retains the right to further inspect all plant material upon arrival to the site and during installation for size and condition of root balls and root systems, limbs, branching habit, insects, injuries and latent defects.
7. Owner's Authorized Representative may reject unsatisfactory or defective material at any time during the process work. Remove rejected materials immediately from the site and replace with acceptable material at no additional cost to the Owner. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

- A. Preparation:
1. Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape and future development.
 2. Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.
- B. Delivery:
1. Deliver packaged materials in sealed containers showing weight analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored on site.
 2. Deliver only plant materials that can be planted in one day unless adequate storage and watering facilities are available on job site.
 3. Protect root balls by heeling in with sawdust or other approved moisture retaining material if not planted within 24 hours of delivery.
 4. Protect plants during delivery to prevent damage to root balls or desiccation of leaves. Keep plants moist at all times. Cover all materials during transport.
 5. Notify Owner's Authorized Representative of delivery schedule 72 hours in advance job site.
 6. Remove rejected plant material immediately from job site.
 7. To avoid damage or stress, do not lift, move, adjust to plumb, or otherwise manipulate plants by trunk or stems.

PART 2 - PRODUCTS

2.1 PLANTS

- A. General: Well-formed No. 1 grade or better nursery grown stock. Listed plant heights are from tops of root balls to nominal tops of plants. Plant spread refers to nominal outer width of the plant, not to the outer leaf tips. Plants will be individually approved by the Owner's Authorized Representative and his decision as to their acceptability shall be final.
- B. Quantities: The drawings and specifications are complimentary. Anything called for on one and not the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- C. Quality and size: Plant materials shall conform to the size given on the plan, and shall be healthy, symmetrical, well-shaped, full branched and well rooted. The plants shall be free from injurious insects, diseases, injuries to the bark or roots, broken branches, objectionable disfigurements, insect eggs and larvae, and are to be of specimen quality.
- D. Approval: All plants which are found unsuitable in growth, or are in any unhealthy, badly shaped or undersized condition will be rejected by the Owner's Authorized Representative either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plant as

specified at no additional cost to the Owner.

- E. Trees shall be healthy, full-branched, well-shaped, and shall meet the minimum trunk and diameter requirements of the plant schedule. Balls shall be firm, neat, slightly tapered and well wrapped in burlap. Any tree loose in the ball or with a broken root ball at time of planting will be rejected. Balls shall be ten (10") inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball. (Nomenclature conforms to the customary nursery usage. For clarification, the term "multi-trunk" defines a plant having three (3) or more trunks of nearly equal diameter.)
- F. Pruning: All pruning of trees and shrubs, as directed by the Landscape Architect prior to final acceptance, shall be executed by the Landscape Contractor at no additional cost to the Owner.

2.2 SOIL PREPARATION MATERIALS

- A. Sandy Loam:
1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallegrass or Nutgrass shall be rejected.
 2. Physical properties as follows:
 - a. Clay - between 7-27 percent
 - b. Silt - between 15-25 percent
 - c. Sand - less than 52 percent
 3. Organic matter shall be 3%-10% of total dry weight.
 4. If requested, Landscape Contractor shall provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- B. Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of coarse and fine textured material.
- C. Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- D. Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- E. Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- F. Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- G. Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulfur and 4% iron, plus micronutrients.
- H. Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

- A. Steel Edging: All steel edging shall be 3/16" thick x 4" deep x 16' long with 6 stakes per section, painted black at the factory as manufactured by The J.D. Russell Company and under its trade name DURAEDEGE Heavy Duty Steel.
- B. Staking Material for Shade Trees: refer to details.
- C. Gravel: Washed native pea gravel, graded 1 inch to 1-1/2 inch.
- D. Filter Fabric: 'Mirafi Mirascape' by Mirafi Construction Products available at Lone Star Products, Inc., (469) 523-0444 or approved equal.
- E. River Rock: 'Colorado' or native river rock, 2" - 4" dia.

F. Decomposed Granite: Base material shall consist of a natural material mix of granite aggregate not to exceed 1/8" diameter in size and shall be composed of various stages of decomposed earth base.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- A. Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- B. All planting areas shall be conditioned as follows:
1. Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per Manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 2. All planting areas shall receive a two (2") inch layer of specified mulch.
 3. Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- C. Grass Areas:
1. Blocks of sod should be laid joint to joint (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.

3.2 INSTALLATION

- A. Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- B. Plant materials shall be delivered to the site only after the beds are prepared and areas are ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- C. Position the trees and shrubs in their intended location as per plan.
- D. Notify the Owner's Authorized Representative for inspection and approval of all positioning of plant materials.
- E. Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.
- F. Shrub and tree pits shall be no less than twenty-four (24") inches wider than the lateral dimension of the earth ball and six (6") inches deeper than it's vertical dimension. Remove and haul from site all rocks and stones over three-quarter (3/4") inch in diameter. Plants should be thoroughly moist before removing containers.
- G. Dig a wide, rough sided hole exactly the same depth as the height of the ball, especially at the surface of the ground. The sides of the hole should be rough and jagged, never slick or glazed.
- H. Percolation Test: Fill the hole with water. If the water level does not percolate within 24 hours, the tree needs to move to another location or have drainage added. Install a PVC stand pipe per

tree planting detail as approved by the Landscape Architect if the percolation test fails.

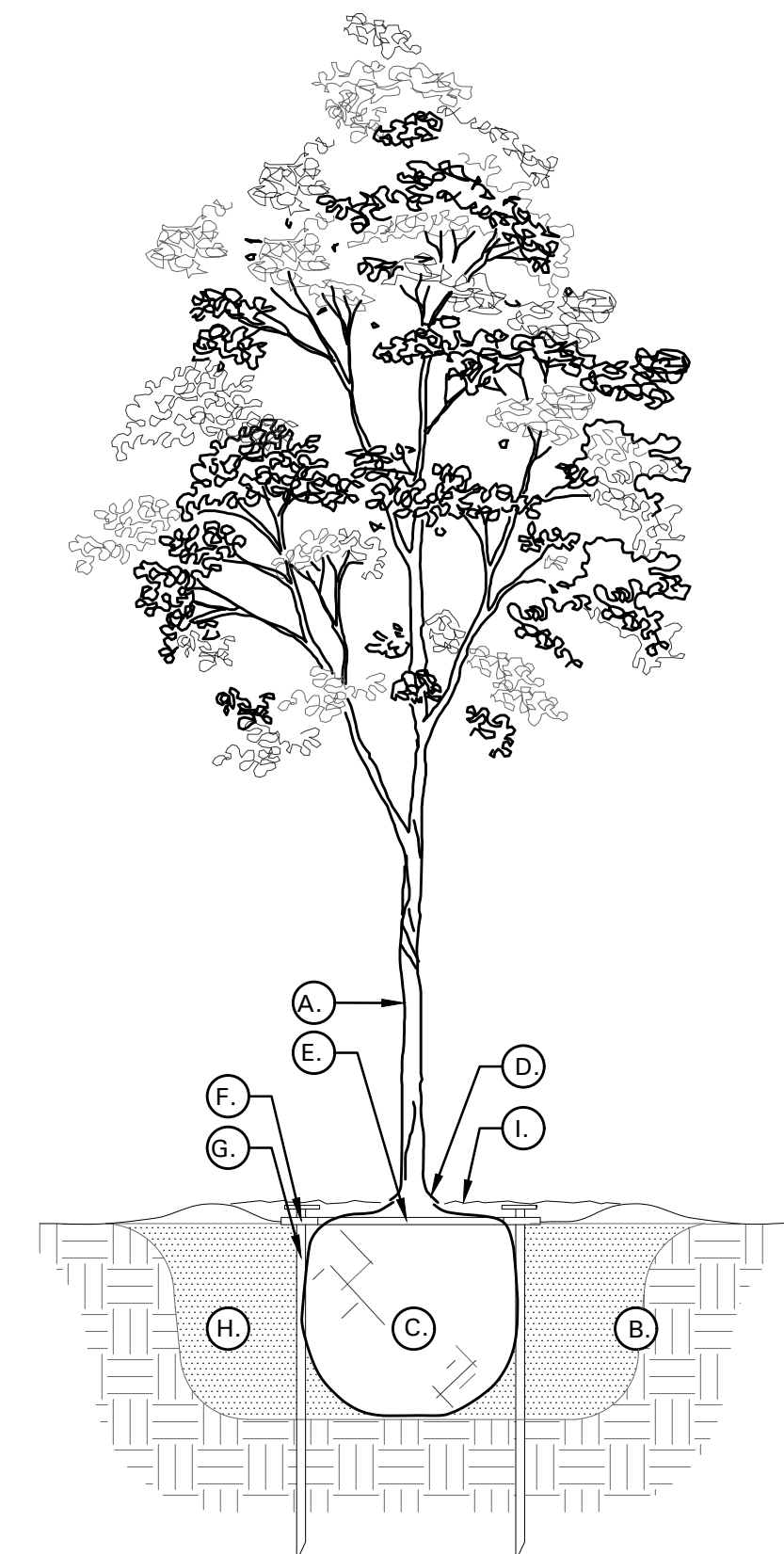
- I. Backfill only with 5 parts existing soil or sandy loam and 1 part bed preparation. When the hole is dug in solid rock, topsoil from the same area should not be used. Carefully settle by watering to prevent air pockets. Remove the burlap from the top 1/2 of the ball, as well as all nylon, plastic string and wire. Container trees will usually be root banded, if so follow standard nursery practice of "root scoring".
- J. Do not wrap trees.
- K. Do not over prune.
- L. Mulch the top of the ball. Do not plant grass all the way to the trunk of the tree. Leave the area above the top of the ball and mulch with at least two (2") inches of specified mulch.
- M. All plant beds and trees to be mulched with a minimum settled thickness of two (2") inches over the entire bed or pit.
- N. Obstruction below ground: In the event that rock, or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Owner. Where locations cannot be changed, the obstructions shall be removed to a depth of not less than three (3') feet below grade and no less than six (6") inches below the bottom of ball when plan is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- O. Trees and large shrubs shall be staked as site conditions require. Position stakes to secure trees against seasonal prevailing winds.
- P. Pruning and Mulching: Pruning shall be directed by the Landscape Architect and shall be pruned in accordance with standard horticultural practice following Fine Pruning, Class I pruning standards provided by the National Arborist Association.
 1. Dead wood, suckers, broken and badly bruised branches shall be removed. General tipping of the branches is not permitted. Do not cut terminal branches.
 2. Pruning shall be done with clean, sharp tools.
 3. Immediately after planting operations are completed, all tree pits shall be covered with a layer of organic material two (2") inches in depth. This limit of the organic material for trees shall be the diameter of the plant pit.
- Q. Steel Curbing Installation:
 1. Curbing shall be aligned as indicated on plans. Stake out limits of steel curbing and obtain Owners approval prior to installation.
 2. All steel curbing shall be free of kinks and abrupt bends.
 3. Top of curbing shall be 1/2" maximum height above final finished grade.
 4. Stakes are to be installed on the planting bed side of the curbing, as opposed to the grass side.
 5. Do not install steel edging along sidewalks or curbs.
 6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

3.3 CLEANUP AND ACCEPTANCE

- A. Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized so that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing them at end of each work day.

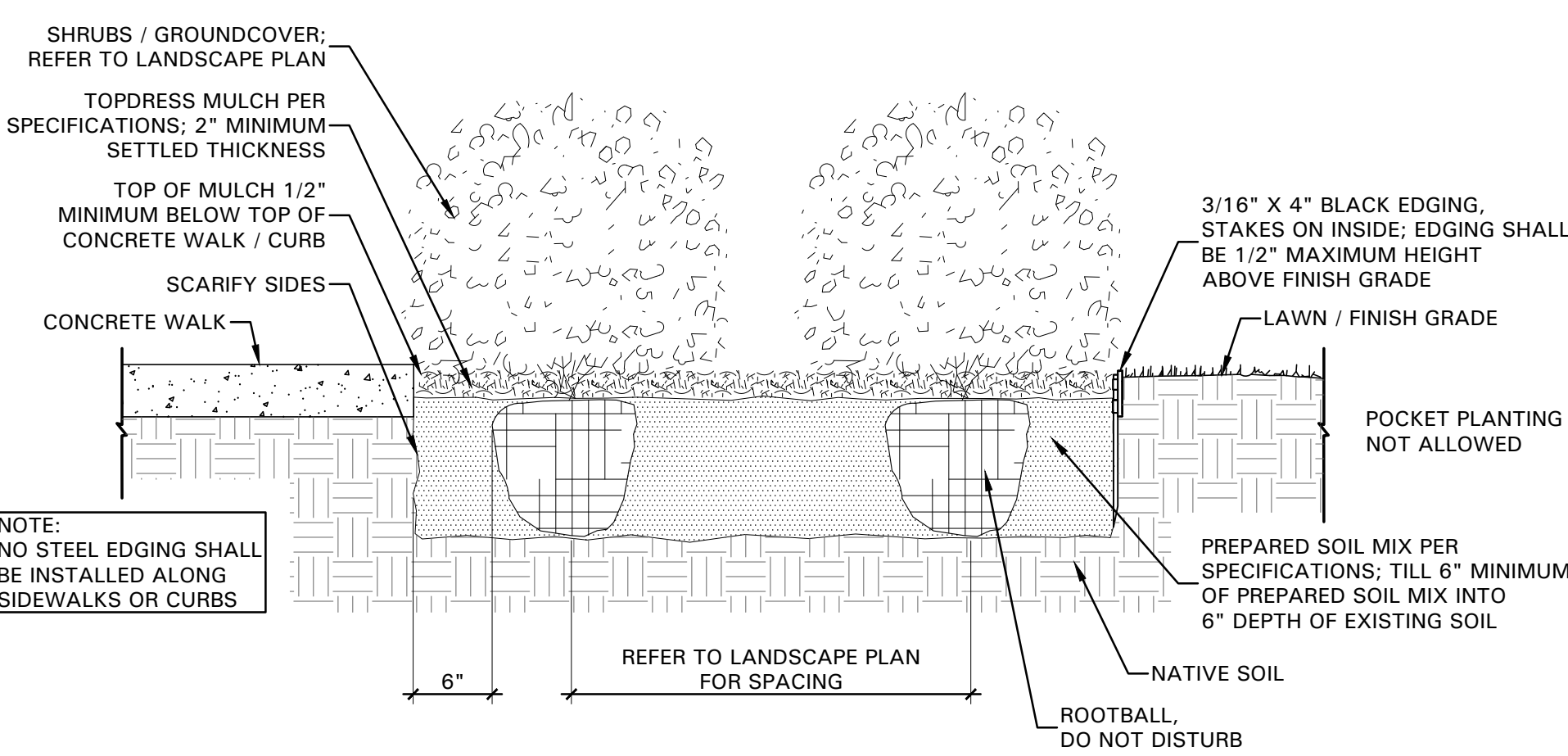
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5. Do not install steel edging along sidewalks or curbs.
6. Cut steel edging at 45 degree angle where edging meets sidewalks or curbs.

END OF SECTION



TREE PLANTING DETAIL LEGEND AND NOTES

- A. TREE: TREES SHALL CONFORM WITH LATEST AMERICAN STANDARD FOR NURSERY STOCK. www.anla.org
- B. TREE PIT: WIDTH TO BE AT LEAST TWO (2) TIMES THE DIAMETER OF THE ROOT BALL CENTER TREE IN HOLE & REST ROOT BALL ON UNDISTURBED NATIVE SOIL.
- C. ROOT BALL: REMOVE TOP 1/2 BURLAP AND ANY OTHER FOREIGN OBJECT; CONTAINER GROWN STOCK TO BE INSPECTED FOR GIRDLING ROOTS.
- D. ROOT FLARE: ENSURE THAT ROOT FLARE IS EXPOSED, FREE FROM MULCH, AND AT LEAST TWO INCHES ABOVE GRADE. TREES SHALL BE REJECTED WHEN GIRDLING ROOTS ARE PRESENT & ROOT FLARE IS NOT APPARENT.
- E. ROOTBALL ANCHOR RING: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. PLACE ROOTBALL ANCHOR RING ON BASE OF ROOTBALL. TRUNK SHOULD BE IN THE CENTER OF THE RING.
- F. ROOT ANCHOR BY TREE STAKE SOLUTIONS.
- G. NAIL STAKE: REFER TO MANUFACTURER'S GUIDELINES FOR SIZING. INSTALL NAIL STAKES WITH HAMMER OR MALLET FIRMLY INTO UNDISTURBED GROUND. DRIVE NAIL STAKES FLUSH WITH "U" BRACKET ADJACENT TO ROOTBALL (DO NOT DISTURB ROOTBALL).
- H. BACKFILL: USE EXISTING NATIVE SOIL (no amendments) WATER THOROUGHLY TO ELIMINATE AIR POCKETS.
- I. MULCH: DOUBLE SHREDDED HARDWOOD MULCH 2 INCH SETTLED THICKNESS. WITH 2" HT. WATERING RING; ENSURE THAT ROOT FLARE IS EXPOSED. BELOW GROUND STAKE SHOULD NOT BE VISIBLE.
- J. TREE STAKES: TREE STAKE SOLUTIONS 'SAFETY STAKE' BELOW GROUND MODEL AVAILABLE FROM: Tree Stake Solutions ATTN: Jeff Tuley (903) 676-6143 jeff@treestakesolutions.com www.treestakesolutions.com
- OR APPROVED EQUAL. TREES SHALL BE STAKED BELOW GROUND WHERE NECESSARY; ABOVE GROUND STAKING IS EXPRESSLY PROHIBITED.
- K. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN A COPY OF THE MANUFACTURER'S SPECIFICATIONS PRIOR TO INSTALLATION OF TREE STAKES. CONTRACTOR SHALL ADHERE TO MANUFACTURER'S INSTALLATION GUIDELINES, SPECIFICATIONS, AND OTHER REQUIREMENTS FOR TREE STAKE INSTALLATION.



SHRUB / GROUNDCOVER DETAIL

OWNER:

ALVAPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469.402.1232

ARCHITECT:

PROSS DESIGN GROUP, INC.
CONTACT: ROBERT PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972.759.1400

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved Commission of the City of Rockwall on the _____ day of _____, 2023.

WITNESS OUR HANDS, this _____ day of _____, 2023.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

CASE NO: SP2023-009

LANDSCAPE SPECIFICATIONS AND DETAILS



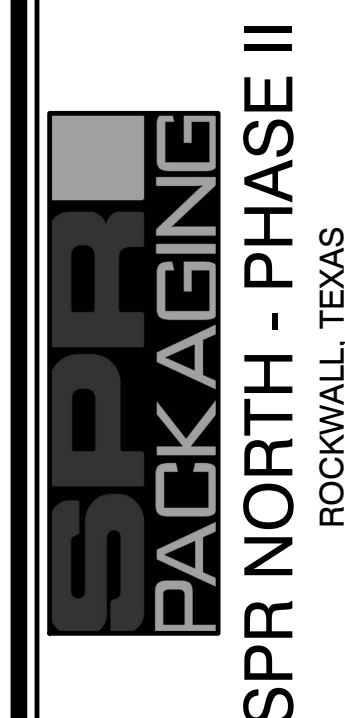
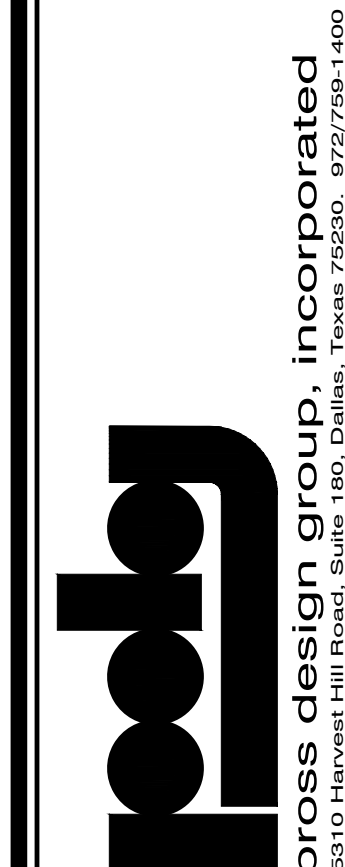
4245 North Central Expy
Suite 501
Dallas, Texas 75205
214.865.7192 office

DATE	DESCRIPTION
03/07/2023	Drawn: JHM Checked: KAH Date: 03/07/2023

03/07/2023



03.07.23



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L2.03

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TREE SURVEY FIELD DATA							
No.	Di. (inches)	Species (common name)	Status	Condition	Remarks	Protection Status	Mitigation Required
1	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
2	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
3	5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
4	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
5	15	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
6	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
7	7.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
8	12	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
9	11	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
10	12	HACKBERRY	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
11	8.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
12	12	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
13	8	BOIS D'ARC	TO REMAIN	POOR	OFFSITE	NON-PROTECTED	
14	7	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
15	6	EASTERN RED CEDAR	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
16	9	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
17	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
18	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
19	14	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
20	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
21	5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
22	12	EASTERN RED CEDAR	TO REMAIN	GOOD	OFFSITE	SECONDARY PROTECTED	
23	6.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
24	6	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
25	6.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
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31	7.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
32	9	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
33	13.5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
34	10	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
35	9.5	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
36	17.5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
37	4	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
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41	10	HACKBERRY	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
42	5	BOIS D'ARC	TO REMAIN	GOOD	OFFSITE	NON-PROTECTED	
43	3	CHINKAPIN OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
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48	3	BALD CYPRESS	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
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96	3	BUR OAK	TO REMAIN	POOR	ON-SITE	NON-PROTECTED	
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115	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
116	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
117	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
118	3	LIVE OAK	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
119	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
120	3	CEDAR ELM	TO BE REMOVED	GOOD	ON-SITE	NON-PROTECTED	
121	3	LACEBARK ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
122	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
123	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
124	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
125	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
126	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
127	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
128	3	BUR OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
129	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
130	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
131	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
132	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
133	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
134	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
135	3	LIVE OAK	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
136	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
137	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	
138	3	CEDAR ELM	TO REMAIN	GOOD	ON-SITE	NON-PROTECTED	

Total Caliper Inches on Site	663.00
Total Caliper Inches Removed	33.00
Total Mitigation Inches Required	0.00
Total Mitigation Inches Provided (Refer to Landscape Plans)	0.00
Total Mitigation Inches Remaining	0.00
Tree Preservation Credits Purchased (100% of total mitigation inches paid at \$100/inch)	0.00
	\$0.00

OWNER:
ALVAPLAST U.S. DEVELOPMENT, LLC
CONTACT: CAROLINA MOLINA
1480 JUSTIN ROAD
ROCKWALL, TX 75087
469. 402. 1232


ARCHITECT:
PROSS DESIGN GROUP, INC.
CONTACT: ROBERT PROSS
5310 HARVEST HILL RD., SUITE 180
DALLAS, TX 75230
972. 759. 1400

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved
Commission of the City of Rockwall on the _____ day of _____, _____
WITNESS OUR HANDS, this _____ day of _____, _____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CASE NO: SP2023-009
TREE PRESERVATION NOTES

 **BELLE FIRMA**

- 4245 North Central Expy
- Suite 501
- Dallas, Texas 75205
- 214.865.7192 office

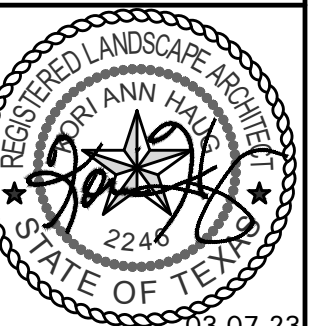
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CHECKED: KAH
DATE: 03/07/2023

DESCRIPTION

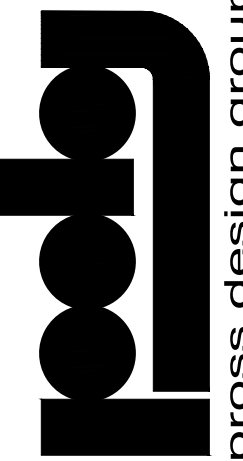
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03/07/2023



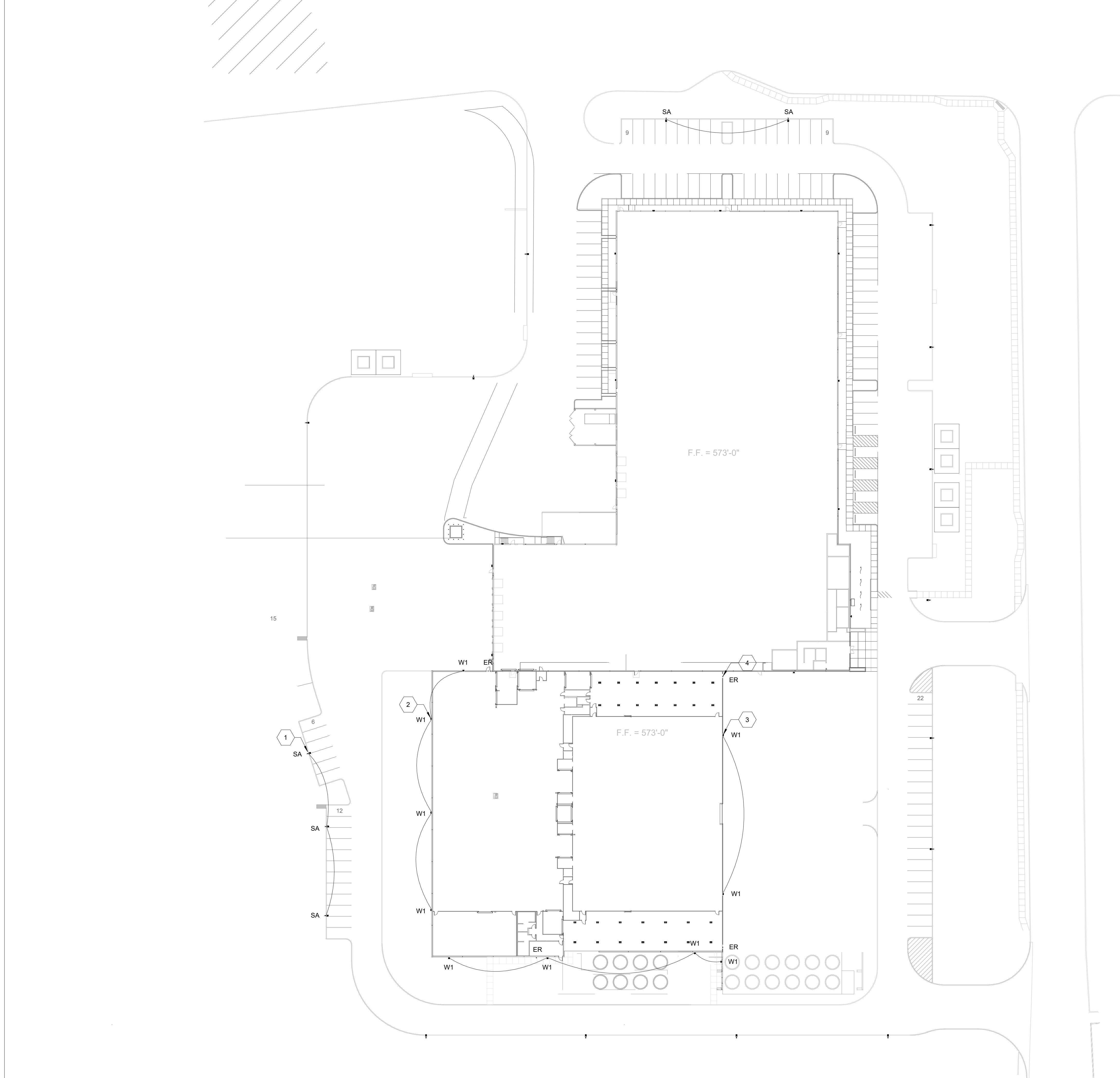
03.07.23



PROSS DESIGN GROUP, INCORPORATED
5010 Harvest Hill Road, Suite 180, Dallas, Texas 75230, 972.759.1400

SPR NORTH - PHASE II
ROCKWALL, TEXAS

job no
sheet
L1.02



OVERALL PLAN - FIRST FLOOR
 SCALE: 1" = 40'-0"

1
 E1.0

DRAWING NOTES

DRAWING E1.0

- 1 MOUNT TOP OF LIGHTING FIXTURE AT 25'-0" TO MATCH EXISTING SITE LIGHTING. MATCH EXISTING SQUARE STRAIGHT STEEL LIGHT POLE. CATALOG NUMBER SSS-25-4C-DM19A5-DOBX.
- 2 MOUNT FIXTURE ABOVE SECOND FLOOR WINDOWS. COORDINATE WITH OWNER TO VERIFY EXACT MOUNTING HEIGHT.
- 3 MOUNT FIXTURE AT 27'-0" AFF TO MATCH EXISTING SITE LIGHTING HEIGHT.
- 4 MOUNT OVERHEAD FIXTURES +1'-0" ABOVE DOORWAY.

GENERAL NOTES

APPLIES TO ALL DRAWINGS OF THIS TRADE

- A FOR GENERAL NOTES, LEGEND AND SYMBOLS SEE DRAWING E0.1.
- B FOR LIGHTING INFORMATION AND LUMINAIRE SCHEDULE SEE DRAWING E7.1.
- C EXIT SIGNS AND EMERGENCY FIXTURES SHALL BE PROVIDED WITH AN UNSWITCHED "HOT" TO PROVIDE CONTINUOUS POWER TO THE FIXTURE EVEN WHEN OFF.
- D PROVIDE ALL MOUNTING HARDWARE FOR LIGHTING FIXTURES INCLUDING CABLING, MOUNTING BRACKETS, ETC. AS REQUIRED.

SITE DATA:

CURRENT ZONING:	(L) LIGHT INDUSTRIAL
PROPOSED LAND USE:	OFFICE, WAREHOUSE, MANUFACTURING
TOTAL SITE AREA:	11.37 AC. (495,340 SF)
BUILDING:	
PHASE 1	
1st FLOOR EXISTING	78,682 SF
2nd FLOOR EXISTING	536 SF
2nd FLOOR NEW	1,483 SF
	80,701 SF
PHASE 2	
1st FLOOR	54,134 SF
2nd FLOOR	34,291 SF
TOTAL	88,425 SF
FUTURE EXPANSION (ESTIMATED)	
1st FLOOR	25,866 SF
PARKING:	
NOTE: REQUIRED PARKING CALCULATED PER OWNER PROVIDED EMPLOYEE & SHIFT DATA REFERENCE VARIANCE REQUEST SUBMITTED WITH SITE PLAN	
EMPLOYEES PER SHIFT = 60 ON 50% STAGGERED/OVERLAPPING SCHEDULE	
EMPLOYEE PARKING SPACES REQUIRED = 90 SPACES VISITOR PARKING SPACES REQUIRED = 20 SPACES TOTAL PARKING SPACES REQUIRED = 110 SPACES TOTAL PARKING SPACES PROVIDED = 146 SPACES	
ACCESSIBLE SPACES REQUIRED = 5 SPACES ACCESSIBLE SPACES PROVIDED = 5 SPACES *SPACES ARE INCLUDED IN TOTAL ABOVE	

OWNER:
 ALVAPLAST U.S. DEVELOPMENT, LLC
 CONTACT: CAROLINA MOLINA
 1480 JUSTIN ROAD
 ROCKWALL, TX 75087
 469.402.1232

ARCHITECT:
 PROSS DESIGN GROUP, INC.
 CONTACT: ROBERT PROSS
 5310 HARVEST HILL RD., SUITE 180
 DALLAS, TX 75230
 972.759.1400

APPROVED:
 I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, this ____ day of ____.

 Planning & Zoning Commissioner, Chairman Director of Planning and Zoning

CASE NO: SP2023-009

drawn: LSTRAM
 checked: MHOLO
 date: 03/07/2023

#	DATE	DESCRIPTION
A	02/17/2023	ISSUED FOR SITE SUBMITTAL
A	03/07/2023	ISSUED FOR SITE SUBMITTAL

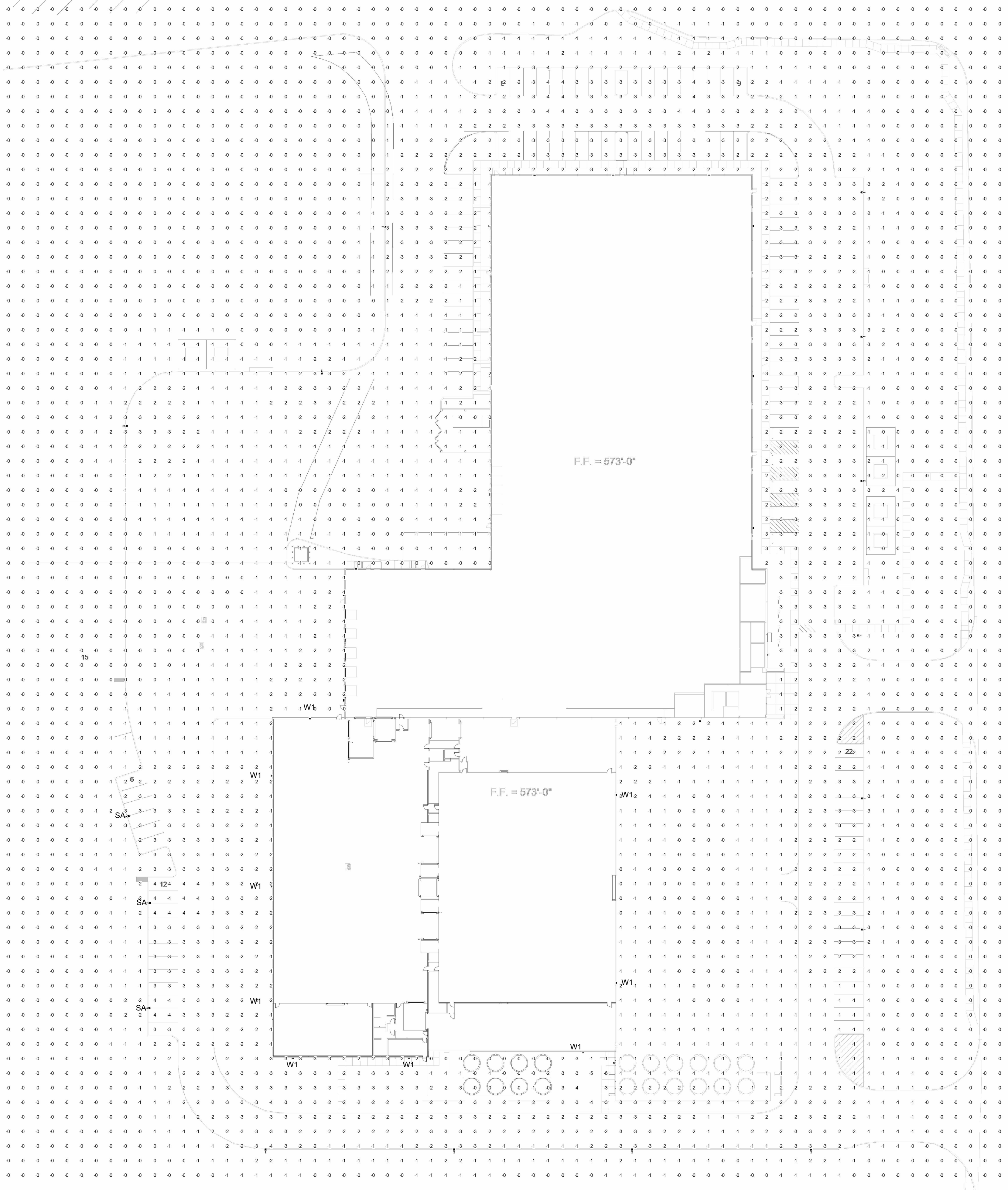
03/07/2023

THERMALTECH ENGINEERING
 FACILITY AND UTILITY SYSTEMS ANALYSIS/DESIGN/CONSTRUCTION
 519-561-2271 • WWW.THERMALTECH.COM
 OHIO • ELIZABETHTOWN, PA • FORT WORTH, TX • LAWRENCEBURG, IN
 RICHLAND, MI • GRAND RAPIDS, MI • MEMPHIS, TN

SPR PACKAGING
 SPR NORTH - PHASE II
 ROCKWALL, TEXAS

job no
 13597.030
 ELECTRICAL

E1.0



OVERALL PLAN - FIRST FLOOR
 SCALE: 1" = 40'-0"

1
 E1.1

SITE DATA:	
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DATE	ISSUED FOR SITE SUBMITTAL	DESCRIPTION
02/17/2023		
03/07/2023		

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WITNESS OUR HANDS, this _____ day of _____.

 Planning & Zoning Commission, Chairman Director of Planning and Zoning

CASE NO: SP2023-009

drawn: LSTAM, MLOD, MLOD, CLS, CLS
 03/07/2023

03/07/2023

THE THERMALTECH ENGINEERING FACILITY AND UTILITY SYSTEMS ANALYSIS/DESIGN/CONSTRUCTION 519-561-2271 • WWW.THERMALTECH.COM OH • ELIZABETHTOWN, PA • FORT WORTH, TX • LAWRENCEBURG, IN RICHLAND, MI • GRAND RAPIDS, MI • MEMPHIS, TN

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